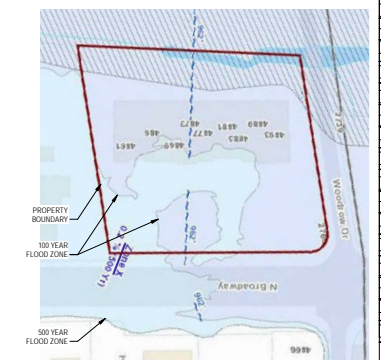
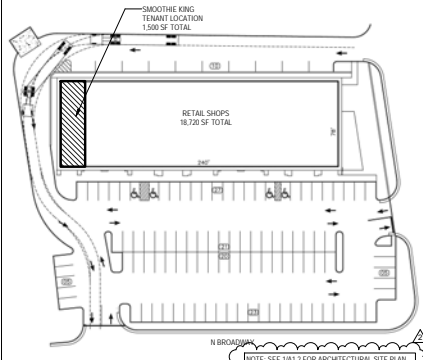


Tenant Improvement for: Smoothie King #1933

4861 North Broadway Street
Knoxville, TN 37918

05.17.2024



Construction Documents
05.17.2024

GENERAL			
G0.0	Cover Sheet	0	0
G0.1	Accessibility Details	0	0
G0.2	Specifications	0	0
LIFE SAFETY			
LS1.1	Life Safety Plan & Code Review	0	0
S0.1	Structural Notes	0	
S0.2	Structural Notes	0	
S1.1	Partial Foundation and Roof Framing	0	
S1.2	Sections and Details	0	
S3.2	Metal Stud Details	0	
ARCHITECTURAL			
A1.2	Architectural Site Plan	0	0
A1.3	Drive Thru Details (Reference Only)	0	0
A1.4	Floor Plan	0	0
A1.5	Equipment & Furniture Plan (Reference Only)	0	0
A2.1	Reduced Ceiling Plan and Drive-Thru Elevation	0	0
A2.0	Finish Floor Plan	0	0
A3.1	Graphic Plan, Schedule, & Interior Elevations	0	0
A4.1	Interior Elevations & Details	0	0
A5.1	Interior Elevations & Details	0	0
PLUMBING			
P1.1	General	0	0
P1.2	Details, Schedules and Riser Diagram	0	0
P1.1	Floor Plans - Plumbing	0	0
MECHANICAL			
M0.1	General	0	0
M0.2	Details	0	0
M0.3	Schedules	0	0
M0.4	Schedules	0	0
M1.1	Floor Plan - Mechanical	0	0
ELECTRICAL			
E0.1	General	0	0
E0.2	One-Line Diagram and Schedules	0	0
E0.3	Energy Compliance Report	0	0
E1.5	Floor Plan - Power	0	0
E5.1	Floor Plan - Lighting	0	0



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Tenant Improvement for:
Smoothie King #1933

4861 North Broadway Street
Knoxville, TN 37918



Project Phase: Construction Documents

Issue Date: 05.17.2024	
Revisions	
No.	Description
1	100 Comments
2	Drive Thru
	Date: 06.05.2024
	Date 2

Review Number: 8-C-24-20
Job Number: 22144
Cover Sheet

G0.0

6 Vicinity Map

Owner: Gahran Corporation
2300 Old Cahaban Drive
Knoxville, TN 37917
Contact: Craig Cantrell
E. cantrell@gahran.com

Client: Sean Campbell & Vivianh Scarbrough
4861 North Broadway Street
Knoxville, TN 37918
Contact: Sean Campbell
E. sean@scampbellreginald.com

Architect: Studio Four Design Inc.
414 Clinch Avenue
Knoxville, TN 37902
Contact: Stacy Cox
T. 865.523.5001
F. 865.523.5000
E. scov@sf4d.com

GENERAL CONTRACTOR CONTACT VENDORS

- BERNDEE MANUFACTURING - BRANDON WYNN - 210-650-3050 - BRANDON@BERNDEE.COM (EXT. METAL CLADDING)
- HOCHSIEGAL - CRAIG SVAR - 1-800-438-6057 - CSVAR@HOCHSIEGAL.COM (DC)
- MCAHONEY ACCESS - CHAD BAUER - 1-800-621-5045 x118 - READY@READYACCESS.COM (DRIVE THRU WINDOW)
- LOBE ELECTRIC - BILETTA CLARK - 614-421-3599 - BILETTA.CLARK@LOBELECTRIC.COM
- LOBELECTRIC - ANTHONY SCOLIO - 614-246-4960 - ANTHONY.SCOLIO@LOBELECTRIC.COM (LIGHTING)
- SHERWIN WILLIAMS - CONTACT LOCAL REPRESENTATIVE (INTERIOR & EXTERIOR PAINT)
- SPECIALTY LIGHTING GROUP - JESSIE TEJADA - 860-789-0110 x225 - JESSIE.TEJADA@SPECIALTYLIGHTING.COM (LIGHTING)
- USG - JOHN FINES - 312-436-5841 (OFFICE) - 312-401-6579 (CELL) - JFINES@USG.COM (CEILING TILES)

FRANCHISE CONTACT VENDORS

- ALLEN INDUSTRIES - DANN BARCLAY - 1-800-677-3070 x3039 - DANIEL.BARCLAY@ALLENINDUSTRIES.COM (CANOPIES)
- CMMS - JODI HINAND - 360-892-5480 - JODI@CMMS.COM (STORE MUSIC)
- CMMS - JODI HINAND - 360-892-5480 - JODI@CMMS.COM (DRIVE THRU MENU BOARDS)
- CREATIVE MATERIALS - ALISON PICKER - 318-773-9399 - ALISON@CREATIVEMATERIALS.COM (FLOOR/WALL TILE)
- HME - JOSH NOLAN - 800-848-4468 - JNOLAN@HME.COM (DRIVE THRU HEADSET, LOOP SPEAKER SYSTEM)
- STONE DECOR - ANGIE LARBER - 972-475-4004 x2206 - ANGIE@HISTORICSTONEDECOR.COM (INTERIOR GRAPHICS)

FURNITURE FIXTURES & EQUIPMENT (FF&E) - APPROVED PROVIDERS

- WASSERBROM - TYLER GREER - 614-737-8983 - TYLERGREER@WASSERBROM.COM (EQUIP, CABINERY & FURNITURE)

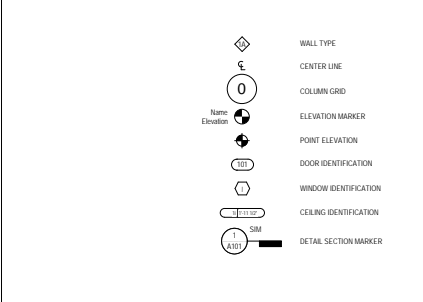
5 Project Contacts

	EARTH		WOOD - ROUGH
	GRAVEL		BATT INSULATION
	CONCRETE		GYPSON BOARD
	RIGID INSULATION		ACOUSTIC TILE
	METAL		MASONRY VENEER
	PLYWOOD		CONCRETE MASONRY UNIT
	WOOD - FINISHED		

4 Materials Legend

3 Tenant Location Map

NTS



2 Graphic Symbols

NTS

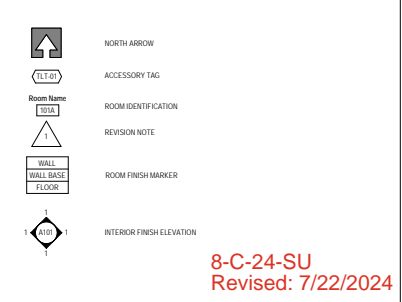
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, CONTRACTOR SHALL OBTAIN CLARIFICATION IN WRITING FROM THE ARCHITECT.
- INTERIOR AND EXTERIOR WALL AND PARTITION DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE. MASONRY DIMENSIONS ARE FROM OUTSIDE EDGE TO OUTSIDE EDGE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES, REGULATIONS AND ORDINANCES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR CONSTRUCTION.
- FIRE EXTINGUISHERS ARE REQUIRED IN THE SPACE PER NFPA 10. MOUNT CABINETS AND EXTINGUISHERS AT LOCATIONS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE FIREBIDDING INSPECTOR.
- CONSTRUCTION MATERIALS SPECIFIED AND NOTED ON THE DRAWINGS ARE REPRESENTATIVE OF THE GENERAL DESIGN INTENT.
- GENERAL CONTRACTOR TO VERIFY CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ARE DIFFERENT THAN SHOWN IN DRAWINGS, CONTACT ARCHITECT IMMEDIATELY.
- WHERE A DETAIL IS SHOWN ON A NOTE IS DESCRIBED FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SURROUNDINGS PROPERTY, STREETS, WALKS, ETC. DURING CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED AS A RESULT.
- CONTRACTOR TO COORDINATE LOCATION OF TEMPORARY CONSTRUCTION BARRIERS WITH OWNER. MEANS OF EGRESS EXIT ACCESS ROUTES MUST REMAIN OPEN AND ACCESSIBLE TO ALL OCCUPANTS.

1 General Notes

NTS

7 FEMA Flood Map

NTS



8-C-24-SU
Revised: 7/22/2024

1 Demolition Notes

NTS

- REMOVE ALL MATERIALS AS INDICATED ON THE DRAWINGS.
- FILL EXCAVATIONS, OPEN PITS, AND HOLES IN GROUND AREAS GENERATED AS RESULT OF REMOVALS, USING SPECIFIED FILL. COMPACT FILL SEE CIVIL DRAWINGS.
- COMPLY WITH APPLICABLE CODES AND REGULATIONS FOR DEMOLITION OPERATIONS AND SAFETY OF ADJACENT STRUCTURES AND THE PUBLIC.
- DO NOT BEGIN REMOVAL UNTIL RECEIPT OF NOTIFICATION TO PROCEED FROM OWNER.
- DO NOT BEGIN REMOVAL UNTIL BUILT ELEMENTS TO BE SALVAGED OR RELOCATED HAVE BEEN REMOVED.
- DO NOT BEGIN REMOVAL UNTIL VEGETATION TO BE RELOCATED HAS BEEN REMOVED AND SPECIFIED MEASURES HAVE BEEN TAKEN TO PROTECT VEGETATION TO REMAIN.
- PROTECT EXISTING STRUCTURES AND OTHER ELEMENTS THAT ARE NOT TO BE REMOVED.
 - PROVIDE BRACING AND SHORING.
 - PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES.
 - STOP WORK IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER.
- HAZARDOUS MATERIALS: COMPLY WITH 29 CFR 1926 AND STATE AND LOCAL REGULATIONS.
- COORDINATE WORK WITH UTILITY COMPANIES. NOTIFY BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. OBTAIN REQUIRED PERMITS.
- PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE.
- DO NOT CLOSE, SHUT OFF, OR DISRUPT EXISTING LIFE SAFETY SYSTEMS THAT ARE IN USE WITHOUT AT LEAST 7 DAYS PRIOR WRITTEN NOTIFICATION TO OWNER.
- DO NOT CLOSE, SHUT OFF, OR DISRUPT EXISTING UTILITY BRANCHES OR TAKE-OFFS THAT ARE IN USE WITHOUT AT LEAST 7 DAYS PRIOR WRITTEN NOTIFICATION TO OWNER.
- LOCATE AND MARK UTILITIES TO REMAIN. MARK USING HIGHLY VISIBLE TAGS OR FLAGS, WITH IDENTIFICATION OF UTILITY TYPE. PROTECT FROM DAMAGE DUE TO SUBSEQUENT CONSTRUCTION, USING SUBSTANTIAL BARRICADES IF NECESSARY.
- PREPARE BUILDING DEMOLITION AREAS BY DISCONNECTING AND CAPPING UTILITIES OUTSIDE THE DEMOLITION ZONE. IDENTIFY AND MARK UTILITIES TO BE SUBSEQUENTLY RELOCATED, IN SAME MANNER AS OTHER UTILITIES TO REMAIN.
- MAINTAIN WEATHERPROOF EXTERIOR BUILDING ENCLOSURE EXCEPT FOR INTERRUPTIONS REQUIRED FOR REPLACEMENT OR MODIFICATIONS. TAKE CARE TO PREVENT WATER AND HUMIDITY DAMAGE.
- PROTECT EXISTING WORK TO REMAIN.
 - PREVENT MOVEMENT OF STRUCTURE. PROVIDE SHORING AND BRACING IF NECESSARY.
 - PERFORM CUTTING TO ACCOMPLISH REMOVALS NEATLY AND AS SPECIFIED FOR CUTTING NEW WORK.
 - REPAIR ADJACENT CONSTRUCTION AND FINISHES DAMAGED DURING REMOVAL WORK.
- PATCH AS SPECIFIED FOR PATCHING NEW WORK.
- REMOVE DEBRIS, JUNK, AND TRASH FROM SITE. LEAVE SITE IN CLEAN CONDITION, READY FOR SUBSEQUENT WORK.
- CLEAN UP SPILLAGE AND WIND-BLOWN DEBRIS FROM PUBLIC AND PRIVATE LANDS.

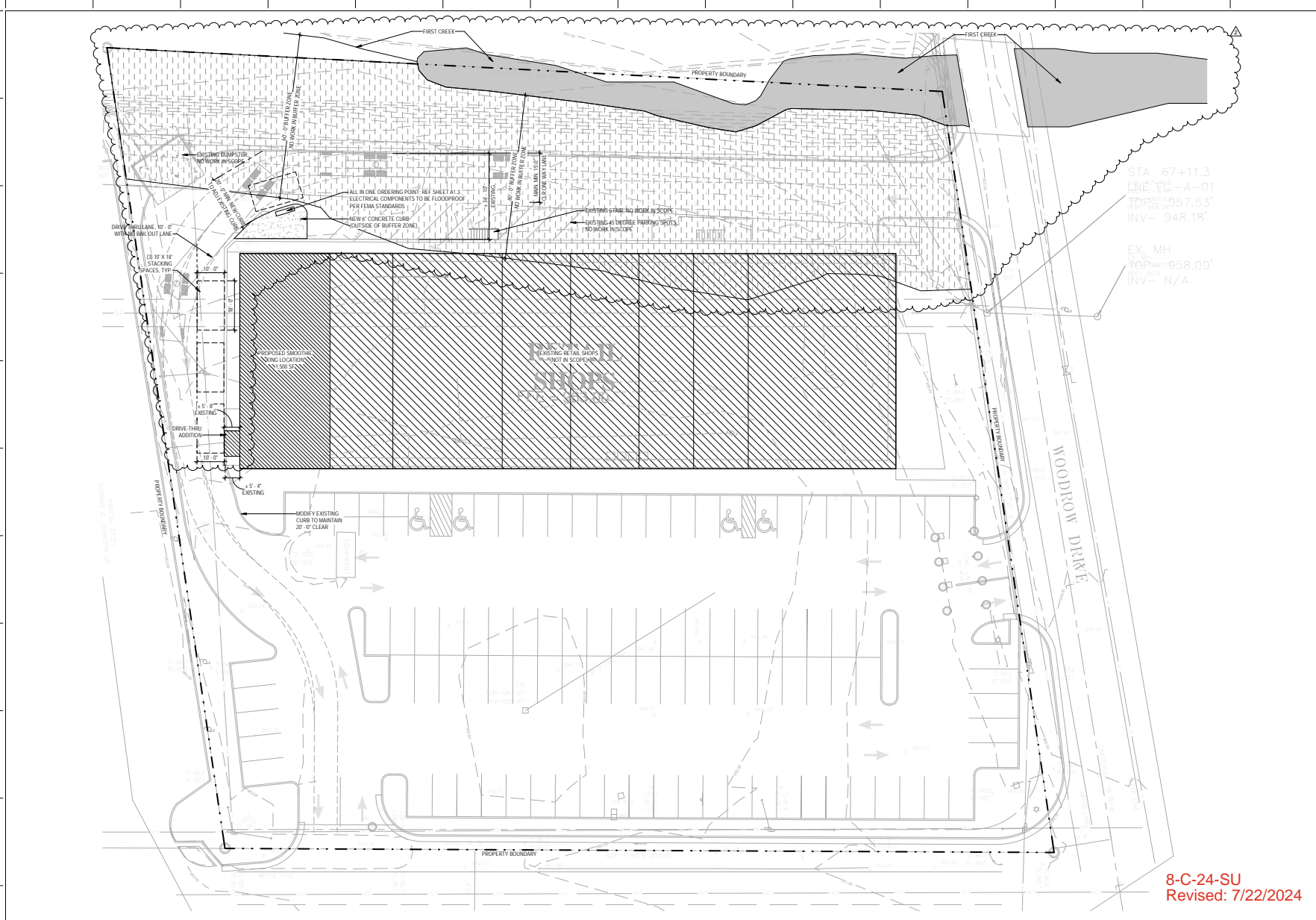
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DATE: 7/20/2024 3:30:57 PM
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STA. 67+11.3
 LINE EC-A-01
 TOP = 957.53'
 INV = 948.18'

EX. MH
 TOP = 958.09'
 INV = N/A

Tenant Improvement for:
Smoothie King #1933

4861 North Broadway Street
 Knoxville, TN 37918



Project Phase: Construction Documents

Issue Date: 05.07.2024

No.	Description	Date
1	10% Comments	06/05/2024
2	Drive Thru	Date 2

Review Number: 8-C-24-20
 Job Number: 22144

Architectural Site Plan
A1.2

8-C-24-SU
 Revised: 7/22/2024



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8-C-24-SU
Revised: 7/22/2024

Tenant Improvement for:
Smoothie King #1933

4861 North Broadway Street
Knoxville, TN 37918



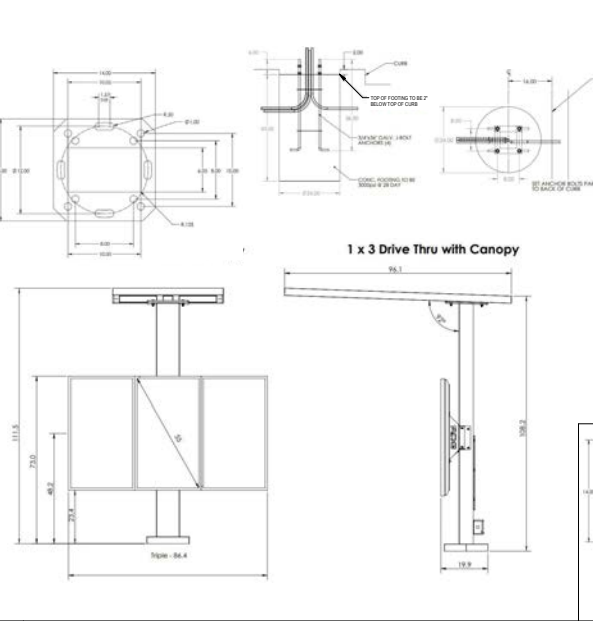
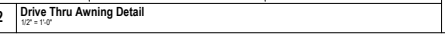
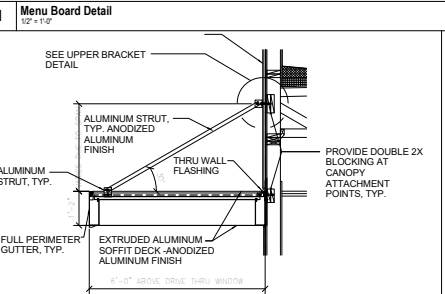
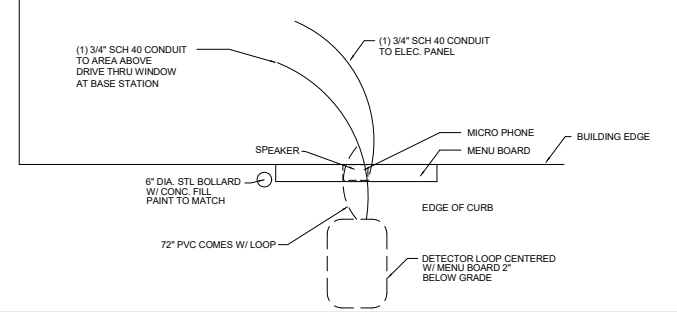
Project Phase: Construction Documents

Revisions		
No.	Description	Date

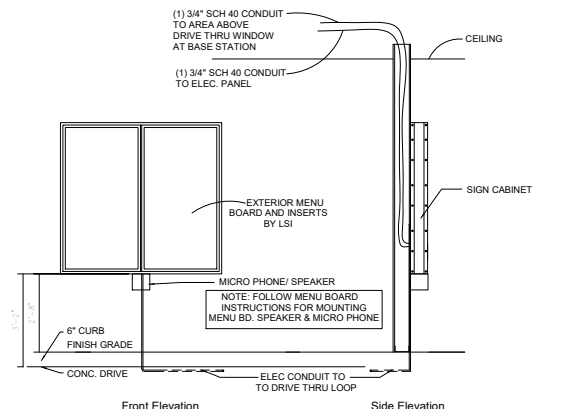
Review Number: 8-C-24-24
Job Number: 22144

Drive Thru Details
(Reference Only)

A1.3



2 Exterior Menu Board Elevation Detail and Mounting

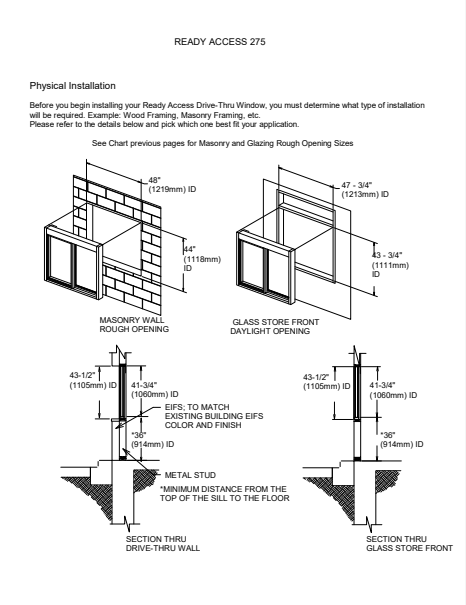


DRIVE THRU SCHEDULE

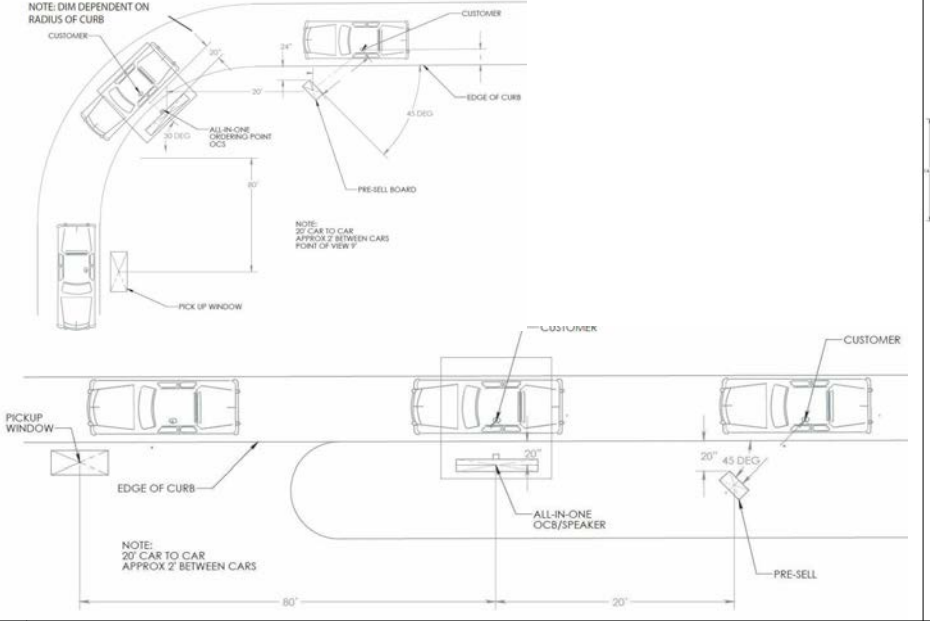
MARK	PROVIDED BY	DESCRIPTION
(A)	ZIE	MENU BOARD (CONTACT JODI HINAND AT CSM5 - 360-892-5480)
(B)	ZIE	MENU INSERT (PROVIDED BY COLORMARK)
(C)	ZIE	HME BUNDLE (HEADSETS, VEHICLE DETECTION) CONTACT CRAIG AT 770-309-1768
(D)	e.c.	DRIVE THRU WINDOW-SEE DETAIL 5/A-9 CONTACT READY ACCESS AT 800-821-5045 FOR WINDOW ORDERS AND NATIONAL PRICING. FOR INSTALLATION DETAILS WEB SITE: WWW.READY-ACCESS.COM

NOTE: CONTRACTOR TO FINALIZE LOCATION OF DRIVE THROUGH EQUIPMENT WITH OWNER AND LANDLORD PRIOR TO ROUGH-IN AND INSTALLATION.

5 Drive Thru Schedule



6 Detail - Drive Thru Window



3 Detail - Typ. Drive Thru Menu Board Set Up

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8-C-24-SU
Revised: 7/22/2024

Tenant Improvement for:
Smoothie King #1933

4661 North Broadway Street
Knoxville, TN 37918



Project Phase: Construction Documents

Issue Date: 05.17.2024

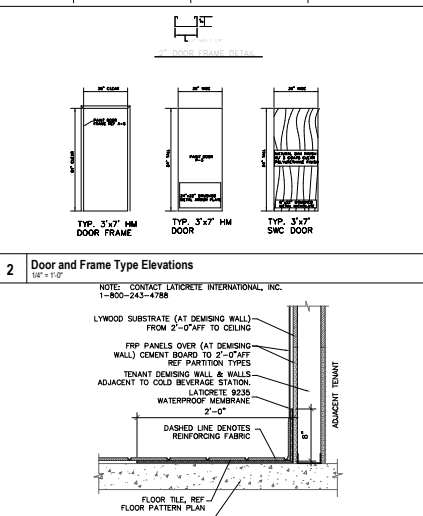
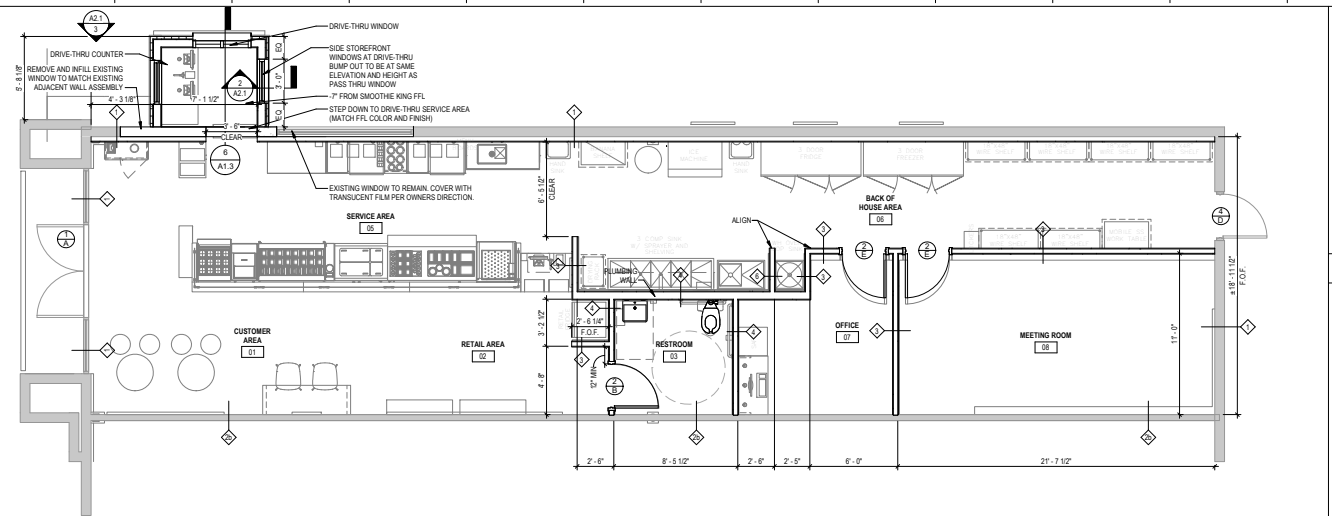
No.	Description	Date

Revision Number: 8-C-24-SU

Job Number: 22144

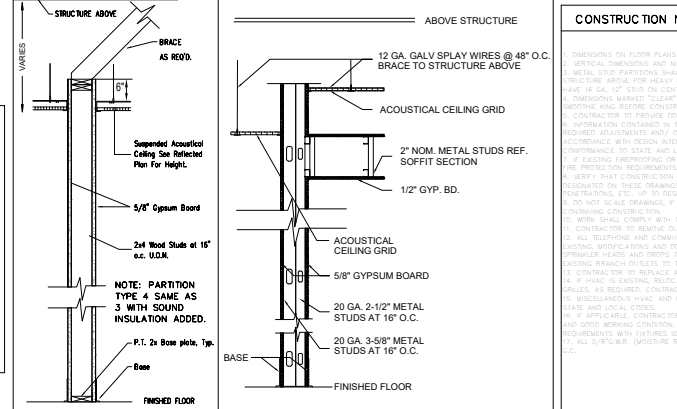
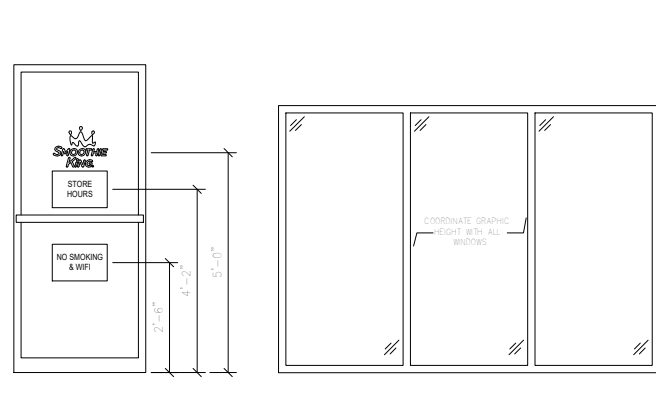
Floor Plan

A1.4



7 Floor Plan
1/4" = 1'-0"

2 Door and Frame Type Elevations
1/4" = 1'-0"



6 Typical Window and Door Graphics
3/8" = 1'-0"

4 Int. Wall Section Wall Type 3 & 4
3/8" = 1'-0"

1 Waterproofing for FRP Wall Base at Demising Wall(s)
3/8" = 1'-0"

CONSTRUCTION NOTES

- DIMENSIONS ON FLOOR PLANS ARE FINISH WALL SURFACE TO FINISH WALL SURFACE.
- VERTICAL DIMENSIONS AND NUMERICAL ELEVATIONS ARE TO THE FINISH SURFACE.
- ALL METAL STUD PARTITIONS SHALL HAVE REINFORCEMENT FOR ATTACHMENT OF WALL MOUNTED ITEMS AS REQUIRED, AND SHALL BE BRACED TO STRUCTURE ABOVE FOR HEAVY ITEMS AS REQUIRED FOR SUPPORT. IF WATER HEATER IS SCHEDULED TO BE INSTALLED ON THE FLOOR, WALLS TO HAVE 1/2" GAL. UP STEEL ON CENTER TO ACCOMMODATE THE WATER HEATER. PROVIDE 5/8" TYP. 1" GREEN BRACE AT SET LOCATIONS.
- DIMENSIONS MARKED "CLEAR" INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED. ANY DISCREPANCIES MUST BE REPORTED TO SMOOTHIE KING BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO PROVIDE DOORS, FRAMES, STOPS, MUTES, AND BUTTS THROUGHOUT FOR A COMPLETE INSTALLATION.
- IMPROVEMENTS COVERED BY THESE DOCUMENTS IS BASED ON EXISTING CONDITIONS AND LATEST FIELD MEASUREMENTS, AND THERE MAY BE REQUIRED ADJUSTMENTS AND/OR MODIFICATIONS TO CONFORM TO EXISTING CONDITIONS. QUALITY AND SHALL APPROVE ADJUSTMENTS IN ACCORDANCE WITH DESIGN INTENT. IN NO CASE SHALL GAP ADJUSTMENTS REDUCE THE QUALITY OF CONSTRUCTION OR REDUCE THE PROJECT'S PERFORMANCE TO STATE AND LOCAL CODES AND ORDINANCES.
- IF EXISTING FIREPROOFING OR FIRE ASSEMBLIES ARE DAMAGED DURING CONSTRUCTION, THEY SHALL BE RESTORED TO ORIGINAL FIRE PROTECTION REQUIREMENTS.
- VERIFY THAT CONSTRUCTION OF EXISTING WALLS, FLOORS AND OPENINGS WITHIN THE PROJECT SCOPE MEET THE FIRE PROTECTION RATING REQUIRED ON THESE DRAWINGS. MAKE ANY REPAIRS OR MODIFICATIONS NECESSARY TO BRING ALL WALLS, FLOORS, DOORS, AND OPENINGS UP TO DESIGNATED RATING.
- IF NOT SHOWN OTHERWISE, IF REBARRED ARE IN QUESTION, OBTAIN CLARIFICATION FROM SMOOTHIE KING DESIGN TEAM PRIOR TO CONTINUING CONSTRUCTION.
- WORK SHALL COMPLY WITH THE S.D.A. REQUIREMENTS. CONSULT ARCHITECT IF MOUNTING HEIGHTS AND CLEARANCES ARE IN DOUBT.
- CONTRACTOR TO REMOVE OLD FLOORING, IF APPLICABLE. FLASH PATCH AREAS WHERE FLOOR IS NOT LEVEL OR TRUE.
- ALL TELEPHONE AND COMMUNICATIONS WIRING MUST BE AIR PLUMB APPROVED OR IN COMPLIANCE WITH AUTOMATIC SPRINKLER SYSTEM IS EXISTING. NOTIFY PHONE AND DOCUMENTATION FOR OBTAINING PERMITS IS RESPONSIBILITY OF THE CONTRACTOR. ADVISE LOCATION OF SPRINKLER HEADS AND STOPS TO ACCOMMODATE PARTITIONS AND CEILING SYSTEM. AS REQUIRED BY CODE, PROVIDE "ARM OVER" FROM THE EXISTING BRANCH IN SETS TO THE NEW SPRINKLER HEADS. ALL SPRINKLER WORK SHALL COMPLY WITH NFPA 13.
- CONTRACTOR TO BRACE ALL MISSING EIGHTH-INCH PLATES, NEW PLATES TO MATCH EXISTING.
- IF HVAC IS EXISTING, ELUCIDATE LOCATION TO CONFORM TO BRACED WALL LOCATIONS, COMPLY WITH LOCAL CODES AND RETURN GRILLES, AS REQUIRED. CONTRACTOR TO RE-BALANCE HVAC SYSTEM.
- RE-BALANCING HVAC AND PLUMBING WORK NOT SPECIFICALLY NOTED ON THE DRAWINGS SHALL COMPLY WITH THE APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- IF APPLICABLE, CONTRACTOR TO CLEAN AND REPAIR ALL EXISTING PLUMBING FIXTURES AND TRAP ACCESSORIES TO A NEW APPEARANCE AND GOOD WORKING CONDITION. REPLACE PLUMBING FIXTURES AND/OR TRAP ACCESSORIES NOT MEETING CURRENT A.P.A. OR LOCAL CODE REQUIREMENTS WITH FIXTURES SCHEDULED ON THE SHEET.
- ALL SURFACES (IMPERVIOUS, RESISTANT TO WEAR) IN THE LEASED PREMISES SHALL BE FINISHED, INSTALLED, TAPED AND SPACKLED BY 12/31/2024.

PARTITION TYPES

MARK	DESCRIPTION
	EXTERIOR WALL ADD ONE LAYER 5/8" TYPE 'X' GYPSUM WALL BOARD FULL HEIGHT (C.C. RESPONSIBLE FOR INSULATION AND SHEETROCK)
	NOT USED
	1-HR PARTITION EXISTING SEE DETAIL 4/A-2 (C.C. RESPONSIBLE FOR INSULATION AND SHEETROCK)
	NEW STANDARD INTERIOR WALL TO EXTEND 8" ABOVE LAY IN CEILING WITHOUT INSULATION. BRACE TO STRUCTURE ABOVE. REF DETAIL 5/A-2
	NEW STANDARD INTERIOR WALL TO EXTEND 8" ABOVE LAY IN CEILING WITH INSULATION. BRACE TO STRUCTURE ABOVE.
	FINISHED FURRED OUT 2 1/2" WALL TO EXTEND 8" ABOVE LAY IN CEILING. BRACE TO STRUCTURE ABOVE.
	NEW STANDARD INTERIOR WALL TO EXTEND TO HOT WATER HEATER SHELF. REF DETAIL 6/A-7
	NOT USED

*** WHERE PLUMBING IS SHOWN, CONTRACTOR TO ALLOW FOR SPECIAL WALL THICKNESS REQUIRED FOR SAME.

DOOR SCHEDULE

MARK	PROVIDED BY	DOOR	MATERIAL	FRAME	THRESHOLD	REMARKS
	G.C.	NEW DOOR 3'-0" X 7'-0"	TEMPERED GLASS, STORE FRONT	ALUMINUM	ALUM.	LOCATE NEW DOOR AS SHOWN ON PLAN. SEE DETAIL 3/A-2 FOR DOOR GRAPHICS
	G.C.	NEW 3'-0" X 7'-0"	SOLID CORE FLUSH OAK VENEER DOOR	HOLLOW METAL TO BE PAINTED		USED AT RESTROOM AND OFFICE
		NOT USED				
	G.C.	EXISTING 3'-0" X 7'-0"	HOLLOW CORE METAL TO BE PAINTED	HOLLOW METAL TO BE PAINTED	ALUM.	REAR EXIT DOOR - EXTERIOR SIDE OF DOOR TO BE PAINTED TO MATCH EXTERIOR WALL FINISH.
		NOT USED				

*** WHERE PLUMBING IS SHOWN, CONTRACTOR TO ALLOW FOR SPECIAL WALL THICKNESS REQUIRED FOR SAME.

*** WHERE ACCESSIBLE GUIDELINES 4.27.4 OPERATION CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE FIGHT GRASPING, PUNCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBF (22.2 N).

DOOR HARDWARE INFORMATION

FLOOR STOP 4390260
EACH DOOR 3 HINGES CB1960 4-1/2 X 4-1/2 NRP-US300
EACH DOOR 3 MUTES
EXTERIOR THRESHOLD, NATIONAL GUARD 884V ALUMINUM OR EQUAL.
WEATHERSTRIPPING, NATIONAL GUARD 160 NRP
PRIVACY SET-SARGENT 7000 / L1 LEVER / US260 OR EQUAL.
LOCKSET-SARGENT 7000 / L1 LEVER / US260 OR EQUAL.
CLOSER AT EXTERIOR DOOR TO BE SARGENT 1400 SERIES
REASJAM LEVER US200 OR EQUAL.
CLOSER AT INTERIOR DOOR TO BE SARGENT 1431 OR EQUAL.

FLOOR PLAN LEGEND

MARK	DESCRIPTION
	NOT IN CONTACT
	EXISTING WALL
	EXISTING WALL TO REMAIN
	DEMCO WALL
	REMOVE SCOPE

5 Int. Wall Section Wall Type 3 & 4 Copy 1
1/2" = 1'-0"

3 Typ. Interior Bumped Out Furred Wall
3/8" = 1'-0"

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 File: C:\Users\p4p\Desktop\24103_Smoothie King_Roulette.dwg, R:\Users\p4p\Documents\24103_Smoothie King_Roulette.dwg
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 architecture | interiors
 414 clinch avenue | knoxville, tn 37902
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8-C-24-SU
 Revised: 7/22/2024

Tenant Improvement for:
Smoothie King #1933
 4861 North Broadway Street
 Knoxville, TN 37918



Project Phase: Construction Documents

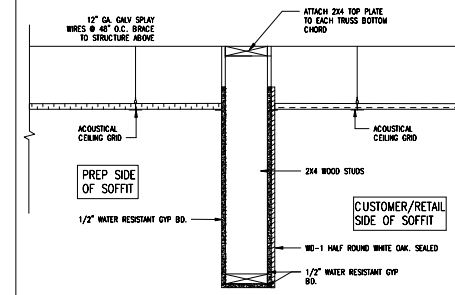
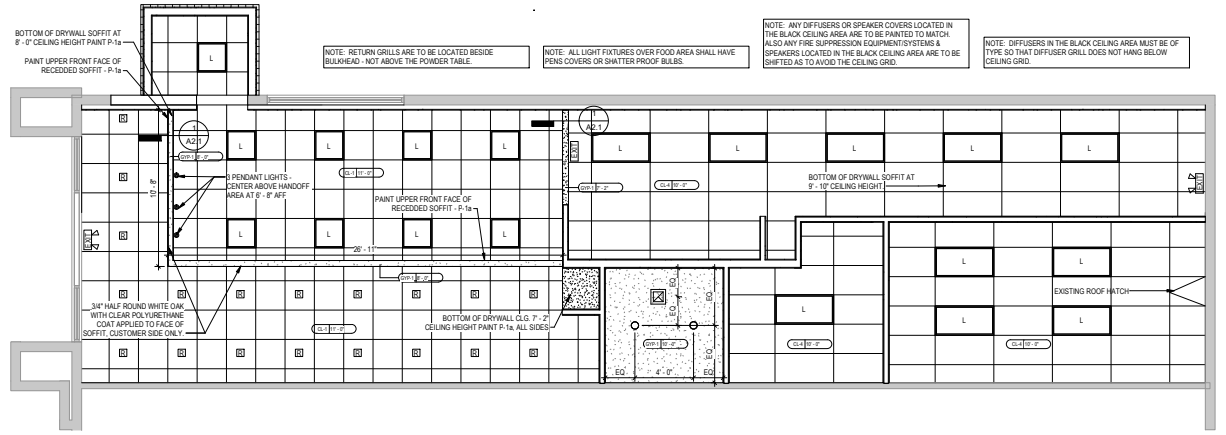
Issue Date: 05/10/2024

No.	Description	Date

Review Number: 8-C-24-29
 Job Number: 22144

Reflected Ceiling Plan and Drive-Thru Elevation

A2.1



5 Reflected Ceiling Plan
1/4" = 1'-0"

1 Detail - Soffit Section
1/12" = 1'-0"

LIGHTING NOTES

- IF APPLICABLE REMOVE EXISTING PENDING 2 & 4 LIGHT FIXTURES IN THE BLACK AREA AS NECESSARY DUE TO THE NEW STORE LAYOUT.
- PROVIDE CONDUIT, WIRE, LIGHT FIXTURES, ETC. TO ACCOMMODATE NEW LIGHTING ARRANGEMENT AND AS REQUIRED TO MAINTAIN CIRCUIT CONTINUITY OF LIGHTS TO REMAIN.
- RELOCATE EXISTING LIGHT SWITCHES AS REQUIRED. SEE LIGHTING SWITCHING LEGEND.
- EXIT SIGNS COMPETING WITH SIGNS SHALL REMOVE SIGNS AND ACCESS TO EXITS WHERE THE EXIST IS NOT IMMEDIATELY APPARENT.
- IF THERE IS AN EXISTING FIRE ALARM SYSTEM, MODIFICATIONS SHALL BE DONE IN ACCORDANCE WITH NFPA 10A, NFPA 72 AND 404-42.

MECHANICAL NOTES

- AFTER DIFFUSER INSTALLATION, CONTRACTOR SHALL PERFORM A PRELIMINARY FUNCTIONAL TEST ON ALL DIFFUSERS TO PROVE THAT ALL DIFFUSERS RESPOND TO THE THERMOSTAT SIGNAL CALLING FOR THE COMPLETE SHUT-OFF OF AIR DELIVERY WHEN SCHEDULED, AND THAT ALL CONTROL TUBES AND CAPS ARE PROPERLY CONNECTED.
- CONTRACTOR TO REMOVE PIPING WHICH IS IN THE WAY OF NEW CONSTRUCTION AND CAP PIPING AS REQUIRED.

CEILING LEGEND

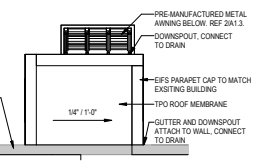
MARK	TYPE	APPEARANCE	DESCRIPTION	COMMENTS

THE PATTERN OF THE TILE IS TO RUN AS SHOWN ON PLAN.

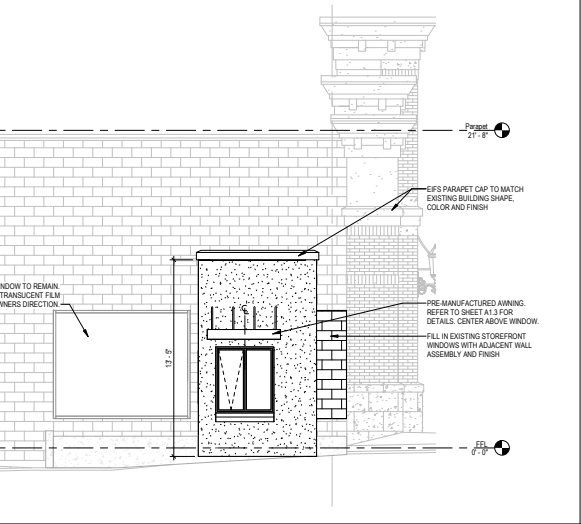
LIGHTING & MECHANICAL LEGEND

MARK	TYPE	APPEARANCE	DESCRIPTION	COMMENTS

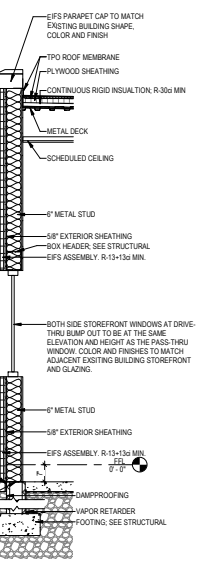
4 Drive-Thru Roof Plan
1/4" = 1'-0"

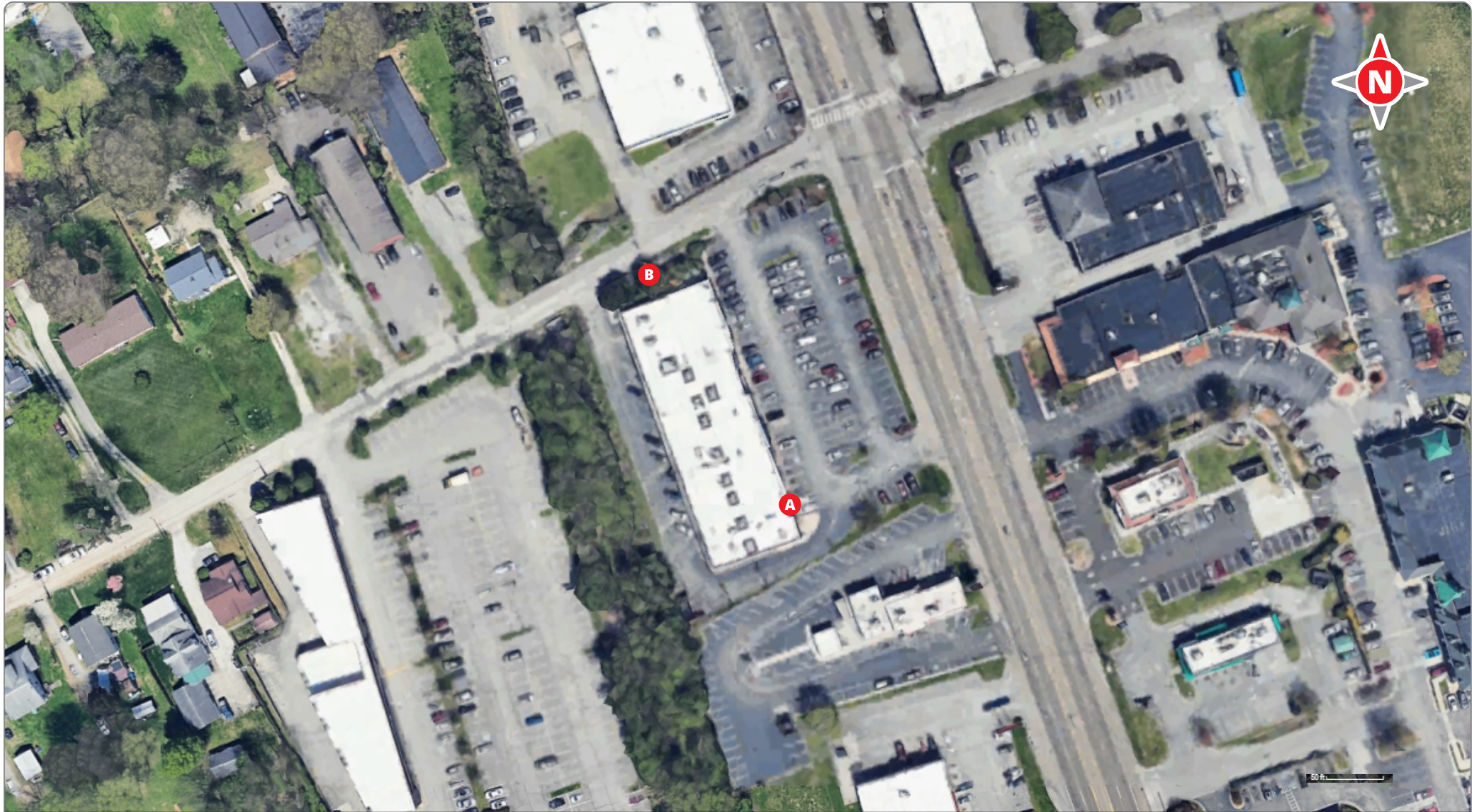


3 Drive-Thru Exterior Elevation
1/4" = 1'-0"



2 Drive-Thru Wall Section
1/2" = 1'-0"





SITE VIEW



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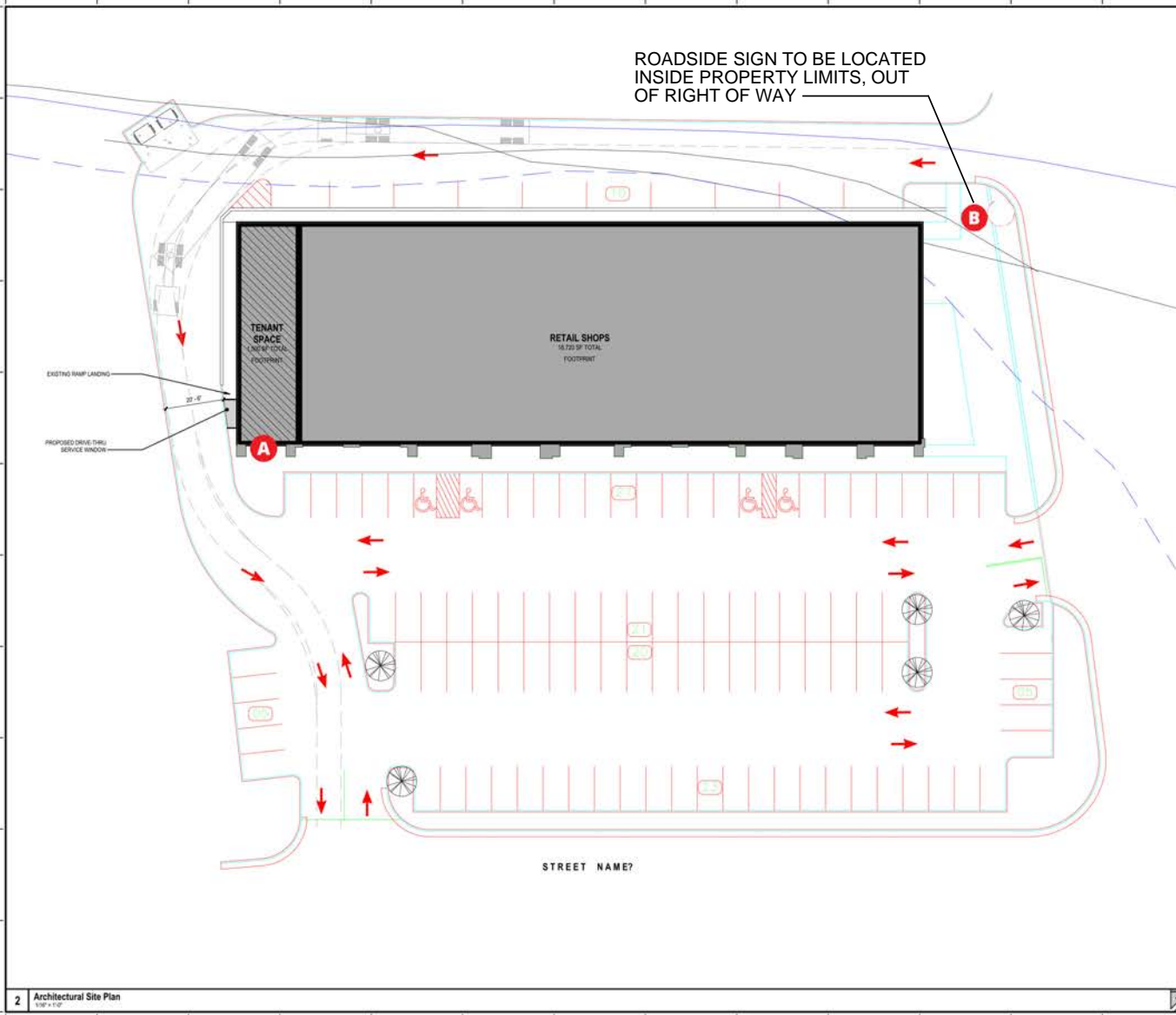
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8-C-24-SU
Revised: 7/22/2024

DATE

CUSTOMER	SMOOTHIE KING - FOUNTAIN CITY, TN
LOCATION	4861 N. BROADWAY STREET, KNOXVILLE, TN, 37918
SALES REP	WILLIAM YUSKO
PROJECT MGR.	DAVID SNELLING
DRAWN BY	RYAN PARKER
DATE	3-25-2024
FILE NAME:	108002 SMOOTHIE KING_FOUNTAIN CITY_TN

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- 1 Site Plan Legend**
- BUILDING FOOTPRINT - PROPOSED
 - BUILDING FOOTPRINT - EXISTING
 - PORCH FOOTPRINT - PROPOSED
 - EASEMENT
 - BUILD-TO-ZONE
 - CONCRETE SITE SLAB - PROPOSED
 - PLANTER BED / LANDSCAPE AREA - PROPOSED
 - BRICK PAVERS PER CIVIL - PROPOSED
 - GRAVEL PER LANDSCAPE - PROPOSED
 - PROPERTY BOUNDARY
 - EASEMENT
 - CENTERLINE OF RIGHT-OF-WAY
 - PAINTED STRIPING & PARKING LOT SYMBOLS - SEE PLAN FOR LAYOUT
 - BICYCLE RACK (IN-GROUND MOUNT) - PROPOSED
 - CONDENSING UNIT (PER MECHANICAL) - PROPOSED
 - CURBSIDE TRASH / RECYCLING CART (PER JURISDICTION) - PROPOSED
 - DUMPSTER (PER OWNER) - PROPOSED
 - CMU SITE WALL (PER CIVIL OR STRUCTURAL) - PROPOSED
 - TREE (PER LANDSCAPE) - PROPOSED
 - SHRUB (PER LANDSCAPE) - PROPOSED
 - PLANTER (PER LANDSCAPE) - PROPOSED

2 Architectural Site Plan
1/8" = 1'-0"

1 Site Plan Legend
1/8"



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EXISTING



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PROPOSED



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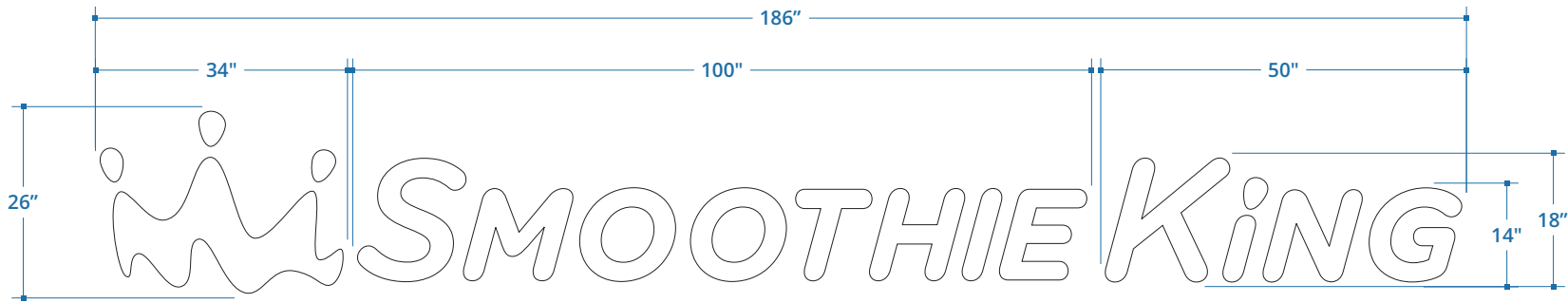
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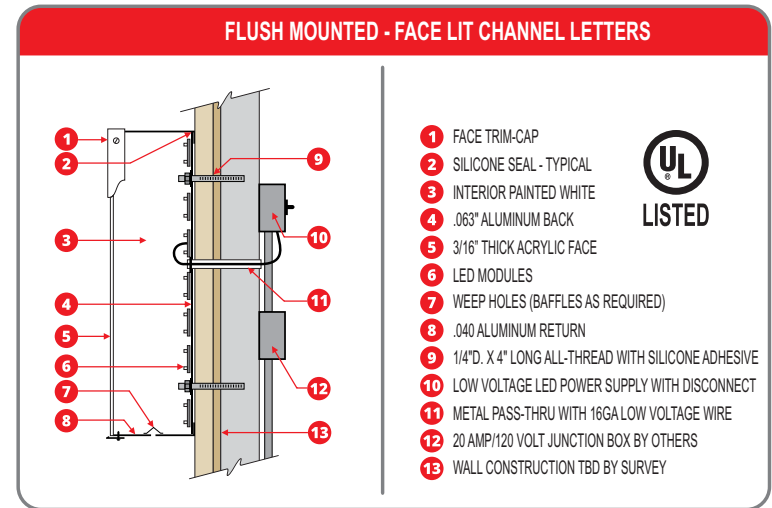


A LED ILLUMINATED CHANNEL LETTERS: -- SQ FT - **QUANTITY 1**
1/2" SCALE

SIDE VIEW

- BACKS :** 3MM ACM
- RETURNS :** .040" x 3" DEEP ALUM. RETURN - PMS COOL GRAY 7C
- TRIM CAP :** 1" METALLIC SILVER
- FACES :** .177" #7328 WHITE PLEX WITH 1ST SURFACE VINYL (SEE COLOR PALETTE)
- ILLUMINATION :** USE WHITE LEDS & POWER SUPPLIES AS REQUIRED FOR PROPER ILLUMINATION - EXTERNAL DISCONNECT SWITCH ON "G" IN "KING"
- MOUNTING:** #8 X 3 1/2" WOOD SCREWS INTO WOOD BLOCKING/FRAMING FOR EIFS FACADE OR #12 X 2 1/2" TAPCONS W/ MINIMUM 2" EMBEDMENT IF GOING INTO BLOCK/BRICK W/ MIN OF 4 FASTENERS PER LETTER - SEAL ALL WALL PENETRATIONS W/ SILICONE

COLORS USED



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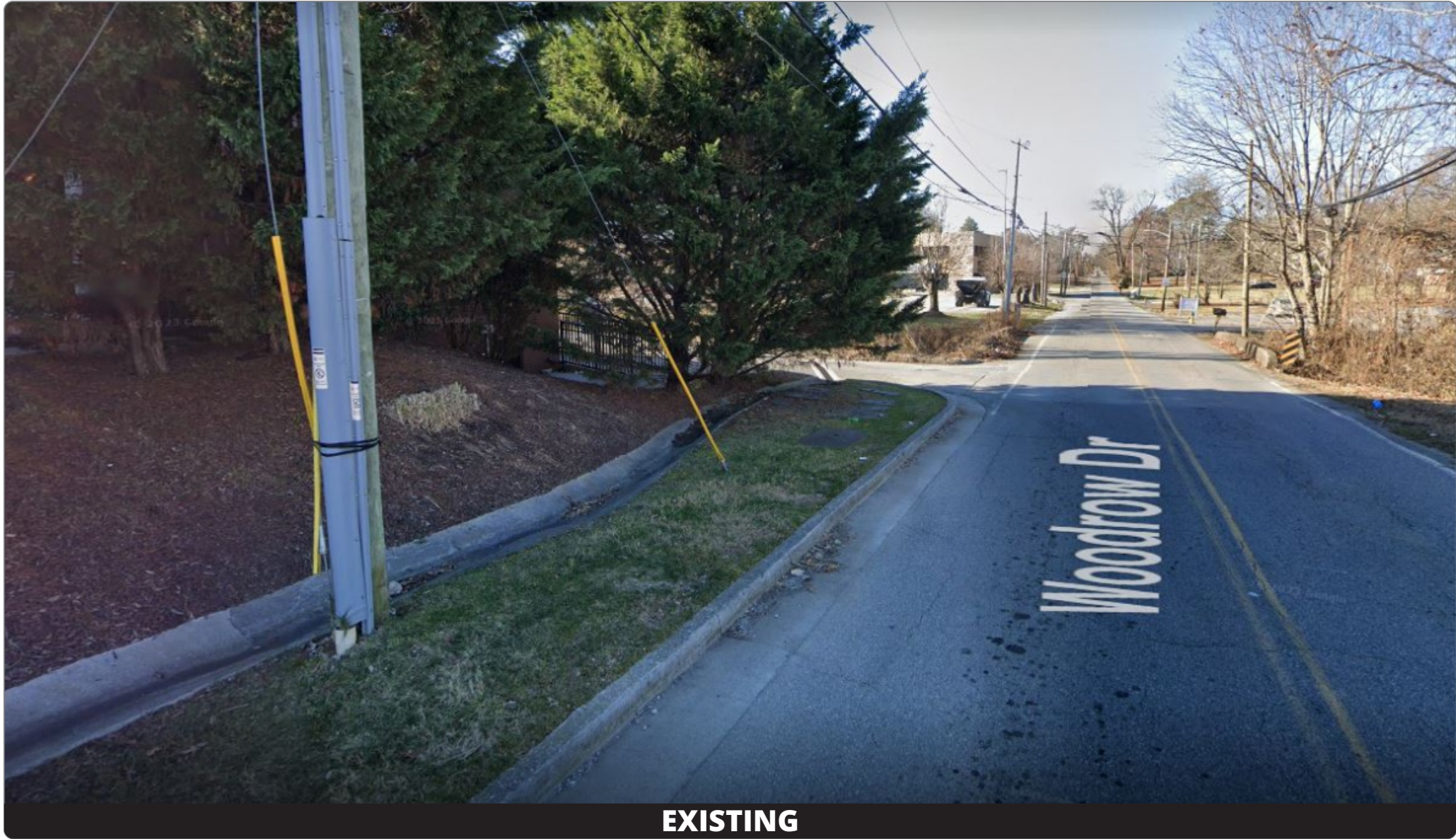
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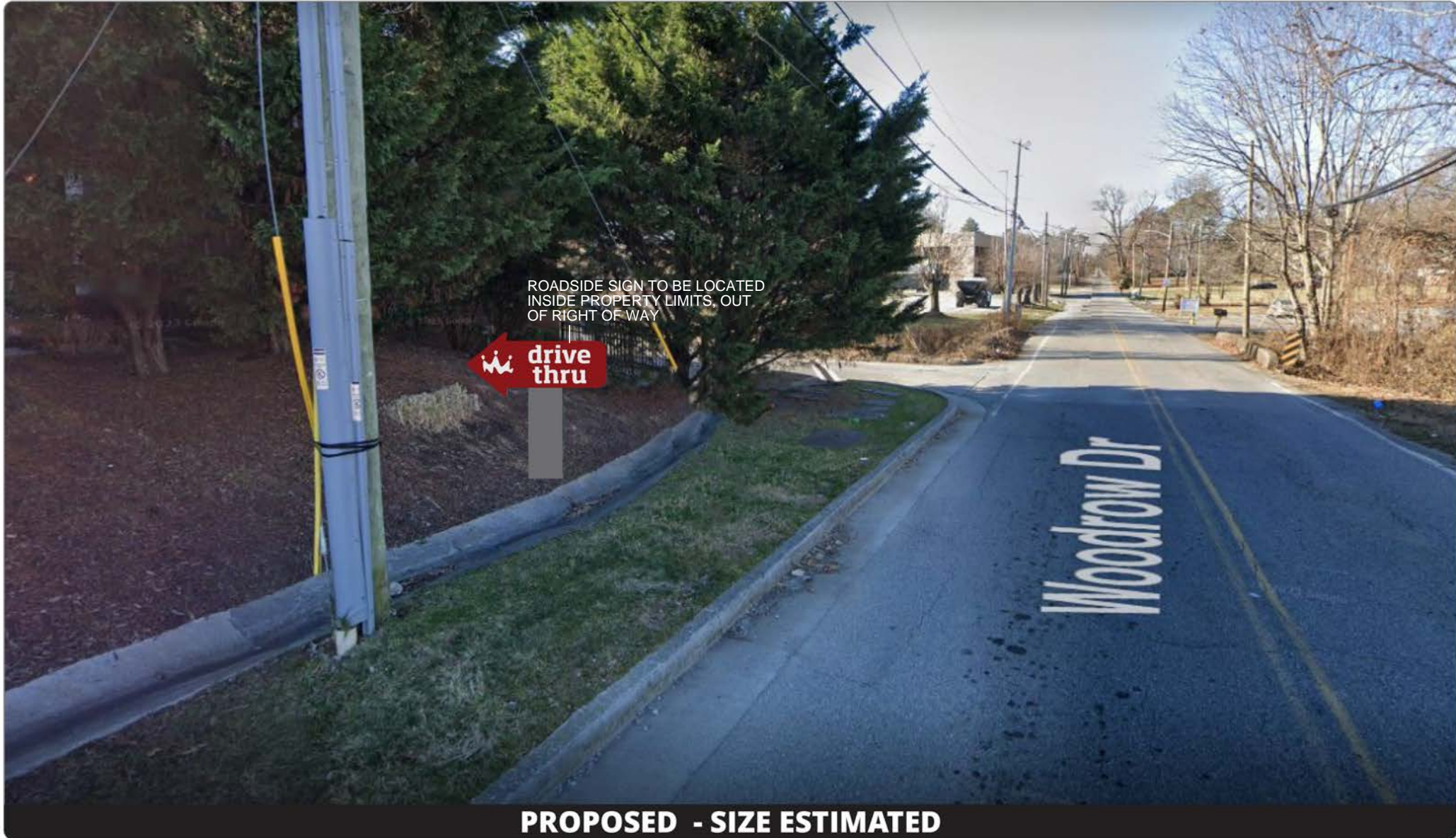
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PROPOSED - SIZE ESTIMATED



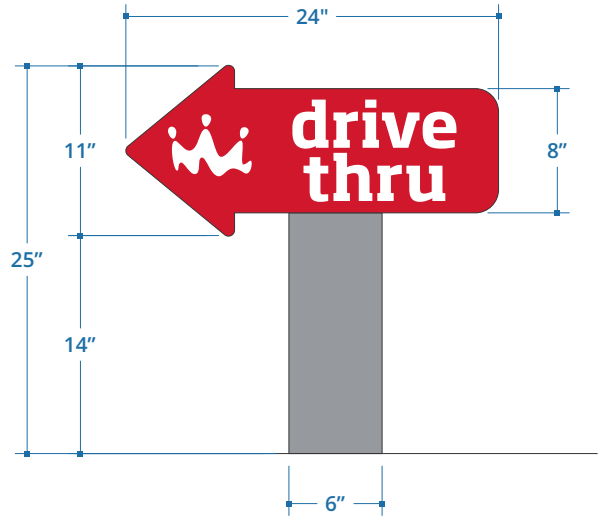
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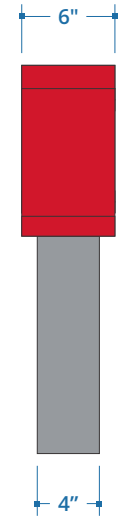
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SIDE A



SIDE B



SIDE:
1 1/2" SCALE

D/F NON-ILLUMINATED DIRECTIONAL SIGN: 2 SQUARE FEET • QUANTITY 1
1 1/2" SCALE

SPECIFICATIONS

3/16" WHITE PLEX FACES WITH APPLIED VINYL GRAPHICS

1" RED JEWELITE TRIM

12" ALUMINUM RETURNS

NON ILLUMINATED

ALUMINUM CLADDING POLE COVER PAINTED GRAY

DIRECT BURY INSTALLATION WITH 36" LONG PIPE

**** POSSIBLE UTILITIES IN PROPOSED AREA ****

COLORS USED

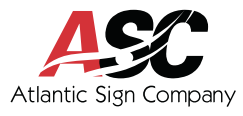
AVERY
UC900-343-T
Vivid Red



PANTONE
1797
Red



PANTONE
Cool Gray 7
Gray



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