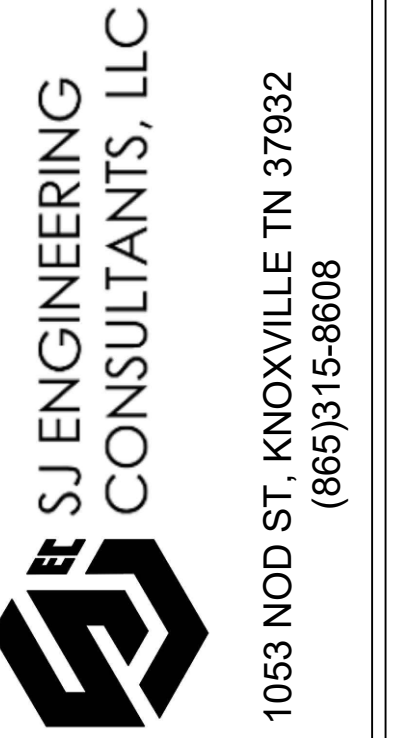




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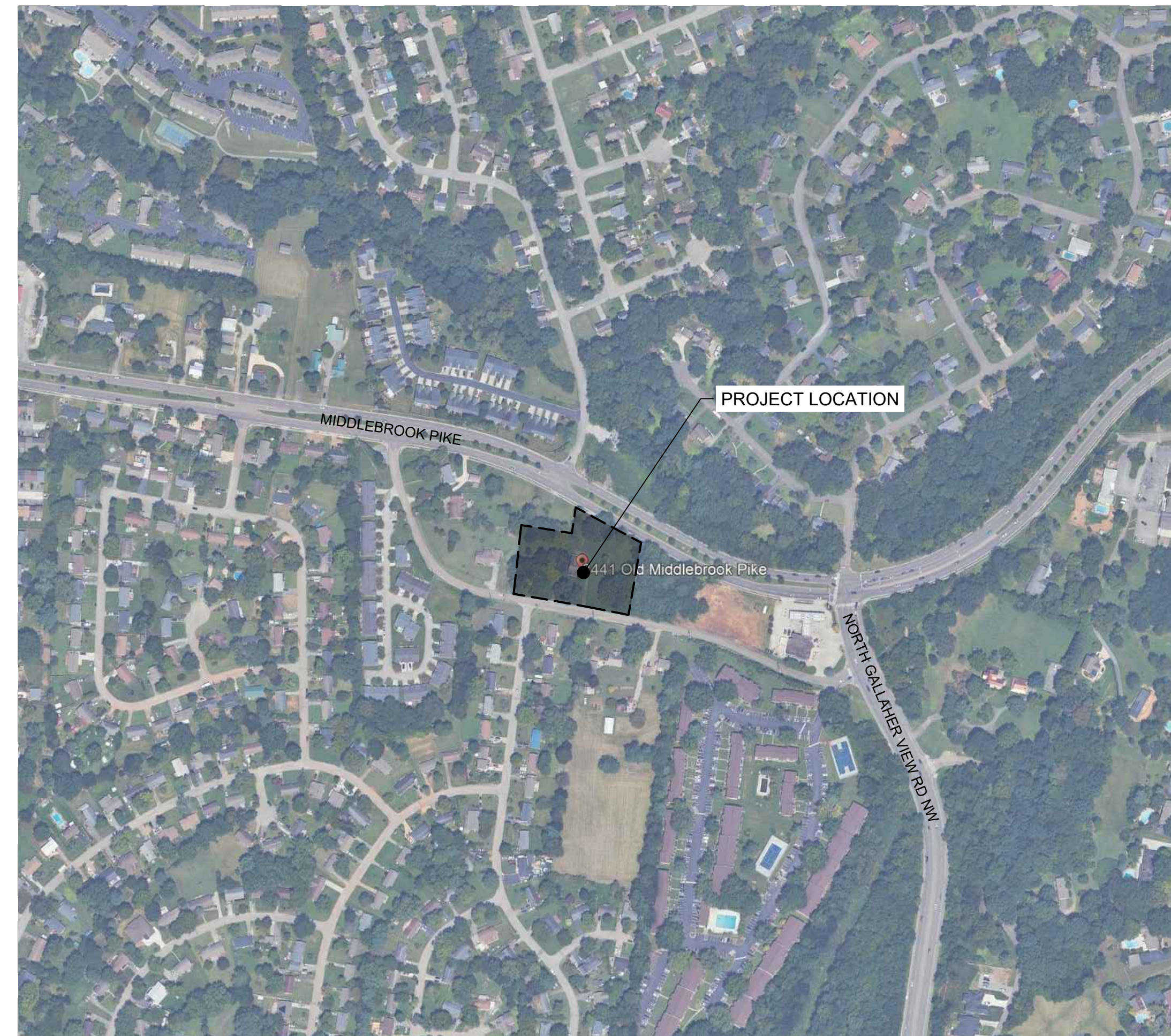
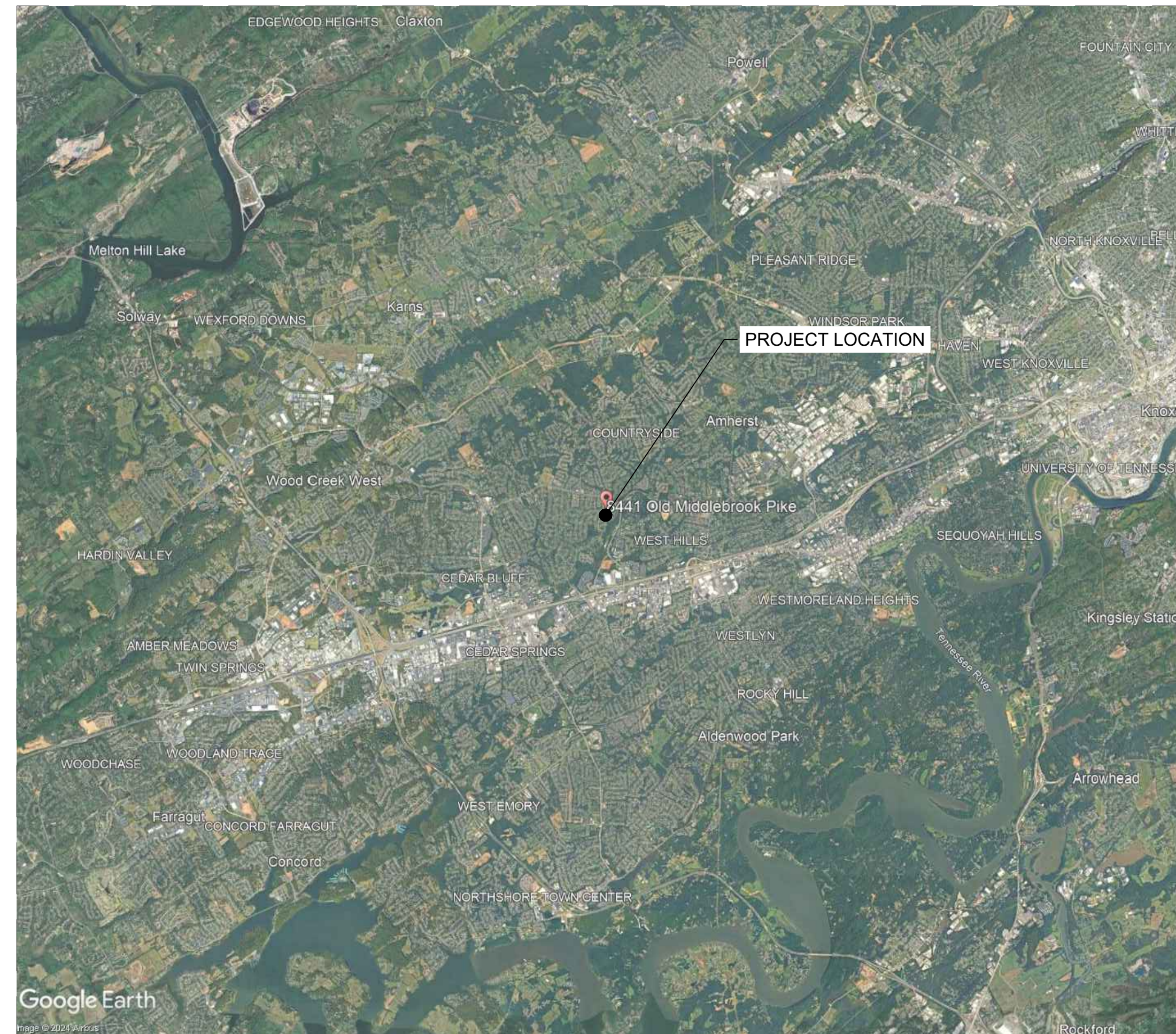
G-001	COVER PAGE
V-101	EXISTING CONDITIONS
CS101	OVERALL SITE LAYOUT PLAN
CH101	SITE PAVEMENT AND HARDSCAPE PLAN
CG101	SITE GRADING PLAN - STAGE 1
CG102	SITE GRADING PLAN - STAGE 2
CG401	SITE GRADING PROFILES



KNOXVILLE, TN

8441 OLD MIDDLEBROOK RESIDENTIAL TRI-PLEX DEVELOPMENT PROJECT 9-A-24-DP

JASON BARNES
(865)599-3515



REVISION NO.	REVISION DESCRIPTION	DATE
A	PRELIMINARY DESIGN	07-26-24
B	35% DESIGN	09-01-24

CLIENT: JASON BARNES
ISSUE DATE: SEPTEMBER, 2024
DESIGNED BY: E. MCCUTCHEON
DRAWN BY: E. MCCUTCHEON
CHECKED BY: V. EVANS
SUBMITTED BY: V. EVANS
SHEET SIZE: 22"X34"

8441 OLD MIDDLEBROOK (9-A-24-DP)
RESIDENTIAL TRI-PLEX DEVELOPMENT (PRIVATE)
KNOXVILLE, TN
JASON BARNES
(865)599-3515

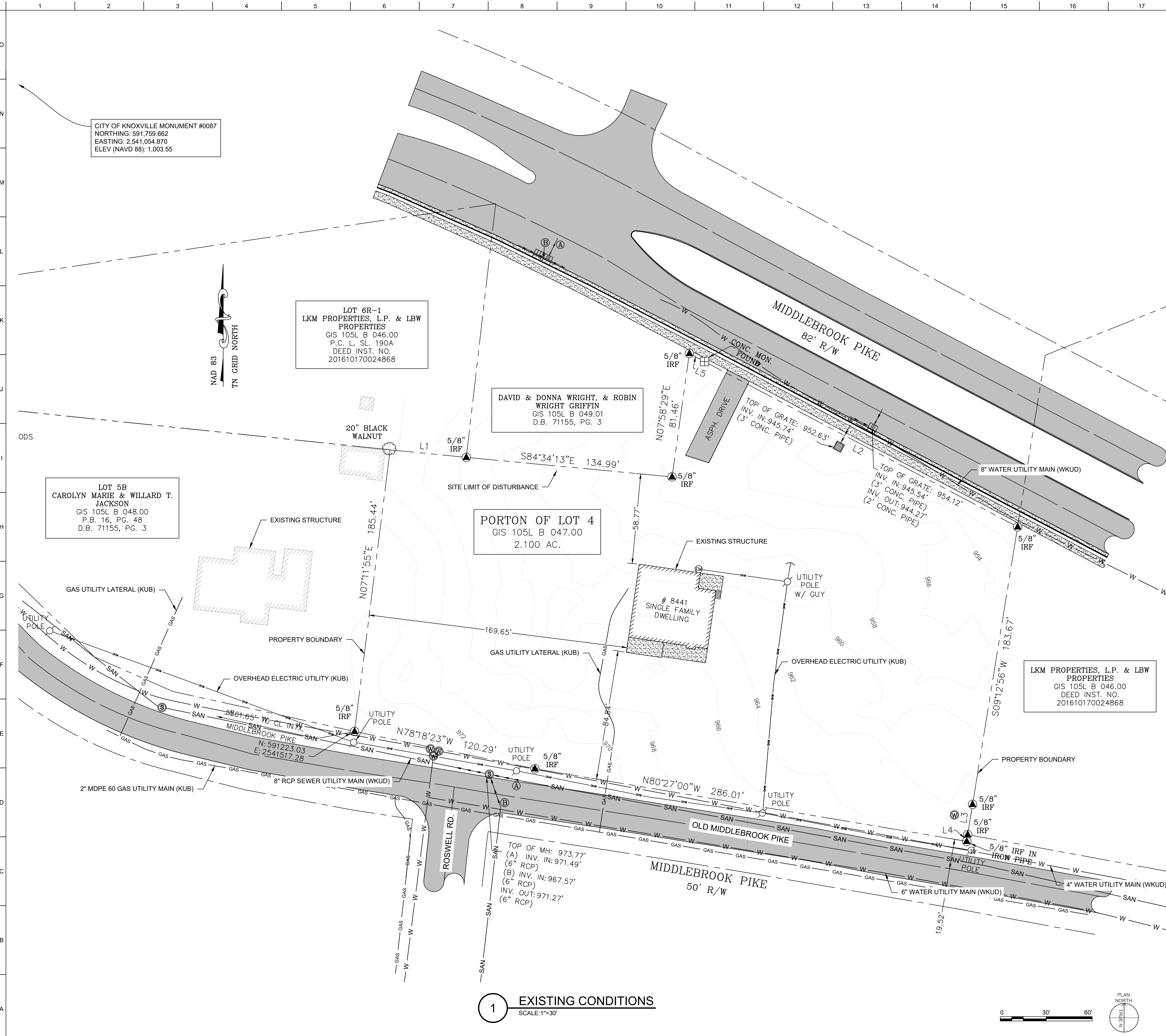
PROJECT NO.
24073
SHEET
G-001

COVER SHEET

PROJECT NO.: 24073
ISSUE DATE: SEPTEMBER 2024

8441 OLD MIDDLEBROOK - 35_ MODEL.DWG
September 2, 2024

8441 OLD MIDDLEBROOK - 35_ MODEL.DWG
September 2, 2024



CITY OF KNOXVILLE MONUMENT #0087
NORTHING: 591,759.662
EASTING: 2,541,054.870
ELEV (NAVD 88): 1,003.55

LOT 6R-1
LKM PROPERTIES, L.P. & LBW PROPERTIES
GIS 105L B 046.00
P.C. L. SL. 190A
DEED INST. NO. 201610170024868

LOT 5B
CAROLYN MARIE & WILLARD T. JACKSON
GIS 105L B 048.00
P.B. 16, PG. 48
D.B. 71155, PG. 3

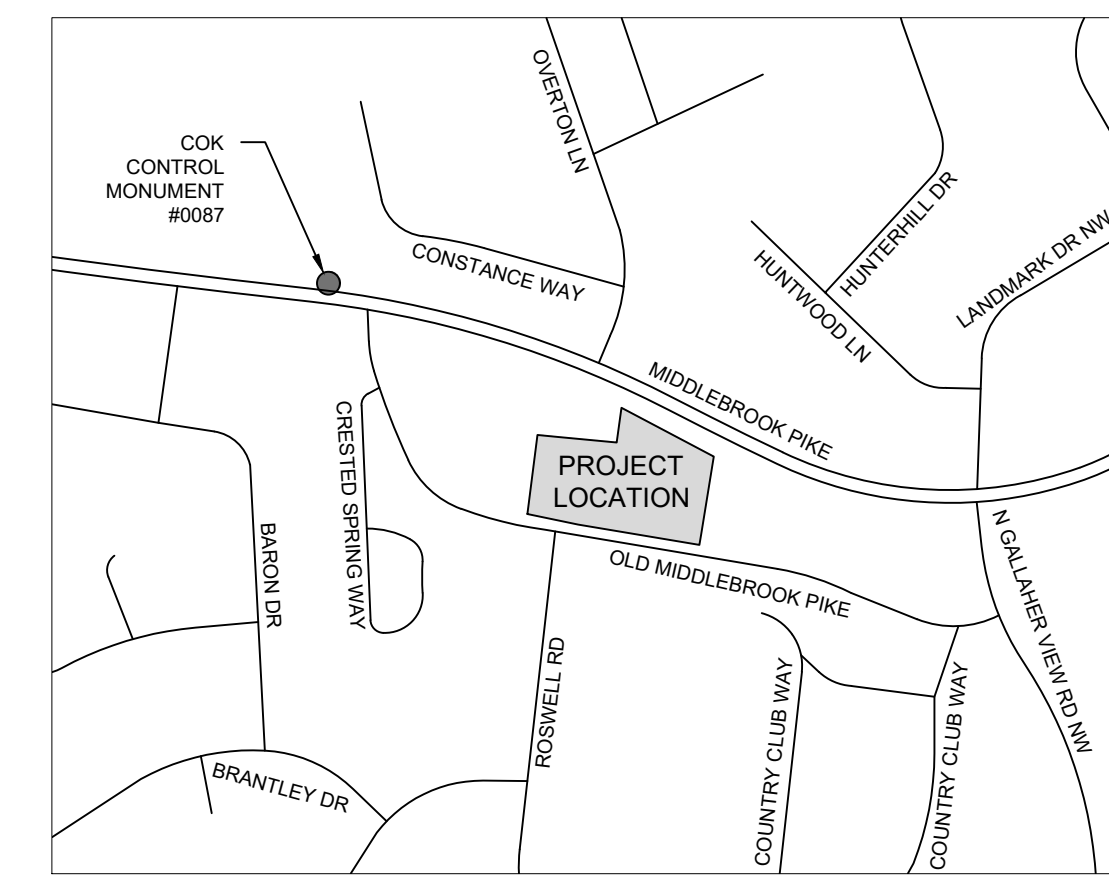
DAVID & DONNA WRIGHT, & ROBIN WRIGHT GRIFFIN
GIS 105L B 049.01
D.B. 71155, PG. 3

PORTION OF LOT 4
GIS 105L B 047.00
2.100 AC.

LKM PROPERTIES, L.P. & LBW PROPERTIES
GIS 105L B 046.00
DEED INST. NO. 201610170024868

1 EXISTING CONDITIONS
SCALE: 1"=30'

LOCATION MAP (N.T.S.):



SURVEY CONTROL NOTES:

THE FOLLOWING SURVEY WAS PERFORMED USING THE NORTH AMERICAN DATUM OF 1988 (NAVD 88).

CONTROL MONUMENT (COK, #0087)
NORTHING: 591,759.662
EASTING: 2,541,054.870
ELEVATION (NAVD 88): 1,003.55
ELEVATION (NGVD 29): 1,003.94

UTILITY NOTES:

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING MAPS PROVIDED BY KUB/WKUD. THERE EXISTS NO GUARANTEE, EXPRESSED OR IMPLIED, THAT UNDERGROUND UTILITY LOCATIONS COMPRISE OF ALL SUCH UTILITIES IN THE AREA. IT IS ALSO WITHOUT GUARANTEE THAT UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. UTILITY LOCATIONS ARE TO BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. EXISTING TOPOGRAPHY DATA SUBJECT TO MINOR VERTICAL ERRORS.
3. ELECTRIC AND GAS UTILITY SERVICES FOR SITE ARE PROVIDED BY THE KNOXVILLE UTILITIES BOARD (KUB). SANITARY SEWER AND POTABLE WATER UTILITIES FOR SITE ARE PROVIDED BY WEST KNOX UTILITY DISTRICT (WKUD).

SURVEY LEGEND:

- ASPHALT PAVEMENT
- BUILDING
- SANITARY SEWER UTILITY (WKUD)
- POTABLE WATER UTILITY (WKUD)
- OVERHEAD ELECTRIC UTILITY (KUB)
- GAS UTILITY (KUB)
- PROPERTY BOUNDARY
- ROW BOUNDARY
- SANITARY SEWER MANHOLE
- 5/8" IRF CAP
- WATER METER/VALVE/UTILITY ACCESS
- UTILITY POLE

SJ ENGINEERING CONSULTANTS, LLC

1053 NOD ST., KNOXVILLE TN 37932
(865)315-8608

DATE	REVISION DESCRIPTION
07-05-24	PRELIMINARY DESIGN
09-01-24	35% DESIGN

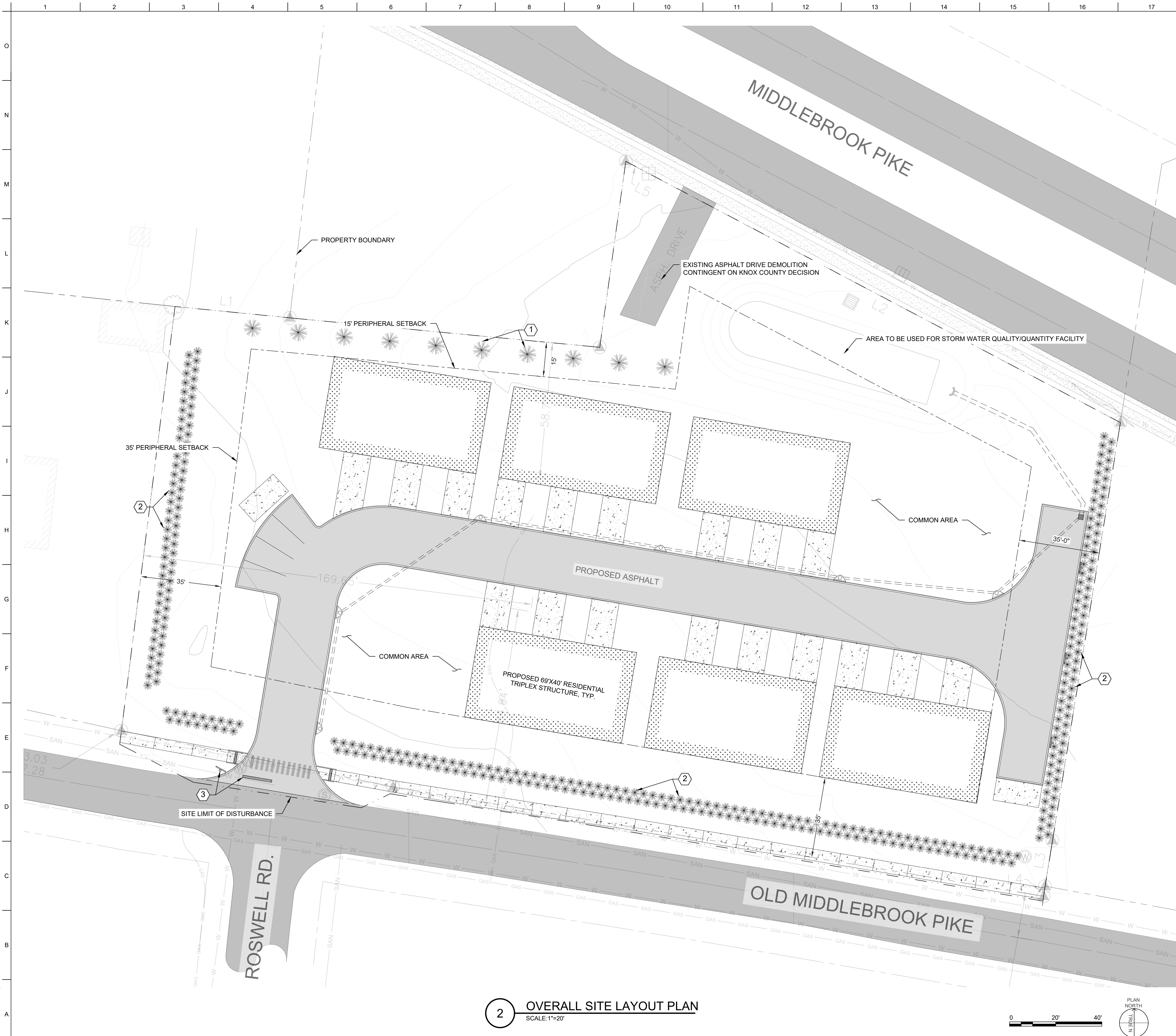
CLIENT: JASON BARNES
ISSUE DATE: SEPTEMBER, 2024
DESIGNED BY: E. MCCUTCHEON
DRAWN BY: E. MCCUTCHEON
CHECKED BY: V. EVANS
SUBMITTED BY: V. EVANS
SHEET SIZE: 22"x34"

8441 OLD MIDDLEBROOK (9-A-24-DP)
RESIDENTIAL TRI-PLEX DEVELOPMENT (PRIVATE)

JASON BARNES
KNOXVILLE, TN
(865)959-3515

EXISTING CONDITIONS

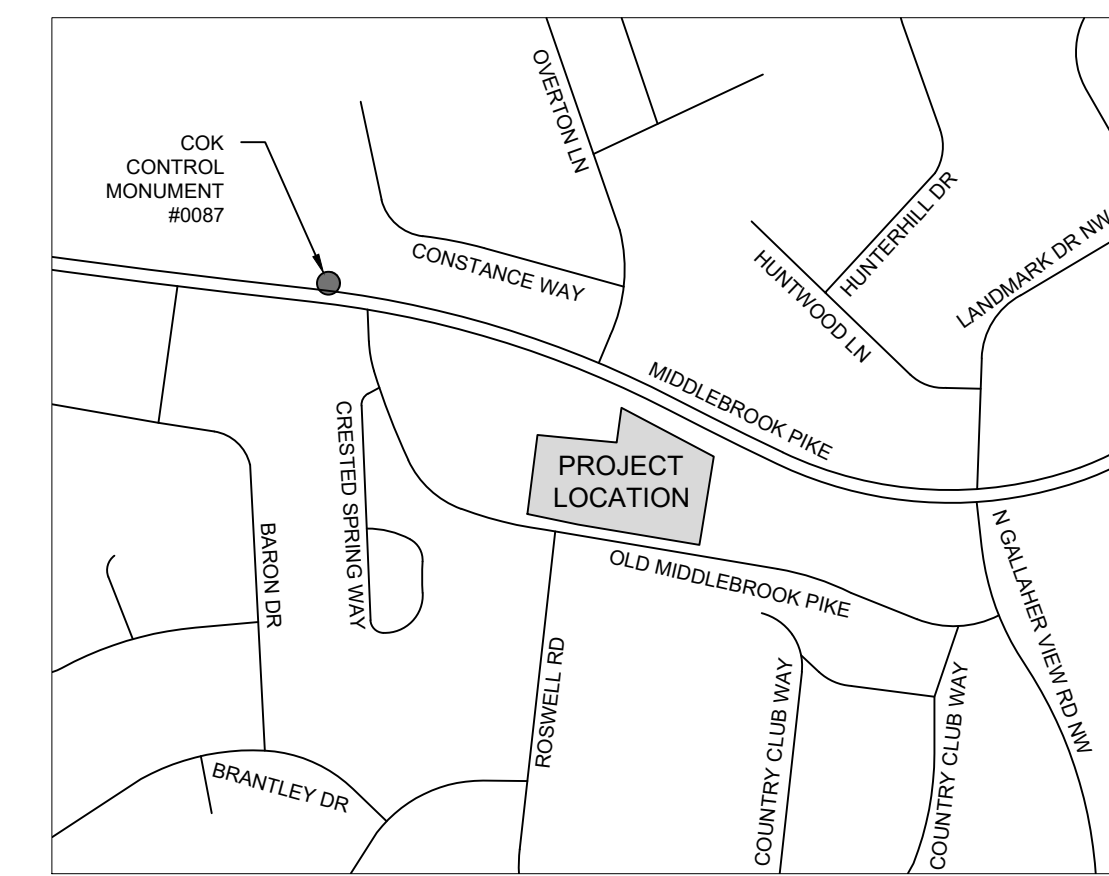
PROJECT NO. 24073
SHEET V-101



2 OVERALL SITE LAYOUT PLAN
SCALE: 1"=20'



LOCATION MAP (N.T.S.):



GENERAL NOTES:

1. REQUIRED PARKING QUANTITY IS TO BE COMPLIANT WITH KNOX COUNTY ARTICLE 3.50.10 WHEREAS THE REQUIREMENT IS STATED THAT AVAILABLE SPOTS MUST MEET OR EXCEED 1.5X THE QUANTITY OF RESIDENTIAL UNITS.
2. ALL BITUMINOUS ASPHALT SHALL MEET OR EXCEED TDOT SPECIFICATIONS.
3. CONCRETE DRIVEWAYS SHALL BE 12'X20', TYP. GARAGES ARE TO BE APPROXIMATELY 12'X22', TYP.
4. 35'-0" PERIPHERAL SETBACK SHALL BE MAINTAINED FOR ALL FEASIBLE AREAS.

KEYED NOTES:

1. TYPE "C" PARTIAL LANDSCAPING SCREEN WITH 8'-0" LANDSCAPE BUFFER IN ACCORDANCE WITH KNOX COUNTY STANDARDS.
2. TYPE "B" LANDSCAPING SCREEN WITH 12'-0" LANDSCAPE BUFFER IN ACCORDANCE WITH KNOX COUNTY STANDARDS.
3. POST MOUNTED STOP SIGN AND STOP BAR TO BE MUTCD COMPLIANT.

SITE FEATURE	QUANTITY
RESIDENTIAL UNITS	18
SINGLE CAR GARAGES	18
SINGLE CAR DRIVEWAYS	18
TOTAL PARKING SPOTS AVAILABLE	41
REQUIRED PARKING SPOTS	27

* QUANTITY OF REQUIRED PARKING SPOTS ARE BASED ON 1.5 SPOTS PER RESIDENTIAL UNIT PER KNOX COUNTY ARTICLE 3.50.10

SITE LAYOUT LEGEND:

- ASPHALT PAVEMENT
- BUILDING
- 6" CONCRETE CURB AND GUTTER
- LIMITS OF DEVELOPER DISTURBANCE
- PROPERTY BOUNDARY
- PERIPHERAL BOUNDARY SETBACK
- POST MOUNTED SIGN

SJ ENGINEERING CONSULTANTS, LLC
1053 NOD ST., KNOXVILLE TN 37932
(865)315-8608

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B	35% DESIGN	09-01-24

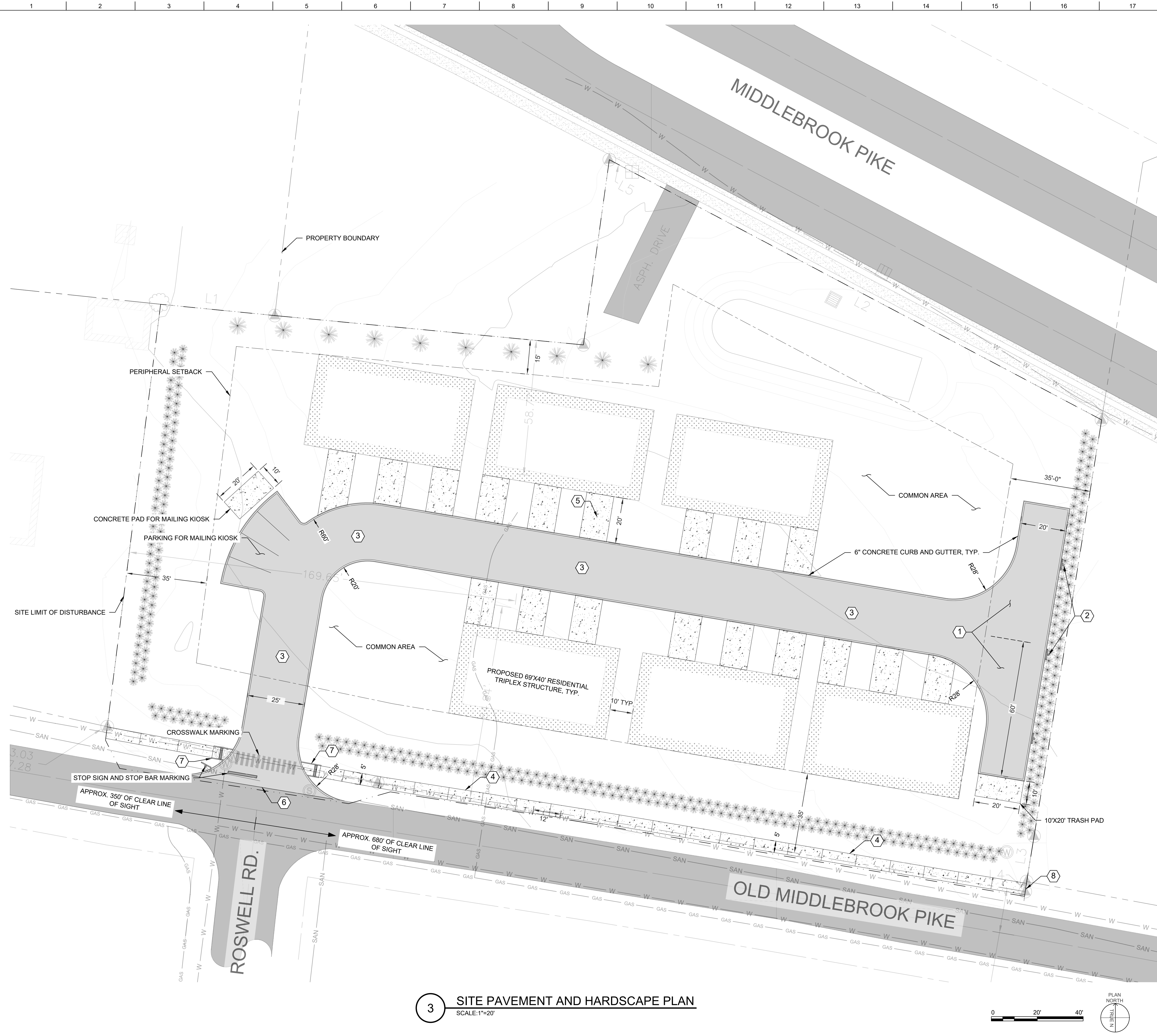
CLIENT: JASON BARNES
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SUBMITTED BY: V. EVANS
SHEET SIZE: 22"X34"

8441 OLD MIDDLEBROOK (9-A-24-DP)
RESIDENTIAL TRI-PLEX DEVELOPMENT (PRIVATE)
KNOXVILLE, TN
JASON BARNES
(865)959-3515

PROJECT NO. 24073
SHEET
CS101

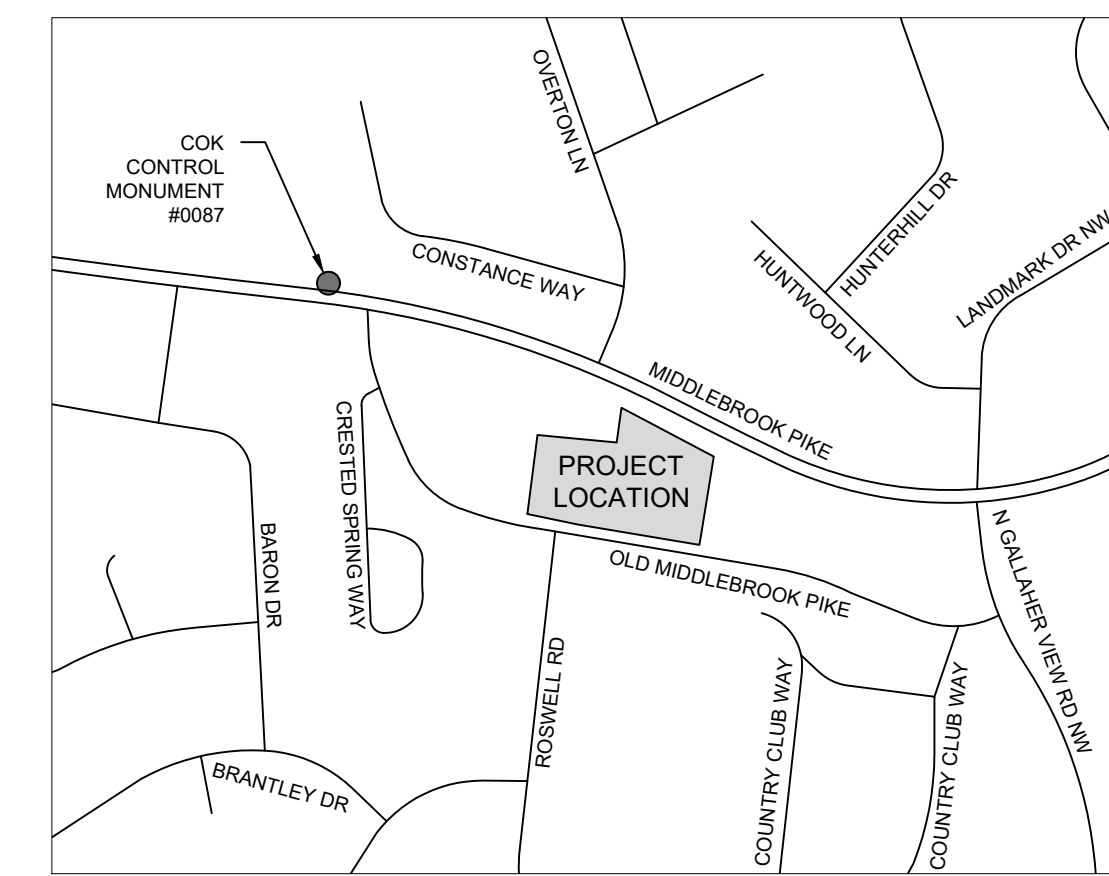
OVERALL SITE LAYOUT PLAN

8441 OLD MIDDLEBROOK - 35_ MODEL.DWG
September 2, 2024



3 SITE PAVEMENT AND HARDSCAPE PLAN
SCALE: 1"=20'

LOCATION MAP (N.T.S.):



GENERAL NOTES:

1. REQUIRED PARKING QUANTITY IS TO BE COMPLIANT WITH KNOX COUNTY ARTICLE 3.50.10 WHEREAS THE REQUIREMENT IS STATED THAT AVAILABLE SPOTS MUST MEET OR EXCEED 1.5X THE QUANTITY OF RESIDENTIAL UNITS.
2. ALL BITUMINOUS ASPHALT SHALL MEET OR EXCEED TDOT SPECIFICATIONS.
3. CONCRETE DRIVEWAYS SHALL BE 12'X20', TYP. GARAGES ARE TO BE APPROXIMATELY 12'X22', TYP.
4. ALL TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL MEET OR EXCEED MUTCD STANDARDS.

KEYED NOTES:

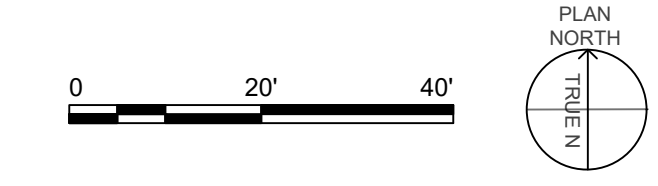
1. 20' X 120' HAMMERHEAD TURN-AROUND FOR EMERGENCY SERVICES TO BE COMPLIANT WITH FIRE CODE APPENDIX 'D', FIGURE D103.31.
2. POST MOUNTED NO-PARKING SIGNAGE TO BE MUTCD COMPLIANT.
3. STANDARD TWO-WAY 25'-0" WIDE ASPHALT ROAD WITH 6" CONCRETE CURB AND GUTTER ON EACH SIDE.
4. PER THE CONDITION OF REZONING (3-B-24-RZ), SIDEWALKS SHALL BE INSTALLED IN ACCORDANCE WITH DESIGN STANDARDS OF KNOX COUNTY. 12'-0" X 20'-0" CONCRETE DRIVEWAY, TYP. DRIVEWAY TO BE COORDINATED WITH ARCHITECTURAL PLANS.
5. MATCH PROPOSED ASPHALT WITH EXISTING FOR A SMOOTH TRANSITION. PROPOSED ENTRANCE SHALL BE ALIGNED WITH ROSWELL RD.
6. 5'-0" CURB RAMP WITH CROSSWALK PAVEMENT MARKINGS.
7. CONCRETE SIDEWALK TO BE MATCHED WITH WEIGEL'S SIDEWALK IN THE R.O.W. AREA.

PAVEMENT TYPE	QUANTITY
BITUMINOUS ASPHALT	14,200 SQFT
6" CURB AND GUTTER	1,200 LFT
CONCRETE	6,600 SQFT

* PAVEMENT QUANTITIES ARE APPROXIMATE IN NATURE AND ARE SUBJECT TO CHANGE WITH DESIGN DEVELOPMENT.
* CONCRETE QUANTITIES DO NOT INCLUDE ANTICIPATED CONCRETE USAGE FOR DWELLING UNIT PADS.

PAVEMENT LEGEND:

- ASPHALT PAVEMENT
- CONCRETE
- BUILDING
- 6" CONCRETE CURB AND GUTTER
- LIMITS OF DEVELOPER DISTURBANCE
- PROPERTY BOUNDARY
- PERIPHERAL BOUNDARY SETBACK
- POST MOUNTED SIGN



SJ ENGINEERING CONSULTANTS, LLC
1053 NOD ST., KNOXVILLE TN 37932
(865)315-8608

DATE	REVISION DESCRIPTION
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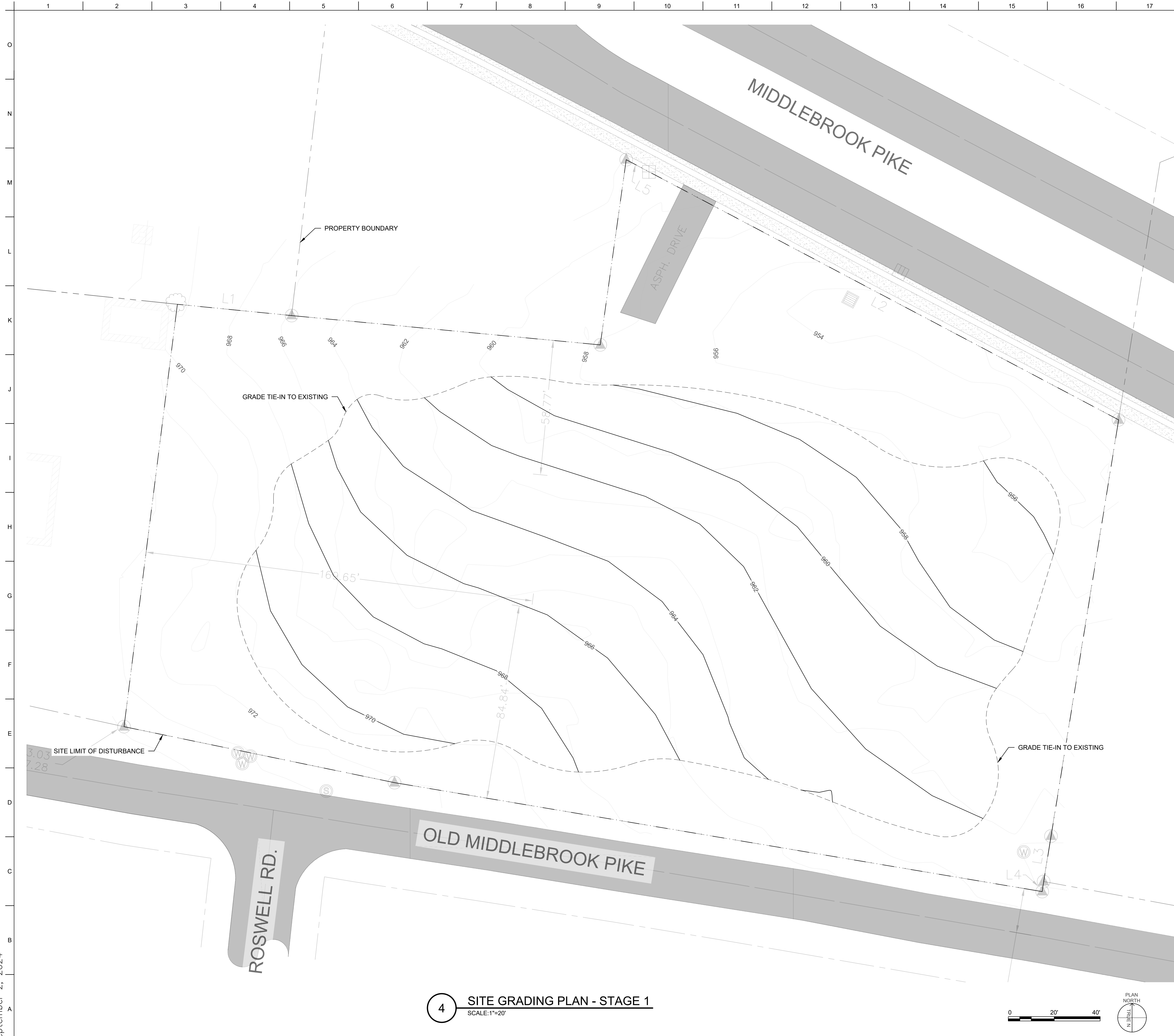
REVISION NO.	DESCRIPTION
A	
B	

CLIENT: JASON BARNES
ISSUE DATE: SEPTEMBER, 2024
DESIGNED BY: E. MCCUTCHEON
DRAWN BY: E. MCCUTCHEON
CHECKED BY: V. EVANS
SUBMITTED BY: V. EVANS
SHEET SIZE: 22"X34"

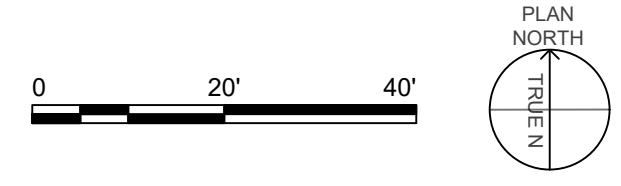
8441 OLD MIDDLEBROOK (9-A-24-DP)
RESIDENTIAL TRI-PLEX DEVELOPMENT (PRIVATE)
KNOXVILLE, TN
JASON BARNES
(865)959-3515

SITE PAVEMENT AND HARDSCAPE PLAN

PROJECT NO. 24073
SHEET
CH101

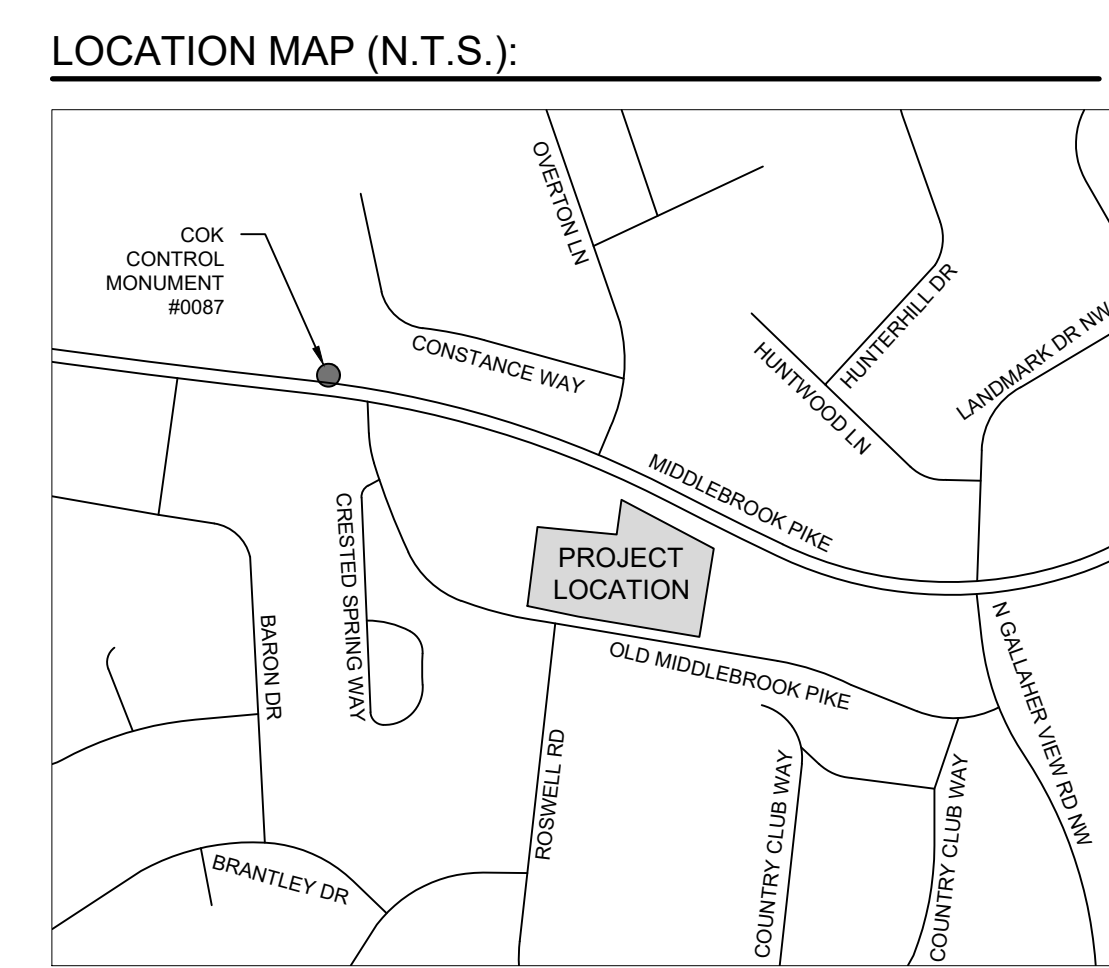


4 SITE GRADING PLAN - STAGE 1
SCALE: 1"=20'



GRADING LEGEND:

- - - - - LIMITS OF DEVELOPER DISTURBANCE
- — — — — EXISTING CONTOUR
- — — — — PROPOSED CONTOUR
- - - - - GRADING TIE-IN TO EXISTING



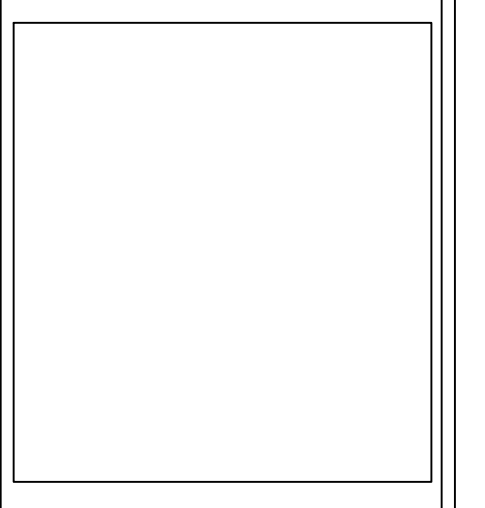
GENERAL NOTES:
1. PROPOSED GRADING IS APPROXIMATE AND WILL BE ADJUSTED ACCORDINGLY AS PLANS ARE DEVELOPED.

EARTHWORK OPERATION	QUANTITY (CY)
CUT	435
FILL	905
NET	470 (FILL)

* EARTHWORK QUANTITIES ARE APPROXIMATE IN NATURE AND ARE SUBJECT TO CHANGE WITH DESIGN PROGRESSION.

SJ ENGINEERING CONSULTANTS, LLC
1053 NOD ST., KNOXVILLE TN 37932
(865)315-8608

REVISION NO.	REVISION DESCRIPTION	DATE
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B	35% DESIGN	09-01-24

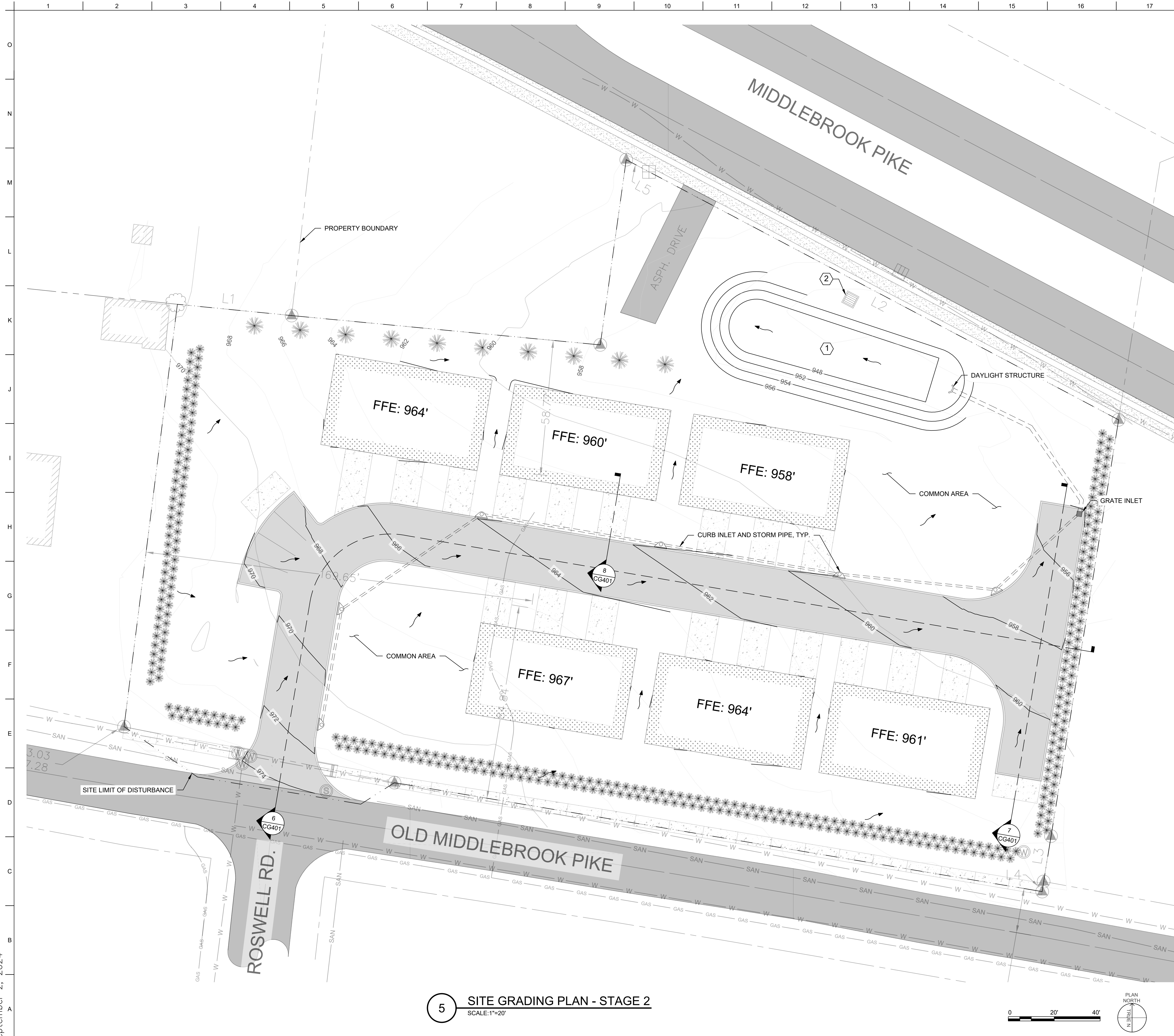


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ISSUE DATE: SEPTEMBER, 2024
DESIGNED BY: E. MCCUTCHEON
DRAWN BY: E. MCCUTCHEON
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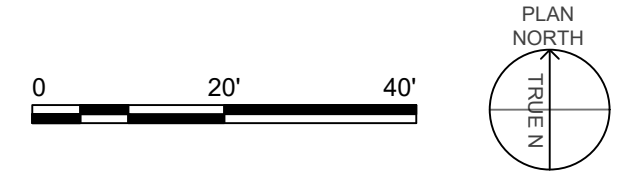
8441 OLD MIDDLEBROOK (9-A-24-DP)
RESIDENTIAL TRI-PLEX DEVELOPMENT (PRIVATE)
KNOXVILLE, TN
JASON BARNES
(865) 699-3515

PROJECT NO. 24073
SHEET CG101

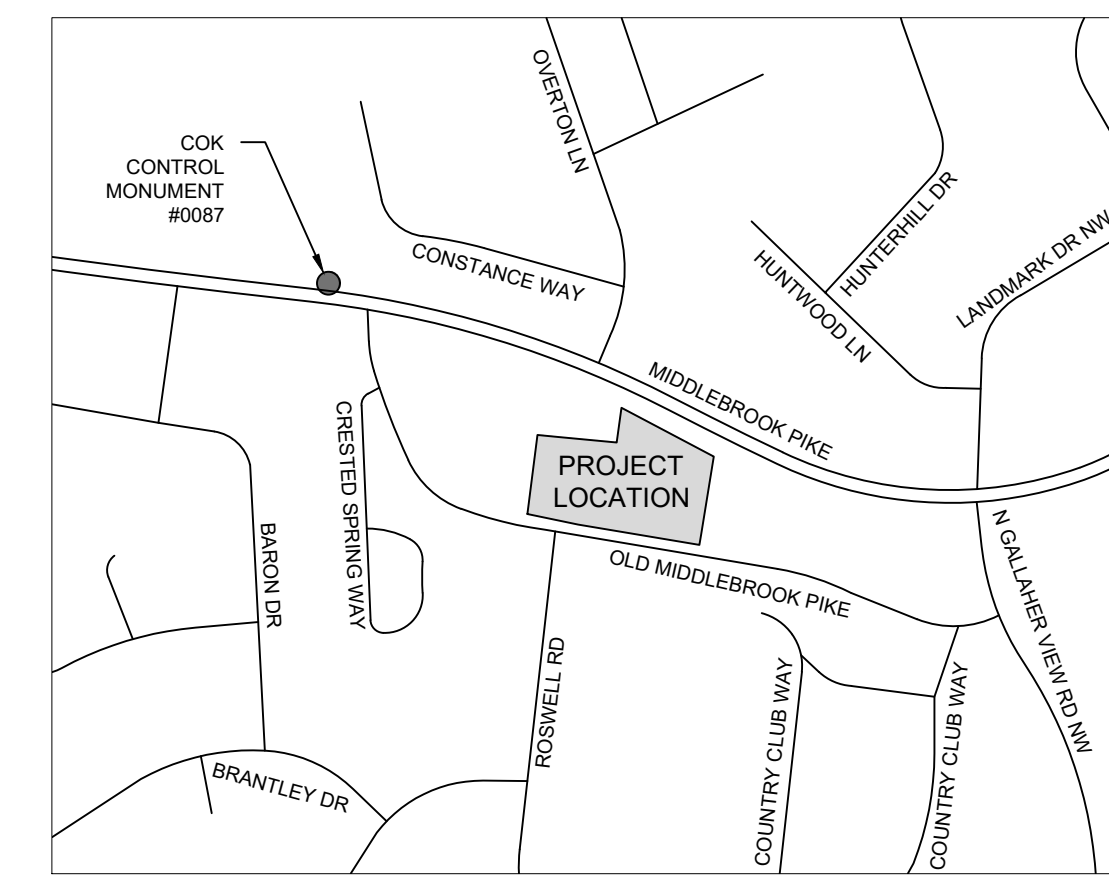
SITE GRADING PLAN - STAGE 1



5 SITE GRADING PLAN - STAGE 2
SCALE: 1"=20'



LOCATION MAP (N.T.S.):



GENERAL NOTES:

1. PROPOSED GRADING IS APPROXIMATE AND WILL BE ADJUSTED ACCORDINGLY AS PLANS ARE DEVELOPED.
2. STORM WATER DRAINAGE STRUCTURES AND PIPE NETWORKS WILL BE ADJUSTED ACCORDINGLY AS SWPPP IS DEVELOPED.
3. GRADING OPERATIONS SHALL HAVE A MAXIMUM SLOPE OF 2:1, TYP.

KEYED NOTES:

1. APPROXIMATE SIZE AND PLACEMENT OF RUNOFF DETENTION POND. SIZE AND PLACEMENT SUBJECT TO CHANGE WITH DESIGN DEVELOPMENT.
2. EXISTING GRATE INLET TO BE USED AS TIE-IN POINT FOR DETENTION POND OUTLET STRUCTURE.

EARTHWORK OPERATION	QUANTITY (CY)
CUT	450
FILL	220
NET	230 (CUT)

* EARTHWORK QUANTITIES ARE APPROXIMATE IN NATURE AND ARE SUBJECT TO CHANGE WITH DESIGN PROGRESSION.

GRADING AND DRAINAGE LEGEND:

- LIMITS OF DEVELOPER DISTURBANCE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- STORM SEWER PIPE
- CURB INLET
- GRATE INLET
- DAYLIGHT STRUCTURE
- RUNOFF DIRECTION

SJ ENGINEERING CONSULTANTS, LLC
1053 NOD ST., KNOXVILLE TN 37932
(865)315-8608

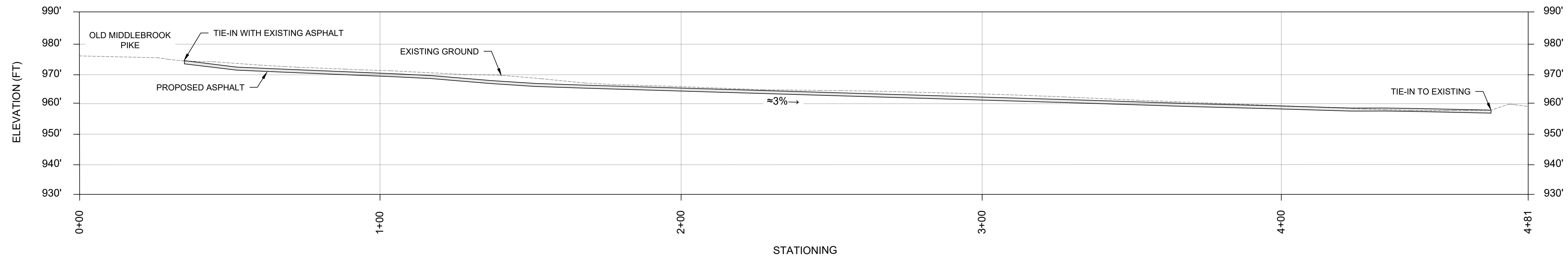
DATE	REVISION DESCRIPTION
07-05-24	PRELIMINARY DESIGN
09-01-24	35% DESIGN

CLIENT: JASON BARNES
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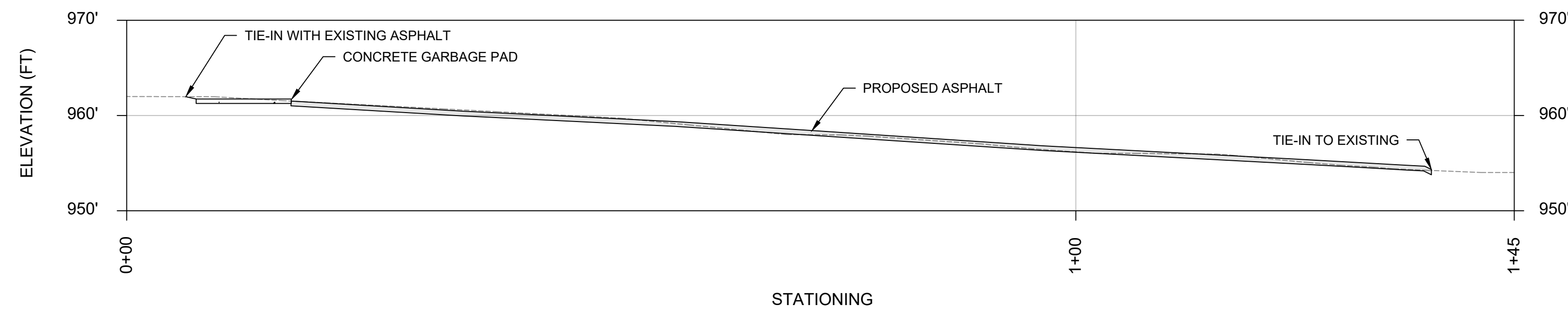
8441 OLD MIDDLEBROOK (9-A-24-DP)
RESIDENTIAL TRI-PLEX DEVELOPMENT (PRIVATE)
KNOXVILLE, TN
JASON BARNES
(865) 699-3515

PROJECT NO. 24073
SHEET **CG102**

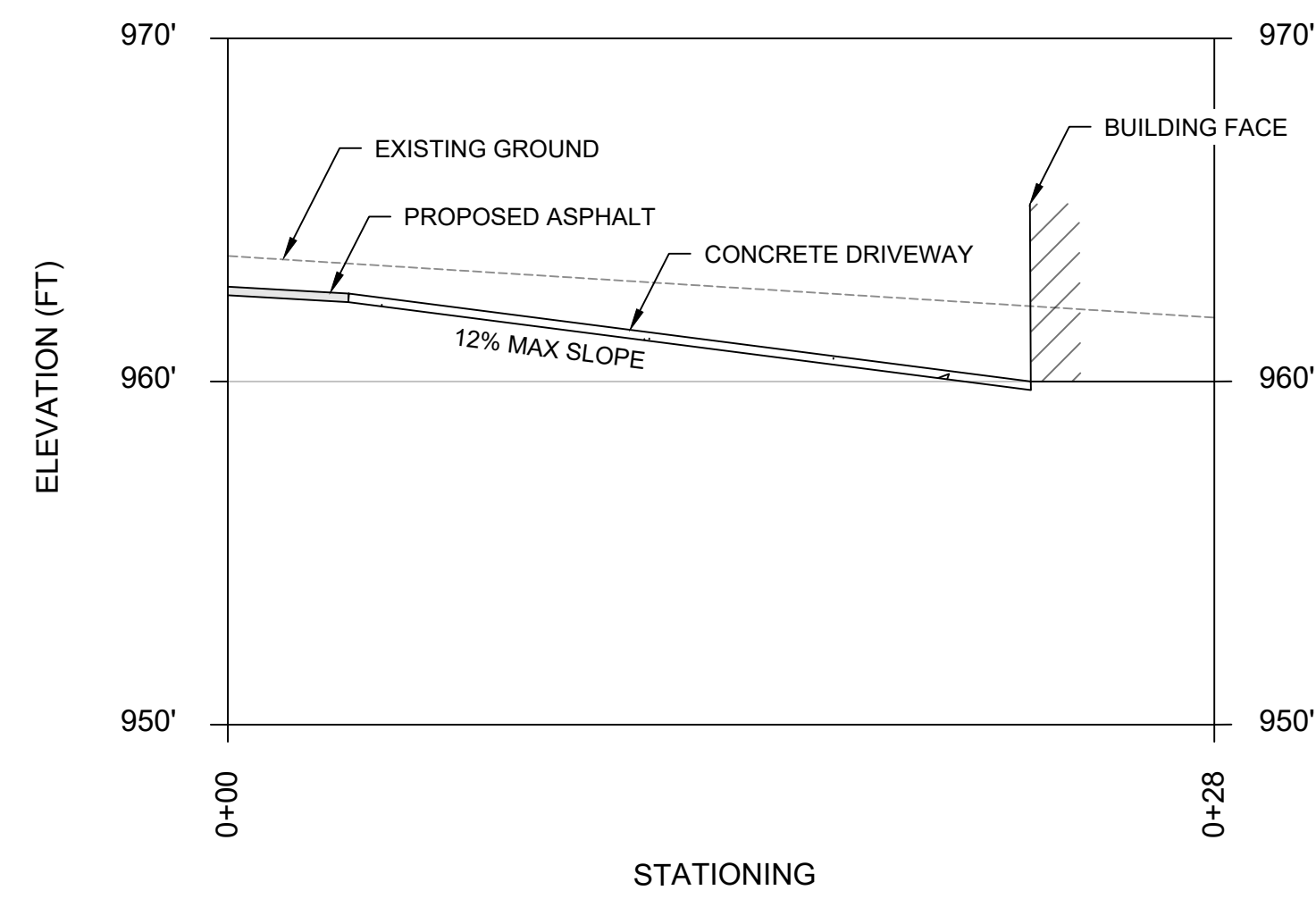
SITE GRADING PLANE - STAGE 2



6 ROAD PROFILE
SCALE: 1"=20'



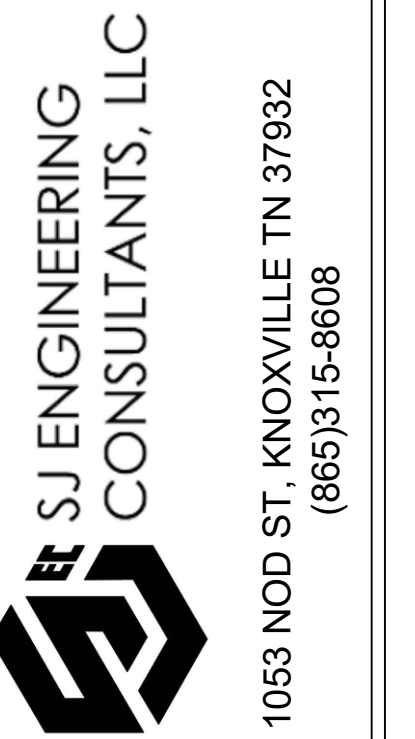
7 TURN-AROUND PROFILE
SCALE: 1"=10'



8 TYP. DRIVEWAY PROFILE
SCALE: 1"=5'

DRIVEWAY NOTES:

1. DRIVEWAY PROFILE SHOWN IS A TYPICAL PROFILE THAT WILL HOLD TRUE FOR MOST DRIVEWAYS. INDIVIDUAL DRIVEWAYS WILL VARY SLIGHTLY IN ELEVATION AND SLOPE.
2. DRIVEWAYS THAT HAVE NEGATIVE SLOPE TOWARDS THE BUILDING WILL BE INSTALLED WITH TRENCH DRAINS AT THE BUILDING FACE.



REVISION NO.	REVISION DESCRIPTION	DATE
A	PRELIMINARY DESIGN	07-05-24
B	35% DESIGN	09-01-24

CLIENT:
JASON BARNES
ISSUE DATE: SEPTEMBER, 2024
DESIGNED BY: E. MCCUTCHEON
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RESIDENTIAL TRI-PLEX DEVELOPMENT (PRIVATE)
KNOXVILLE, TN
JASON BARNES
(865) 315-8608

PROJECT NO.
24073
SHEET
CG401

SITE GRADING PROFILES