

TOTAL AREA
20.36 Acres
887,039 sq. ft.
INCLUDES COMMON AREA AND R.O.W.

TOTAL LOTS = 50
OPEN SPACE/COMMUNITY LOTS: 3
BUILDING LOTS: 47

Zoning

Zoning Shown on Official Map

Date: _____

By: _____

Addressing Department Certification

I, the undersigned, hereby certify that the subdivision name and all street names conform to the Knoxville/Knox County Street Naming and Addressing Ordinance, the Administrative Rules of the Planning Commission, and these regulations.

Signed: _____

Date: _____

Certification of Approval of Public Sanitary Sewer System - Major Subdivisions

This is to certify that the public sanitary sewer system installed, or proposed for installation, is in accordance with State and local regulations.

Utility Provider

Authorized Signature for Utility _____ Date: _____

Certification of Approval of Public Water System - Major Subdivisions

This is to certify that the public water system installed, or proposed for installation, is in accordance with State and local regulations.

Utility Provider

Authorized Signature for Utility _____ Date: _____

Guarantee of Completion of Streets and Related Improvements

I, the undersigned, hereby certify that a bond or other security has been posted with the appropriate agency to insure completion of all streets and related improvements including indicated permanent reference markers and monuments, benchmarks and property monuments in this subdivision in accordance with required standards and specifications.

Signed: _____ Date: _____

Dept: _____ Title: _____

Guarantee of Completion of Stormwater Facilities

I, the undersigned, hereby certify that a bond or other security has been posted with the appropriate agency to insure completion and stabilization of all stormwater facilities as shown on the stormwater plans which were approved the _____ day of _____ 20____.

Signed: _____ Date: _____

Dept: _____ Title: _____

Certificate of Ownership and General Dedication

I, We, the undersigned owner(s) of the property shown herein, hereby adopt this as (my, our) plan of subdivision and dedicate the streets as shown to the public use forever and hereby certify that (I am, we are) the owner(s) in fee simple of the property, and as property owner(s) have an unrestricted right to dedicate right-of-way and/or grant easement as shown on this plat.

Owner(s) Printed Name: _____

Signature(s): _____

Date: _____

Owner Certification on Release of Easement

I, We the undersigned owner(s) of the property shown herein understand that easement rights for any existing facilities are not being released and it is our responsibility to verify with the above parties if there are any existing facilities along the lot lines being eliminated by this plat before digging or constructing any building or structure.

Owner(s) Printed Name: _____

Signature(s): _____

Date: _____

Property owners are responsible for maintenance of stormwater facilities. The covenant for maintenance of stormwater facilities is recorded as instrument # _____

County - Release of Easements

Except as noted or shown on this plat, the following parties hereby consent to the release of all rights that may have accrued for their use and benefit in the utility and drainage easements along the original lot lines eliminated by this plat.

The following parties do not release any rights that may have accrued for their use and benefit where there are existing facilities within the previously established easement, whether or not shown on this plat. Any relocation of existing facilities will be made at the property owner's expense. If the facilities are relocated, the easement rights will be released.

Knox County Department of Engineering and Public Works

201407150003014

Signed: _____ Date: _____

Water: (WKUD)

Signed: _____ Date: _____

Sewer: (WKUD)

Signed: _____ Date: _____

Electric: (LCUB)

Signed: _____ Date: _____

Gas: (KUB)

Signed: _____ Date: _____

Telephone: (AT&T)

Signed: _____ Date: _____

Cable Television: (COMCAST)

Signed: _____ Date: _____

Knox County Department of Engineering and Public Works

The Knox County Department of Engineering and Public Works hereby approves this plat on this the _____ day of 20____.

Engineering Director _____

Taxes and Assessments

This is to certify that all property taxes and assessments due on this property have been paid.

City Tax Clerk: Signed: _____

Knox County Trustee: Signed: _____

Planning Staff Certification of Approval for Recording - Final Plat

This is to certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations of Knoxville and Knox County and with existing official plans, with the exception of any variances and waivers noted on this plat, and that the record plat is hereby approved for recording in the office of the Knox County Register of Deeds, Pursuant to Section 13-3-405 of Tennessee Code, Annotated the approval of this plat by the Planning Commission shall not be deemed to constitute or effect an acceptance by the City of Knoxville or Knox County of the dedication of any street or other ground upon the plat.

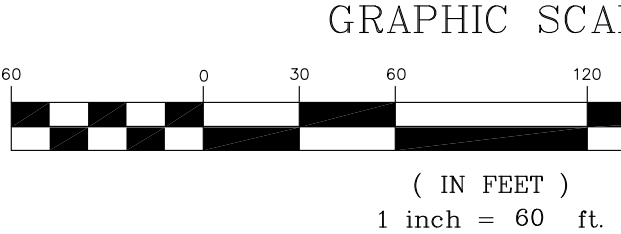
Signed: _____

Date: _____

CURVE TABLE with columns for CURVE, BEARING, CHORD, RADIUS, LENGTH. Includes curves C1 through C49.

CURVE TABLE with columns for CURVE, BEARING, CHORD, RADIUS, LENGTH. Includes curves C31 through C49.

CURVE TABLE with columns for CURVE, BEARING, CHORD, RADIUS, LENGTH. Includes curves C35 through C49.

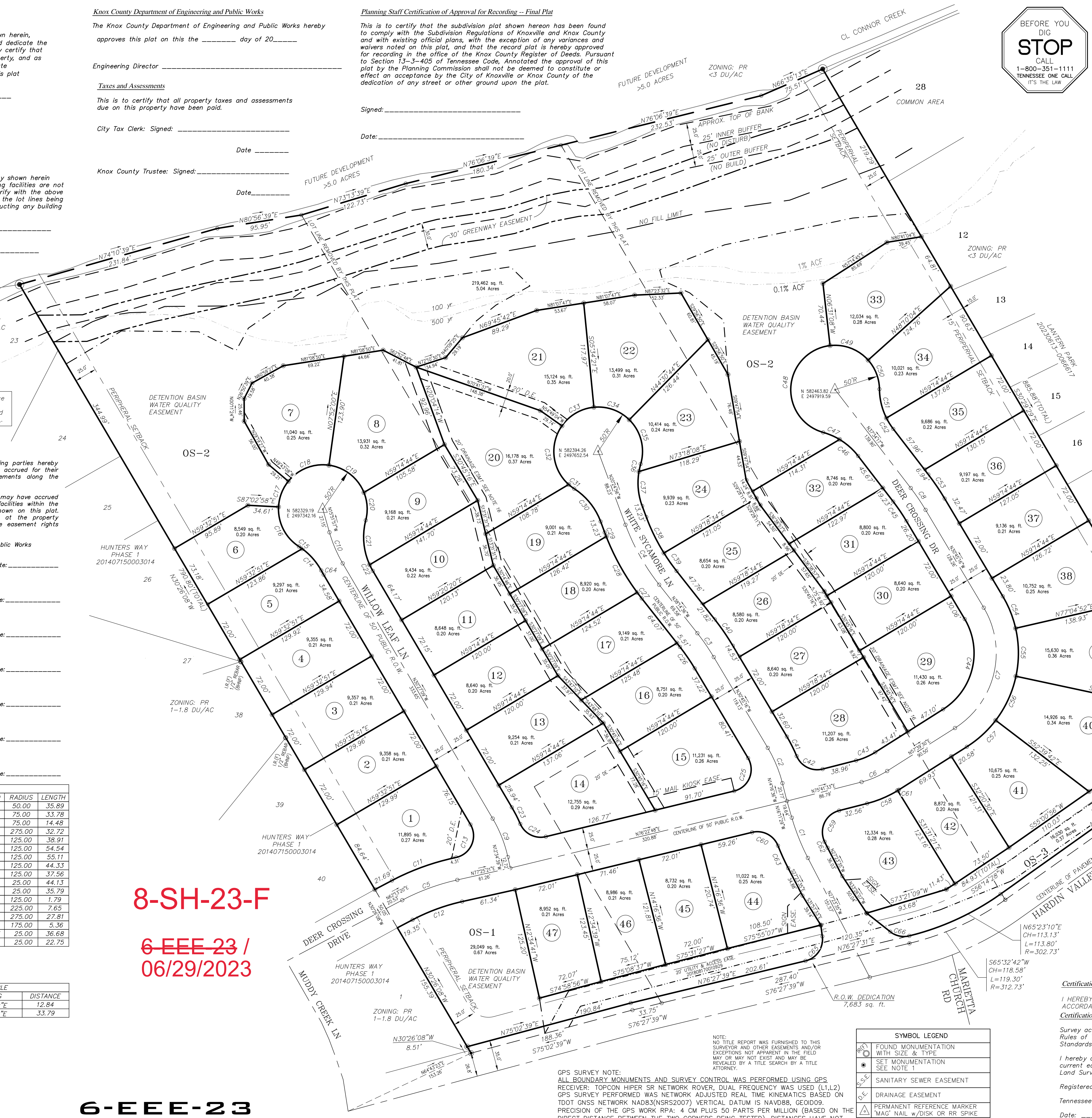


LINE TABLE with columns for LINE, BEARING, DISTANCE. Includes lines L1 through L2.

LABEL LEGEND and LINE TYPE LEGEND defining symbols for drainage easement, detention basin easement, peripheral setback, and existing utility easement.

6-EEE-23

8-SH-23-F
6-EEE-23 / 06/29/2023



LOCATION MAP NO SCALE

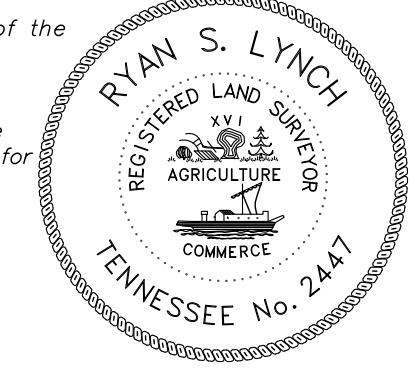
- 1. IRON PINS SET AT ALL CORNERS... 2. QLT TAX MAP... 3. DEED REFERENCES... 4. THIS PROPERTY IS ZONED... 5. A PORTION OF THIS PROPERTY... 6. ALL UNDERGROUND UTILITIES... 7. NORTH ROTATION... 8. ALL UNDERGROUND UTILITIES... 9. THE REQUIRED UTILITY AND DRAINAGE... 10. FOR APPROVED SUBDIVISION... 11. 15' PERMANENT UTILITY EASEMENT... 12. 15' PERMANENT UTILITY EASEMENT... 13. ALL LOTS SHALL HAVE ACCESS... 14. HOMEOWNERS ASSOCIATION... 15. PER SECTION 3.04.2... 16. 20' DRAINAGE EASEMENT...

Certification of Final Plat - All Indicated Markers, Monuments and Benchmarks to be Set When Construction is Completed. I hereby certify that I am a registered land surveyor licensed to practice surveying under the laws of the State of Tennessee. I further certify that this plat and accompanying drawings, documents, and statements conform to the best of my knowledge, to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized, described and justified in a report filed with the Planning Commission, or for variances and waivers which have been approved as identified on the final plat. The bond or other security that is posted to guarantee the completion of streets and related improvements shall also guarantee the installation of the indicated permanent reference markers and monuments, and benchmarks and property monuments upon completion of the subdivision.

Registered Land Surveyor: RYAN S. LYNCH
Tennessee License No. 2447
Date: _____

Certification of Class and Accuracy of Survey. I HEREBY CERTIFY THAT THIS IS A CATEGORY "1V" SURVEY IN ACCORDANCE WITH THE TENNESSEE STANDARDS OF PRACTICE.

Certification of the Accuracy of Survey. Survey accuracy shall meet the requirements of the current edition of the Rules of the Tennessee State Board of Examiners for Land Surveyors - Standards of Practice. I hereby certify that this survey was prepared in compliance with the current edition of the Rules of the Tennessee State Board of Examiners for Land Surveyors - Standards of Practice. Registered Land Surveyor: RYAN S. LYNCH, Tennessee License No. 2447, Date: _____, FINAL PLAT OF:



LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM

REVISIONS table with columns for DRAWN BY, CHECKED BY, APPROVED BY, SCALE, DATE.

HomeStead Land Holdings, LLC
122 Perimeter Park Rd
Knoxville, Tennessee 37922
Phone 865-690-3200

Ironwood Glen Subdivision
Hardin Valley Road
Knoxville, Tennessee
District 6, Knox County, Tennessee
PROJECT NO. 4491