

H:\Elizabeth Eason Arch\196.06 - Rueters Property\02-Drawings\Sheets\C1.1 Site Plan.dwg Plotted: June 24, 2024 8:32 AM By: Sharon Counts



LEGEND

- EXISTING**
- ⊙ CLEAN OUT
 - ⊕ PHONE VAULT
 - ⊗ FIBER OPTIC SIGN
 - ⊕ DRILL STEEL FOUND
 - 1/2" IRON PIN SET
 - 1/2" IRON PIN FOUND
 - ⊙ MAGNAIL SET
 - ⊕ GAS VALVE
 - ⊕ MANHOLE
 - ⊕ UTILITY POLE
 - ⊕ WATER VALVE
 - 9.00 INDEX CONTOUR
 - - - INTERMEDIATE CONTOUR
 - GAS LINE
 - OVERHEAD UTILITIES
 - SS SANITARY SEWER LINE
 - W WATER LINE
 - ST STORM SEWER LINE
 - - - PROPERTY BOUNDARY
- NEW**
- ▭ ASPHALT PAVEMENT (A1 C2.1)
 - ▭ GRAVEL (A1 C2.1)

GENERAL NOTES:

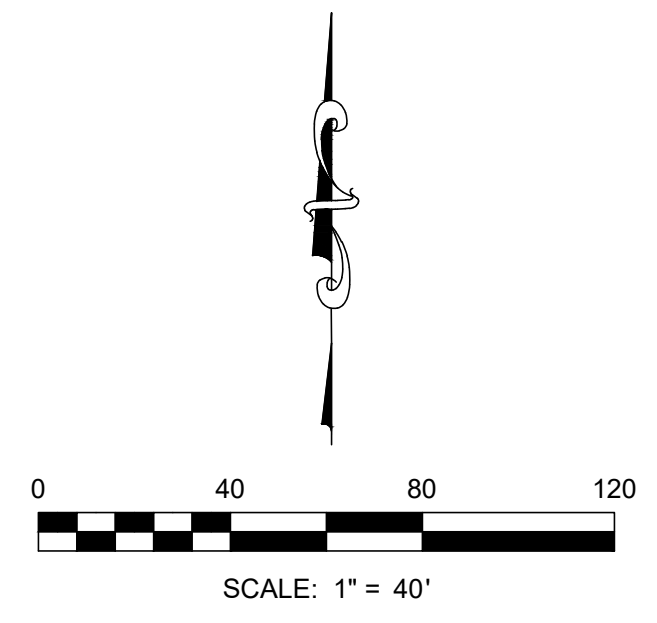
- SURVEY PROVIDED BY PROFESSIONAL LAND SYSTEMS, NO SURVEY HAS BEEN PERFORMED BY C2RL ENGINEERS, INC.
- THE LOCATIONS OF UTILITIES SHOWN WITHIN THESE PLANS ARE APPROXIMATE ONLY, EXACT LOCATIONS SHALL BE DETERMINED BY CONTACTING THE UTILITY COMPANIES INVOLVED. NOTIFICATION BY CALLING TENNESSEE ONE CALL AT 1-800-351-1111 WILL BE REQUIRED.

PROPERTY INFO:

ADDRESS: 0 BELL ROAD
KNOXVILLE, TN. 37919
ZONING: PR 1-3 DU / AC
DISTRICT: 6
CTL MAP: 20
PARCEL: 101.02

PROJECT CONTACT

ELIZABETH EASON, AIA
524 S. GAY STREET
SUITE 301
KNOXVILLE, TN 37902
(865) 525-9066



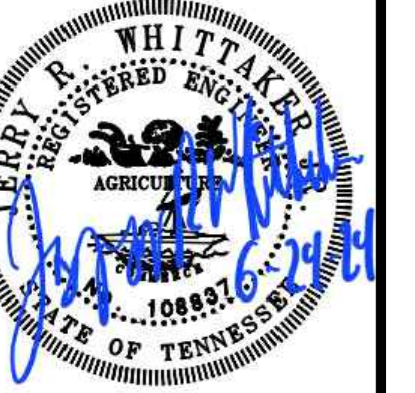
COORDINATE TABLE				COORDINATE TABLE			
Point	Northing	Easting	Description	Point	Northing	Easting	Description
1	653,177.46	2,589,106.69	CL DRIVE	15	653,037.20	2,588,683.42	EDGE DRIVE POC
2	653,176.26	2,589,085.54	CL DRIVE PC	16	653,054.64	2,588,682.71	EDGE DRIVE PT
3	653,161.33	2,589,038.35	CL DRIVE POC	17	653,025.52	2,588,673.02	EDGE DRIVE PC
4	653,125.59	2,589,004.10	CL DRIVE PT	18	653,032.66	2,588,667.22	EDGE DRIVE POC
5	652,994.77	2,588,930.23	CL DRIVE PC	19	653,038.28	2,588,659.94	EDGE DRIVE PT
6	652,943.33	2,588,867.35	CL DRIVE POC	20	653,068.17	2,588,610.37	EDGE DRIVE
7	652,947.93	2,588,786.24	CL DRIVE PT	21	653,155.31	2,588,600.72	EDGE DRIVE
8	652,971.32	2,588,734.93	CL DRIVE PC	22	653,146.98	2,588,525.09	HOUSE CORNER
9	652,987.78	2,588,709.35	CL DRIVE POC	23	653,157.96	2,588,624.57	HOUSE CORNER
10	653,010.82	2,588,689.50	CL DRIVE PT	24	653,179.95	2,588,622.13	HOUSE CORNER
11	653,028.74	2,588,678.08	CL DRIVE	25	653,145.78	2,588,635.95	HOUSE CORNER
12	653,155.65	2,589,092.92	RADIUS POINT	26	653,138.14	2,588,692.31	HOUSE CORNER
13	653,197.59	2,589,090.73	RADIUS POINT	27	653,178.65	2,588,697.80	HOUSE CORNER
14	653,021.07	2,588,690.08	EDGE DRIVE PC				

C2RL, INC
engineers
240 W. Bessemer Street, Alcoa, TN. 37701
Ph. (865) 980-3500

REVISIONS:

DATE:	REVISIONS:
6.24.24	City Comments

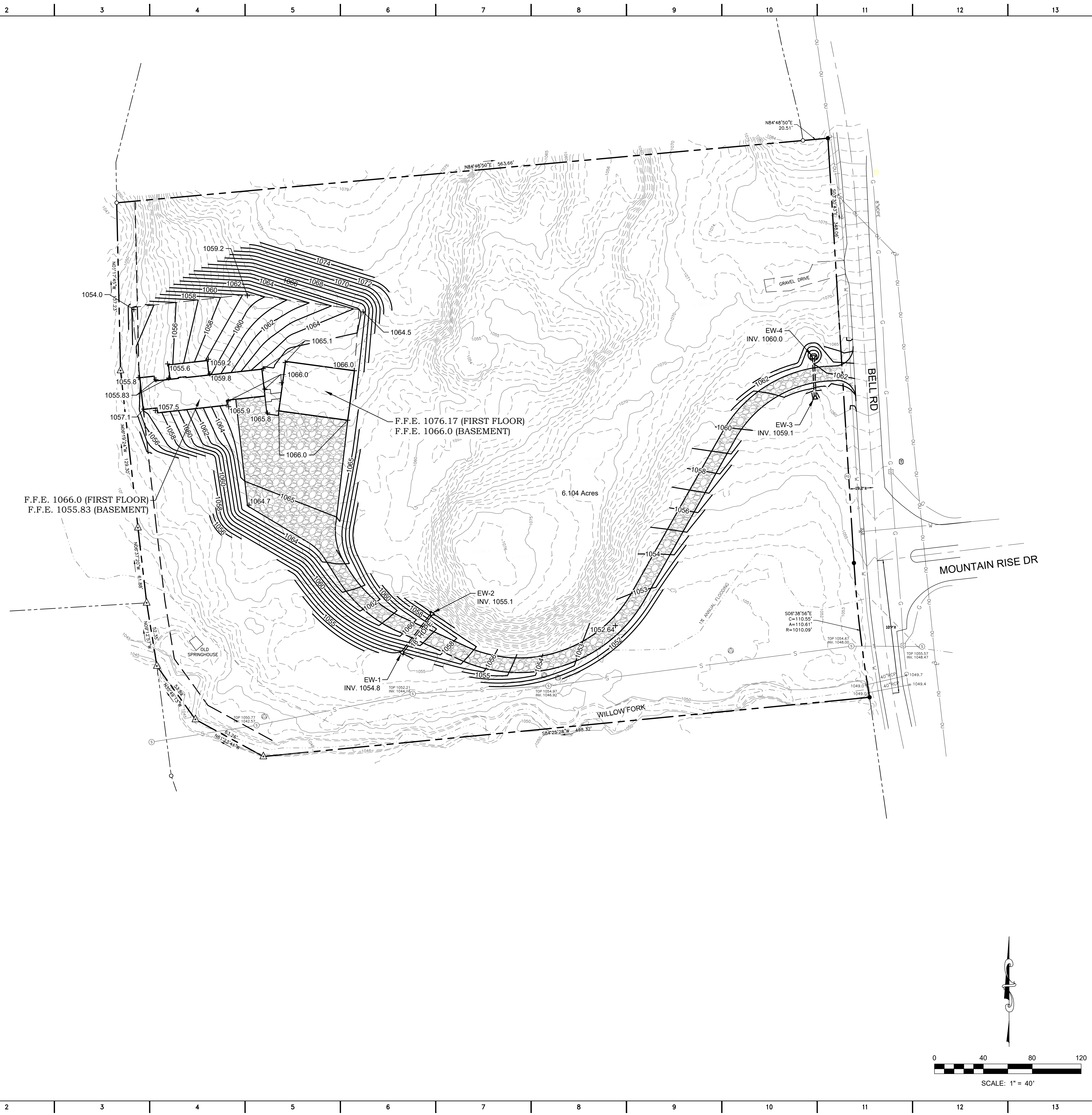
Rueters Home
Halls, Tennessee
Elizabeth Eason Architecture
Knoxville, Tennessee
Site Layout Plan



JOB NO: 196.06
DATE: 4.24.23
DRAWN: TCC
CHECKED: JRW

C1.1
SHEET NO.

H:\Elizabeth Eason Arch\196.06 - Rueters Property\02-Drawings\Sheets\C1.2 Grading And Drainage Plans.dwg
 Plotted: February 9, 2024, 2:00 PM By: Ron Whitaker



LEGEND

- | EXISTING | |
|----------|--|
| | IRON ROD |
| | IRON PIPE |
| | UTILITY POLE |
| | UTILITY-LIGHT POLE |
| | GUY |
| | ELECTRIC METER |
| | ELECTRIC PULL BOX |
| | ELECTRIC TRANSFORMER |
| | TELEPHONE PEDESTAL |
| | FIBER OPTICS MARKER |
| | GAS METER |
| | VALVE |
| | WATER METER |
| | FIRE HYDRANT |
| | MANHOLE |
| | CLEANOUT |
| | CURB INLET |
| | HVAC UNIT |
| | HANDICAP PARKING SIGN |
| | BOLLARD |
| | TREE |
| | INDEX CONTOUR |
| | INTERMEDIATE CONTOUR |
| | CHAIN LINK FENCE |
| | WOODEN FENCE |
| | WATER LINE |
| | SANITARY SEWER LINE |
| | GAS LINE |
| | DUCTILE IRON |
| | OVERHEAD POWER LINE |
| | ELECTRIC LINE |
| | PROPERTY BOUNDARY |
| | BENCH MARK |
| NEW | |
| | STORM LINE A6 C2.1 |
| | FLARED END SECTION F1 C2.1 |

GENERAL NOTES:

- SURVEY PROVIDED BY PROFESSIONAL LAND SYSTEMS, NO SURVEY HAS BEEN PERFORMED BY C2RL ENGINEERS, INC.
- ALL GRADES SHOWN ARE FINAL GRADE. CONTRACTOR SHALL ACCOUNT FOR TOPSOIL, PAVEMENT THICKNESS, BUILDING SLAB, LANDSCAPING MULCH, ETC. WHEN ESTABLISHING SUBGRADE.
- THE LOCATIONS OF UTILITIES SHOWN WITHIN THESE PLANS ARE APPROXIMATE ONLY, EXACT LOCATIONS SHALL BE DETERMINED BY CONTACTING THE UTILITY COMPANIES INVOLVED. NOTIFICATION BY CALLING TENNESSEE ONE CALL AT 1-800-351-1111 WILL BE REQUIRED.
- TOTAL DISTURBED AREA - 1.5 ACRES
- ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGE TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR THE PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR THE CONTRACTOR.

C2RL, INC
 engineers
 240 W. Bessemer Street, Alcoa, TN, 37701
 Ph. (865) 980-3500

DATE:	
REVISIONS:	

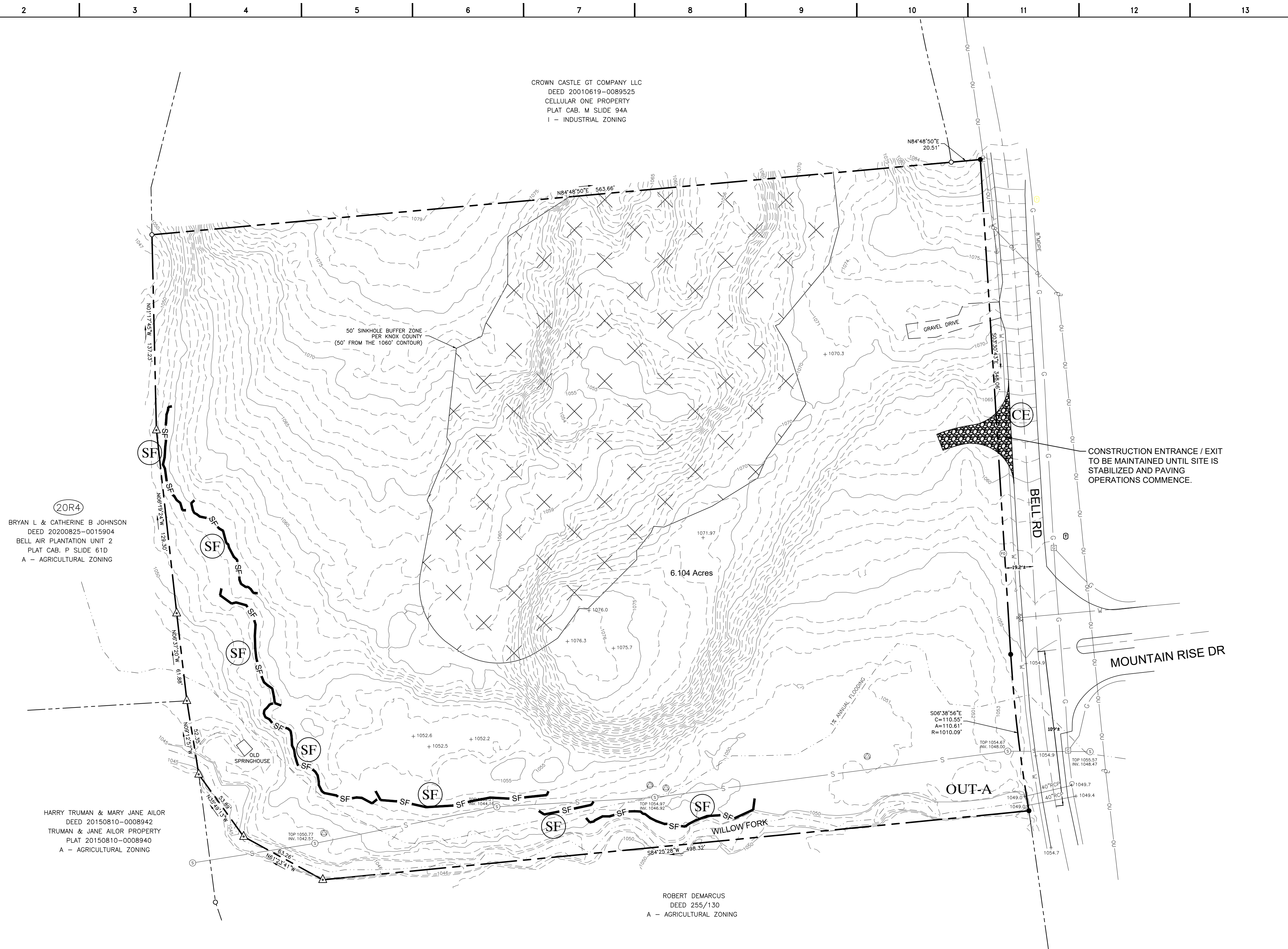
Rueters Home
 Hills, Tennessee
 Elizabeth Eason Architecture
 Knoxville, Tennessee
 Site Grading & Drainage Plan



JOB NO: 196.06
 DATE: 4.24.23
 DRAWN: SLC
 CHECKED: JRW

C1.2
 SHEET NO.

H:\Elizabeth Eason Arch\196.06 - Rueters Property\02-Drawings\Sheets\C1.3 Erosion Control Plan - Initial.dwg
 Plotted: April 24, 2023 3:36 PM By: Ron Whitaker



CROWN CASTLE GT COMPANY LLC
 DEED 20010619-0089525
 CELLULAR ONE PROPERTY
 PLAT CAB. M SLIDE 94A
 I - INDUSTRIAL ZONING

(20R4)
 BRYAN L & CATHERINE B JOHNSON
 DEED 20200825-0015904
 BELL AIR PLANTATION UNIT 2
 PLAT CAB. P SLIDE 61D
 A - AGRICULTURAL ZONING

HARRY TRUMAN & MARY JANE AILOIR
 DEED 20150810-0008942
 TRUMAN & JANE AILOIR PROPERTY
 PLAT 20150810-0008940
 A - AGRICULTURAL ZONING

ROBERT DEMARCUS
 DEED 255/130
 A - AGRICULTURAL ZONING

EROSION CONTROL NOTES

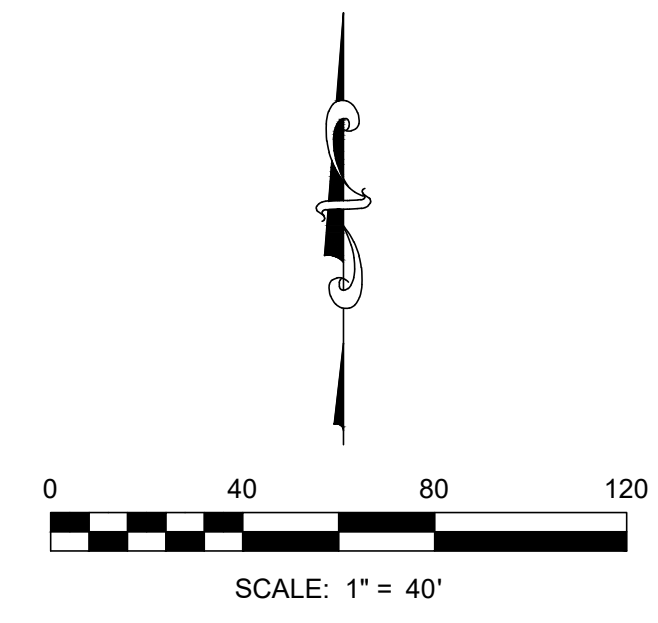
- THE PURPOSE OF THIS EROSION CONTROL PLAN IS TO MINIMIZE EROSION AND PREVENT SEDIMENT FROM LEAVING THE SITE DURING CONSTRUCTION. THEREFORE, TDEC, KNOX COUNTY, THE ENGINEER, OR THE OWNER MAY REQUIRE CHANGES BE MADE TO THIS PLAN AT ANY TIME.
- EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS AND THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENUDED AREAS.
- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE (WHERE NEEDED) AND FUNCTIONAL BEFORE THE DAY'S WORK MAY BEGIN AND MUST BE CONSTRUCTED AND MAINTAINED WHILE WORK IS PROGRESSING UPSTREAM. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT MUST BE REPLACED AT THE END OF THE WORK DAY.
- PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 15 DAYS PRIOR TO WORK IN THAT AREA UNLESS THE AREA IS SEEDED OR MULCHED OR OTHER TEMPORARY COVER INSTALLED.
- CLEARING AND GRUBBING MUST BE HELD TO THE MINIMUM AREA NECESSARY FOR INSTALLATION AND EQUIPMENT OPERATION. EXISTING VEGETATION AT THE WORK AREA SHOULD BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.
- TEMPORARY SEEDING IS REQUIRED WHEN GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS, AND ON ALL STOCKPILES. PERMANENT SEEDING IS REQUIRED WHEN GRADING OPERATIONS ARE COMPLETED AND/OR CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA.
- CONTRACTOR SHALL SEED ANY AREAS THAT SHOW SIGNS OF EXCESSIVE EROSION.
- ALL SLOPES SHALL BE STABILIZED AS SOON AS THEY ARE AT FINISHED GRADE.
- LITTER, CONSTRUCTION DEBRIS AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS OR BEFORE BEING CARRIED OFF SITE BY WIND, OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
- PLACEMENT OF PORT-A-POTTIES ON THE PROJECT SHALL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS OR STORM DRAINS.
- A STORAGE AREA FOR CONSTRUCTION RELATED MATERIALS MUST BE COORDINATED ON SITE WITH THE OWNER. THIS AREA WILL NEED TO HAVE EROSION PREVENTION AND SEDIMENT CONTROL MEASURES INSTALLED TO PREVENT DEBRIS AND TRASH FROM SPREADING OVER THE SITE. A TRASH RECEPTACLE WITH A LID IS REQUIRED ON SITE. THESE STORAGE AREAS AND RECEPTACLES SHALL BE PROPERLY MAINTAINED AND FREE OF DEBRIS AND POLLUTANTS TO THE SITE THROUGHOUT CONSTRUCTION.
- AFTER USE, MATERIALS USED FOR EROSION PREVENTION AND SEDIMENT CONTROL (SUCH AS SILT FENCE) SHOULD BE REMOVED OR OTHERWISE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
- SEDIMENT SHOULD BE REMOVED FROM SILT FENCES AND OTHER SEDIMENT CONTROLS ONCE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
- IF SEDIMENT ESCAPES CONSTRUCTION AREA, OFF SITE ACCUMULATIONS THAT HAVE NOT REACHED A STREAM MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS. CONTRACTORS SHALL NOT INITIATE REMEDIATION/RESTORATION OF A STREAM WITHOUT CONSULTING TDEC FIRST. ARRANGEMENTS CONCERNING REMOVAL OF SEDIMENT ON ADJOINING PROPERTY MUST BE SETTLED WITH THE ADJOINING PROPERTY OWNER.
- A RAIN GAUGE SHALL BE MAINTAINED ON SITE OR A REFERENCE SITE IS TO BE USED FOR RECORDING DAILY RAINFALL AMOUNTS. THIS DATA MUST BE RECORDED AND KEPT ON SITE.
- THE FOLLOWING RECORDS MUST BE KEPT AT OR NEAR THE WORK AREA:
 - THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR.
 - THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE
 - THE DATES WHEN STABILIZATION MEASURES ARE INITIATED.
 - TWICE WEEKLY AND OTHER INSPECTION RECORDS.
 - RAINFALL RECORDS.
- A COPY OF THE SWPPP SHALL BE KEPT ON SITE IN A LOCATION COORDINATED BETWEEN THE CONTRACTOR AND THE OWNER AND VERIFIED PRIOR TO CONSTRUCTION.

GENERAL NOTES

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- EROSION PREVENTION AND SEDIMENT CONTROL AND OTHER MEASURES FOR THE CONTROL OF CONSTRUCTION RELATED WASTES SHALL BE IN PLACE AND FUNCTIONAL BEFORE A GRADING PERMIT IS ISSUED.

LEGEND

- SF TEMPORARY SILT FENCE (K1 C2.1)
- CD ROCK CHECK DAM (K6 C2.1)
- CE CONSTRUCTION ENTRANCE / EXIT (G12 C2.1)



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 engineers
 240 W. Bessemer Street, Alcoa, TN, 37701
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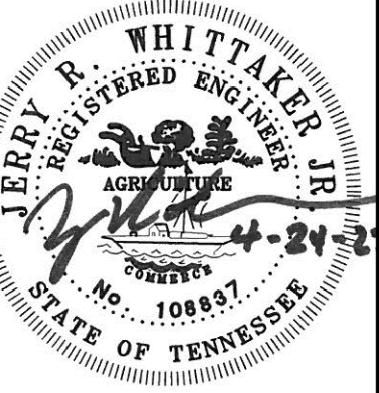
DATE: _____

REVISIONS:

Rueters Home
 Hills, Tennessee

Elizabeth Eason Architecture
 Knoxville, Tennessee

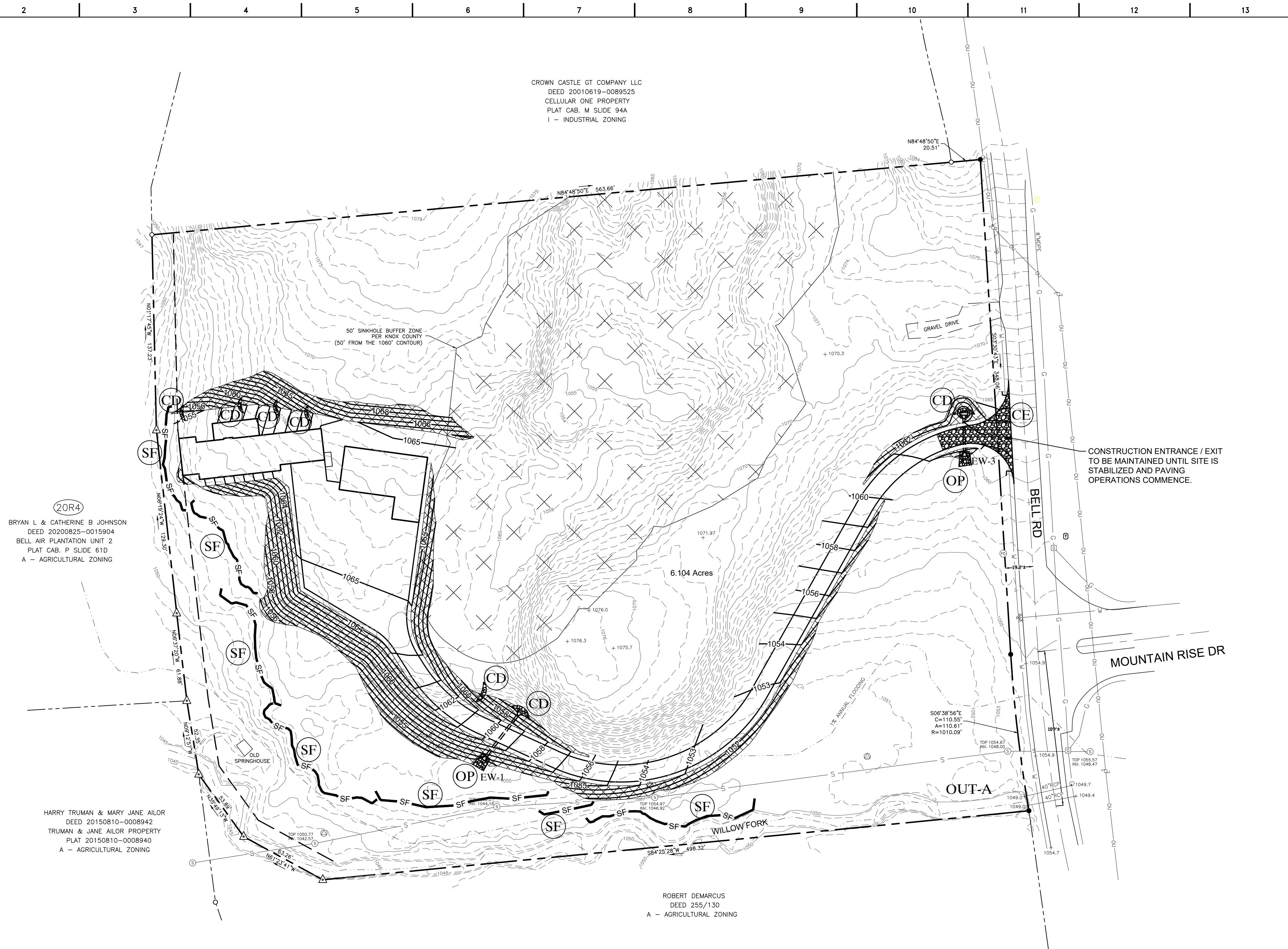
Erosion & Sediment Control Plan - Initial



JOB NO: 196.06
 DATE: 4.24.23
 DRAWN: SLC
 CHECKED: JRW

C1.3
 SHEET NO.

H:\Elizabeth Eason Arch\196.06 - Rueter Property\02-Drawings\Sheets\C1.4 Erosion Control Plan - Final.dwg
 Plotted: April 24, 2023 3:37 PM By: Ron Whitaker



CROWN CASTLE GT COMPANY LLC
 DEED 20010619-0089525
 CELLULAR ONE PROPERTY
 PLAT CAB. M SLIDE 94A
 I - INDUSTRIAL ZONING

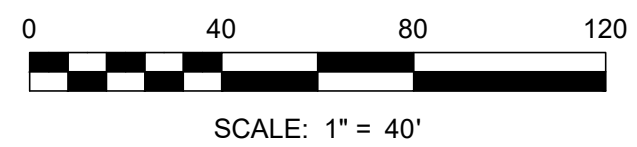
(20R4)
 BRYAN L & CATHERINE B JOHNSON
 DEED 20200825-0015904
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 DEED 255/130
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CONSTRUCTION ENTRANCE / EXIT
 TO BE MAINTAINED UNTIL SITE IS
 STABILIZED AND PAVING
 OPERATIONS COMMENCE.

MOUNTAIN RISE DR



LEGEND	
	TEMPORARY SILT FENCE (K1 C2.1)
	ROCK CHECK DAM (K6 C2.1)
	CONSTRUCTION ENTRANCE / EXIT (G12 C2.1)
	OUTLET PROTECTION (F6 C2.1)
	SEED MAT (A12 C2.1)

EROSION CONTROL NOTES

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DATE:	REVISIONS:

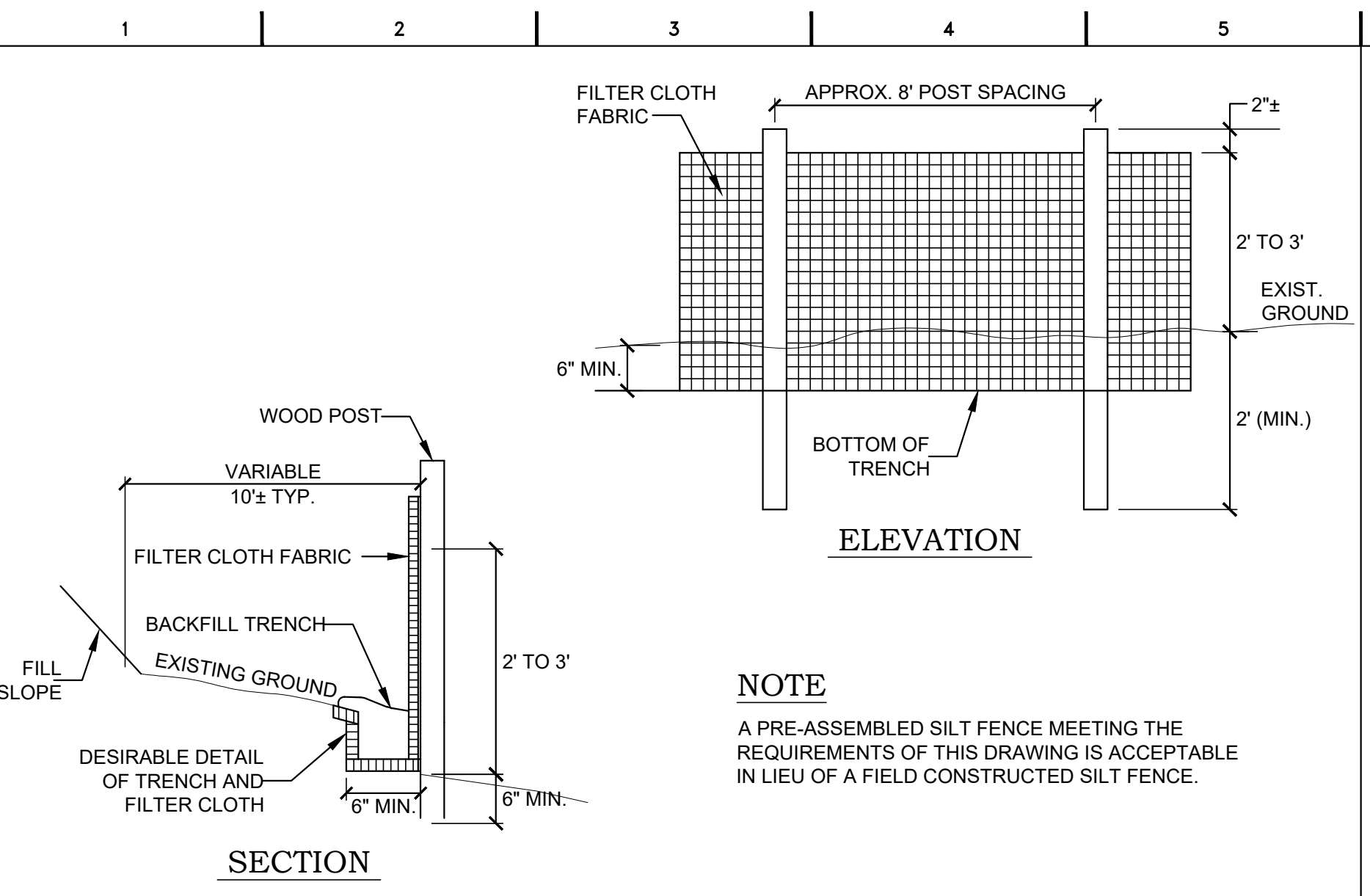
Rueters Home
 Hills, Tennessee
 Elizabeth Eason Architecture
 Knoxville, Tennessee
 Erosion & Sediment Control Plan - Final



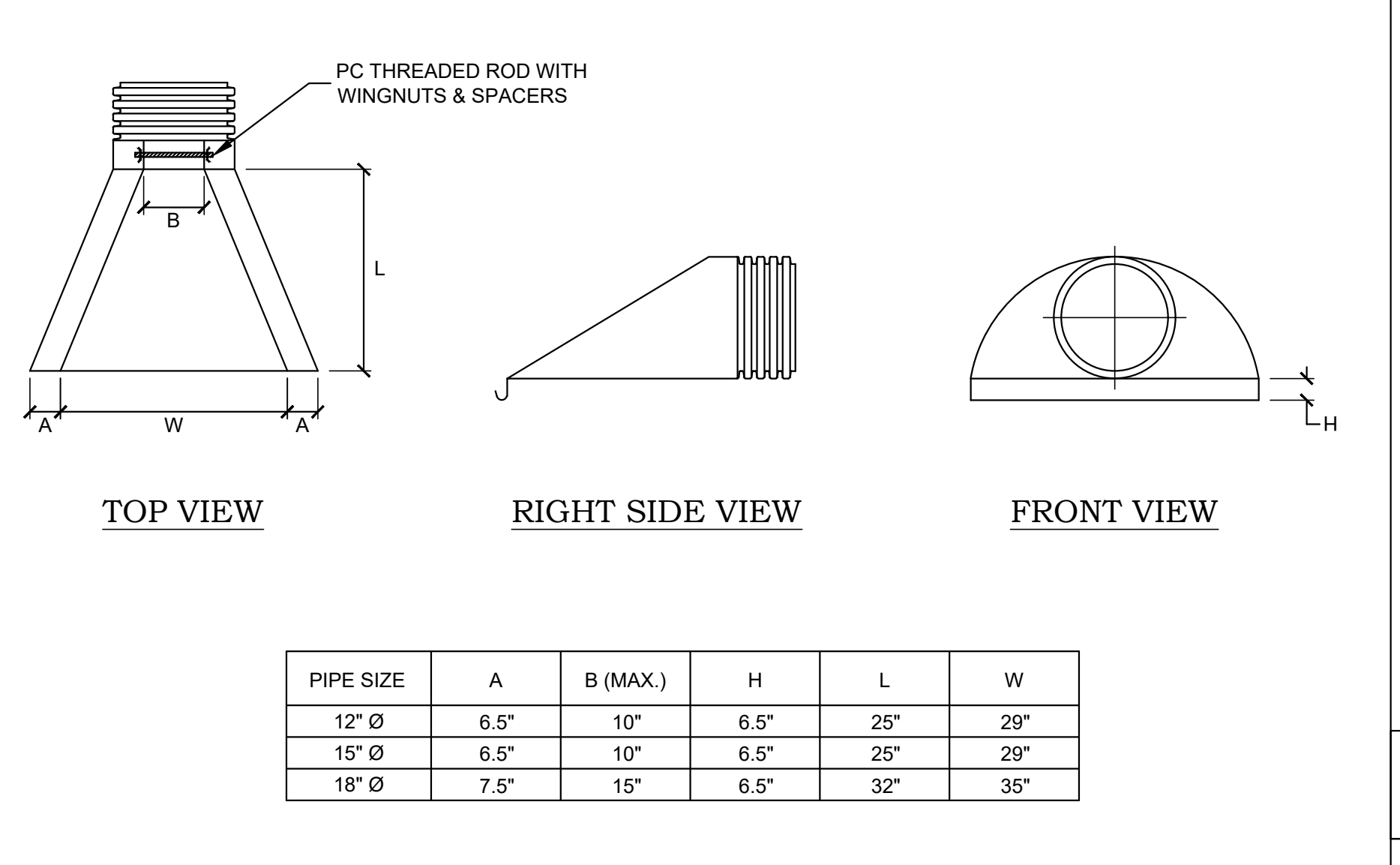
JOB NO: 196.06
 DATE: 4.24.23
 DRAWN: SLC
 CHECKED: JRW

C1.4
 SHEET NO.

H:\Elizabeth Eason Arch\196.06 - Rueters Property 02-Drawings\Sheets\C2 Details.dwg Plotter: April 24, 2023 3:31 PM By: Ron Whitaker

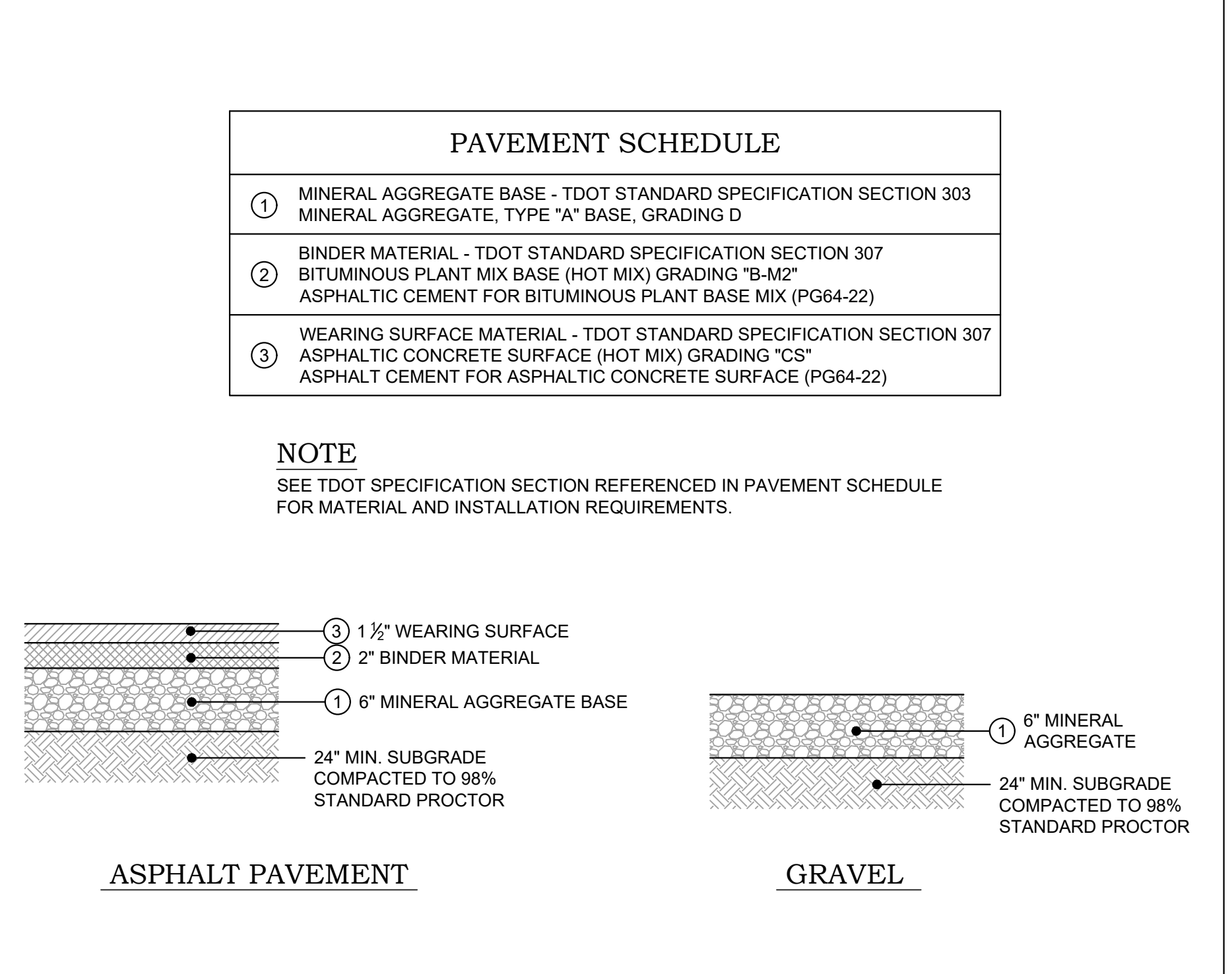


K1 SILT FENCE (TEMPORARY)
NOT TO SCALE

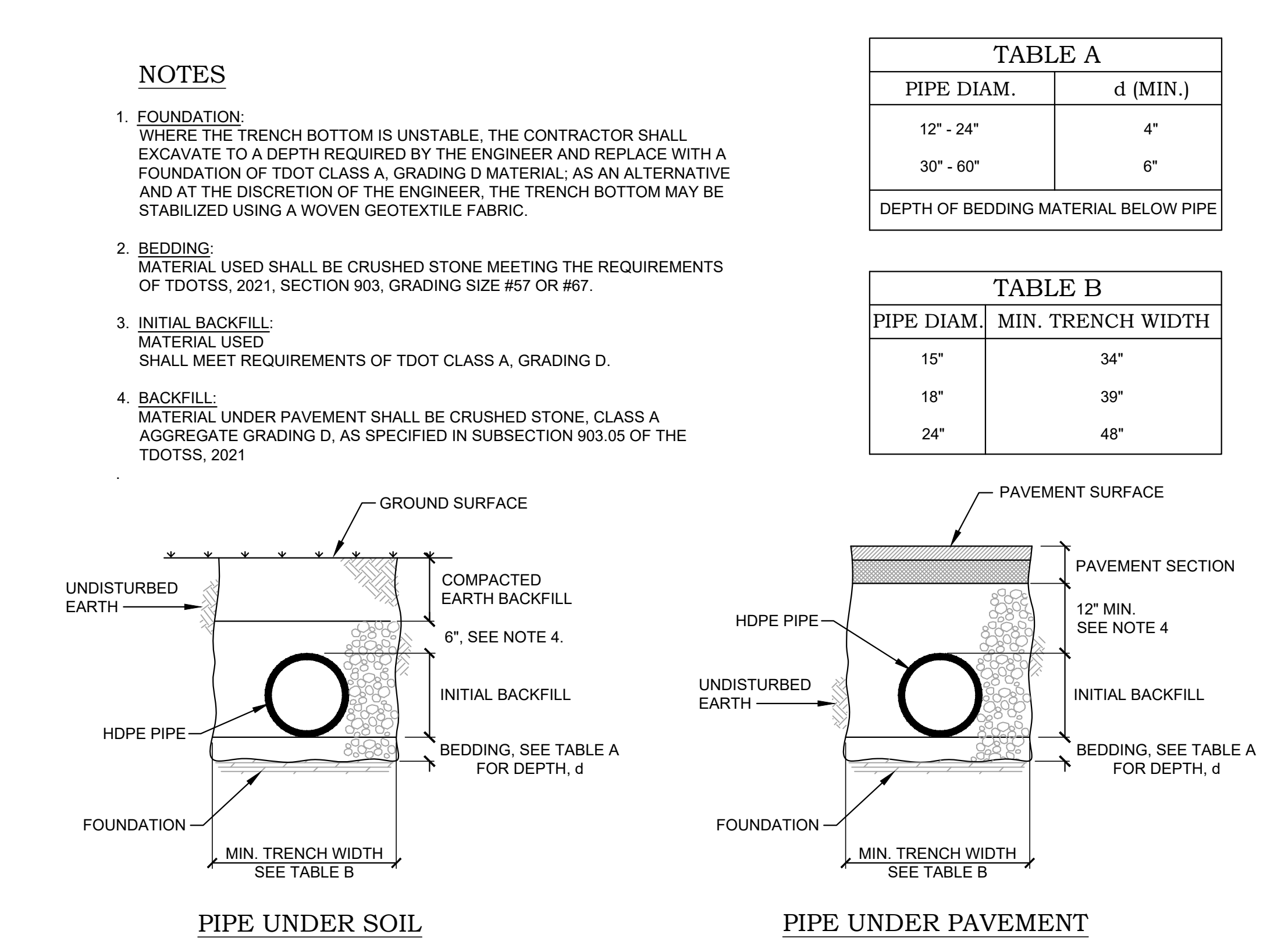


K6 ROCK CHECK DAM (TEMPORARY)
NOT TO SCALE

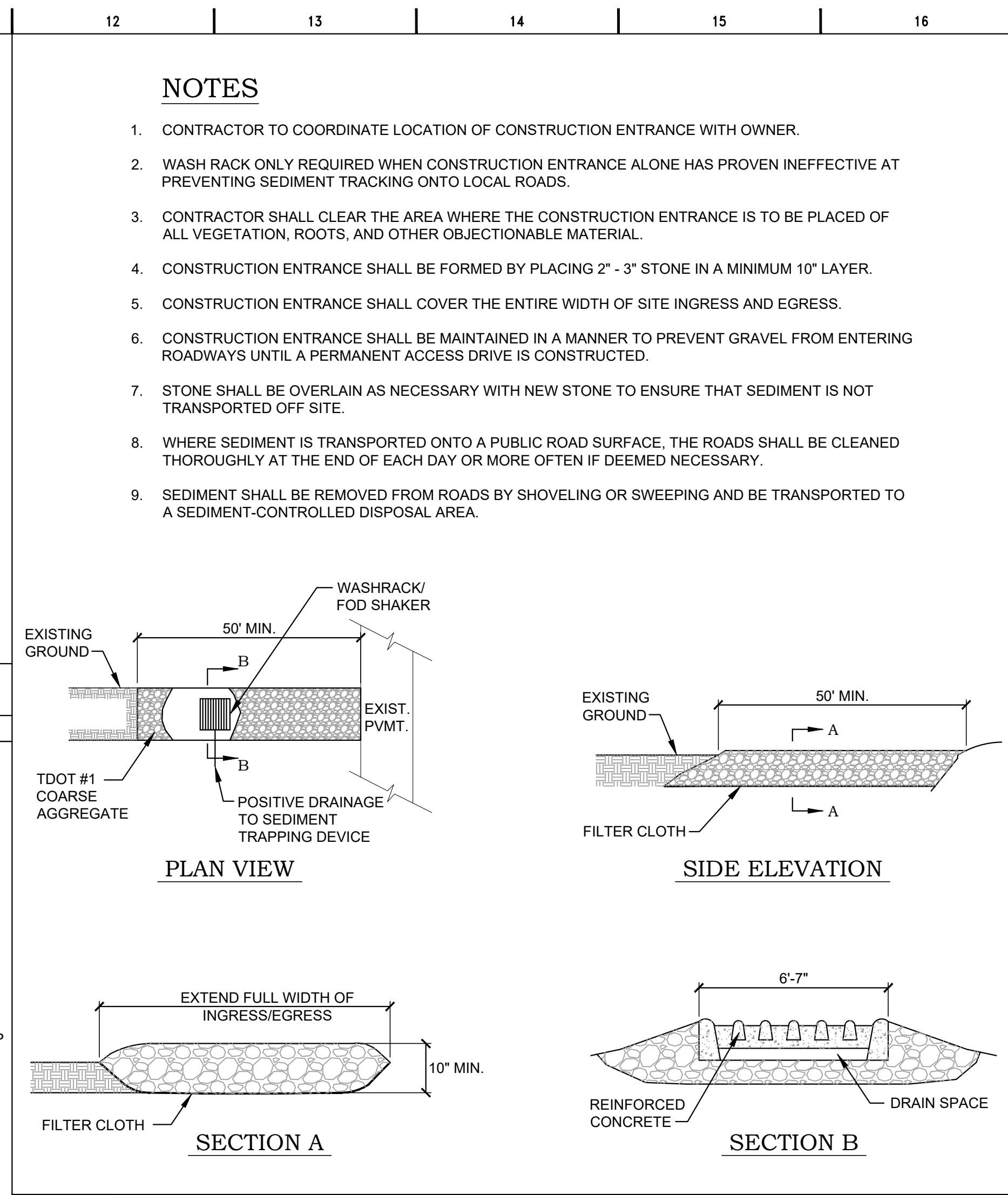
F1 FLARED END SECTION
NOT TO SCALE



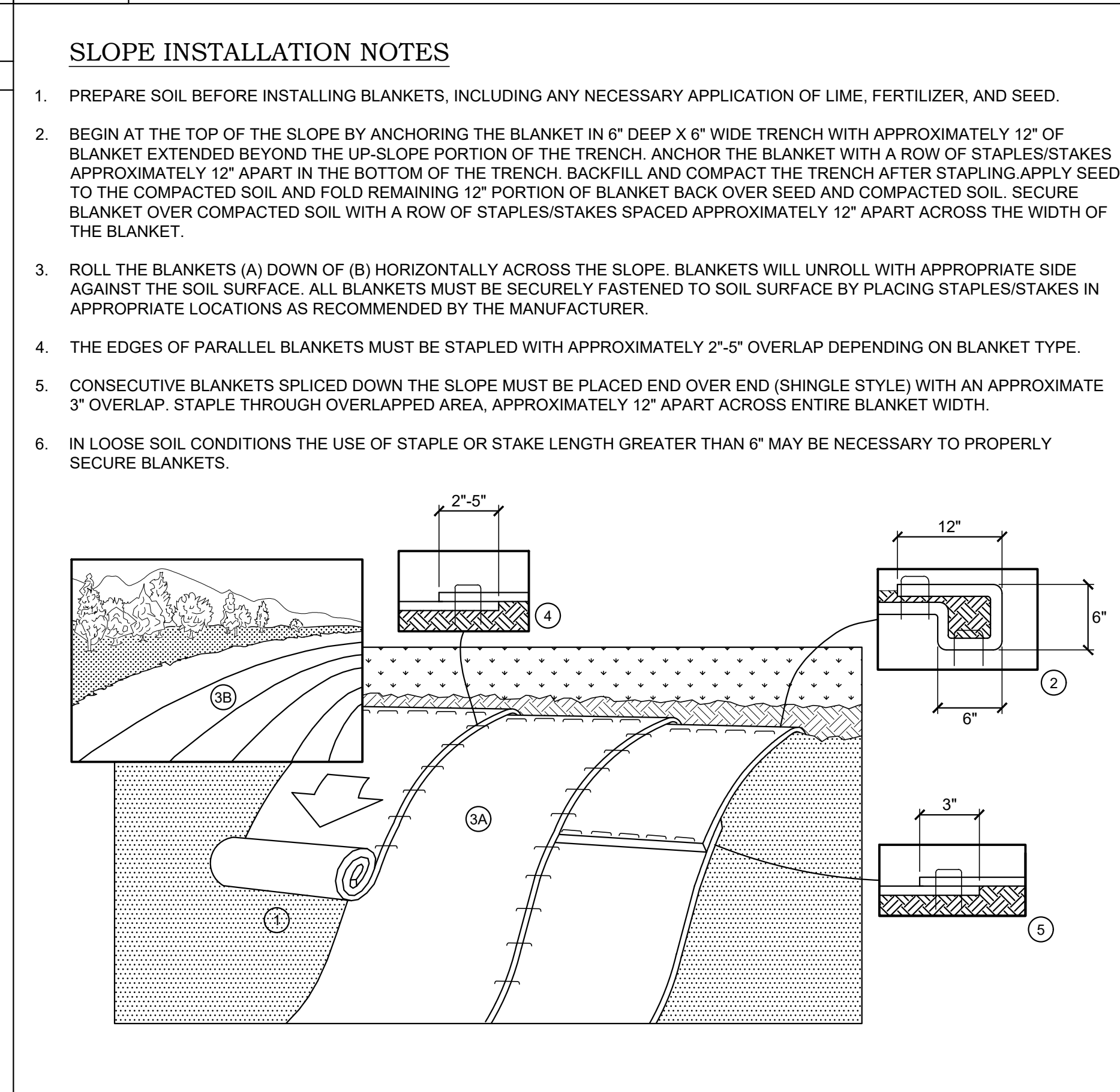
A1 PAVEMENT SECTIONS
NOT TO SCALE



A6 PIPE BEDDING (HDPE)
NOT TO SCALE



G12 CONSTRUCTION ENTRANCE / EXIT (TEMPORARY)
NOT TO SCALE



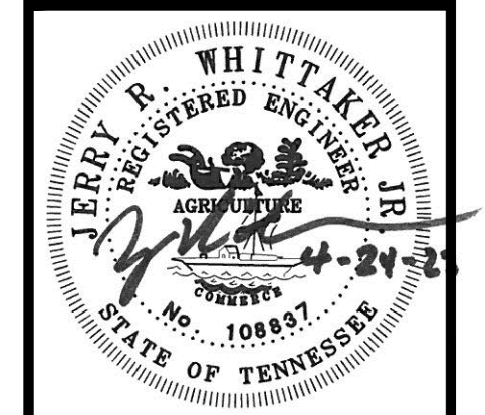
A12 EROSION CONTROL BLANKETS (SLOPES)
NOT TO SCALE

C2RL, INC engineers
240 W. Bessemer Street, Alcoa, TN 37701
Ph. (665) 980-3500

DATE: _____

REVISIONS:

Rueters Home
Halls, Tennessee
Elizabeth Eason Architecture
Knoxville, Tennessee
Details



JOB NO: 196.06
DATE: 4.24.23
DRAWN: TCC
CHECKED: JRW

C2.1
SHEET NO.

RUETER HOME

0 BELL ROAD | KNOXVILLE, TN 37918

CONTACT INFORMATION

OWNER

BRADLEY AND AMANDA RUETER
000 OWNER STREET
CITY, ST 00000

CONTACT: Bradley and Amanda Rueter
PHONE: (555) 555-5555
E-MAIL: a2bproperties@gmail.com

CONTRACTOR

PARKS ICF LLC
PO BOX 10081
KNOXVILLE, TN 37939

CONTACT: Charles parks
PHONE: (865) 689-2366
E-MAIL: charles@parksicf.com

ARCHITECT

ELIZABETH EASON ARCHITECTURE, LLC
524 SOUTH GAY STREET, SUITE 301
KNOXVILLE, TN 37902

CONTACT: Elizabeth Eason
PHONE: (865) 525-9066
E-MAIL: ee@elizabetharchitecture.com

CIVIL ENGINEER

C2RL ENGINEERS INC
240 W BESSEMER STREET
ALCOA TN 3701

CONTACT: Ron Whittaker
PHONE: (865) 980-3500
E-MAIL: rwhittaker@C2RL.com

STRUCTURAL ENGINEER

MALLIA ENGINEERING CO
1827 WHITE AVENUE
KNOXVILLE, TN 37916

CONTACT: Maurice Mallia
PHONE: (865) 637-3224
E-MAIL: mmallia@mallaeng.biz

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
ARCH	ARCHITECTURE; ARCHITECTURAL
AWNG	AWNING
BD	BOARD
BM	BEAM
BTM	BOTTOM
BTW	BETWEEN
C TO C	CENTER TO CENTER
CIP	CAST-IN-PLACE
CJ	CONTROL JOINT
CMU	CONCRETE MASONRY UNIT
CPT	CARPET
CO	CASED OPENING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CONTR	CONTRACTOR
CSMT	CASEMENT
CT	CERAMIC TILE
CTR	CENTER
DEMO	DEMOLITION
DN	DOWN
DR	DRAIN
DS	DOWN SPOUT
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL
EQUIP	EQUIPMENT
EXT	EXTERIOR
EXIST	EXISTING
FC	FIBER CEMENT
FE	FIRE EXTINGUISHER
FFE	FINISH FLOOR ELEVATION
FIN	FINISH; FINISHED
FL TO FL	FLOOR TO FLOOR
FO	FACE OF
FURN	FURNITURE
GA	GAUGE
GALV	GALVANIZED
GYP BD	GYPSUM BOARD
GYP-MR	MOISTURE RESISTANT GYPSUM BOARD
HB	HOSE BIBB
HD	HUB DRAIN
HDWD	HARDWOOD
HM	HOLLOW METAL
HORIZ	HORIZONTAL
INSUL	INSULATION
INST	INSTRUCTIONS
INT	INTERIOR
JT	JOINT
LAM	LAMINATE
LIN	LINOLEUM
LTL	LINTEL
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MO	MASONRY OPENING
MTL	METAL
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OH	OPPOSITE HAND
PC	PRECAST
PNT	PAINT; PAINTED
PREMFD	PREMANUFACTURED
PT	PRESSURE TREATED
R&S	ROD & SHELF
REINF	REINFORCED; REINFORCING
RD	ROOF DRAIN
RO	ROUGH OPENING
SIM	SIMILAR
SPEC(S)	SPECIFICATION(S)
STRUCT	STRUCTURAL
T&G	TONGUE & GROOVE
TEMP	TEMPERED
TOS	TOP OF STEEL
TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VF	VERIFY IN FIELD
VOC	VOLATILE ORGANIC COMPOUND
W/	WITH
WC	WATER CLOSET
WD	WOOD
WH	WATER HEATER
WWF	WELDED WIRE FABRIC
XPS	EXTRUDED POLYSTYRENE
±	CENTERLINE
Ø	DIAMETER

DRAWING INDEX

G001	COVER SHEET
CIVIL	
C1,1	SITE PLAN
C1,2	GRADING AND DRAINAGE PLAN
C1,3	EROSION CONTROL PLAN - INITIAL
C1,4	EROSION CONTROL PLAN - FINAL
C2,1	DETAILS
STRUCTURAL	
S100	STRUCTURAL NOTES & SPECIAL INSPECTIONS
S101	FOUNDATION/BASEMENT PLAN
S102	MAIN FLOOR FRAMING PLAN
S103	UPPER FLOOR FRAMING PLAN
S104	ROOF FRAMING PLAN
S105	FOUNDATION/BASEMENT PLAN (MARK'S)
S106	MAIN FLOOR FRAMING (MARK'S)
S107	ROOF FRAMING PLAN (MARK'S)
S201	EXTERIOR ELEVATIONS
S202	EXTERIOR ELEVATIONS (MARK'S)
S301	DETAILS AND SECTIONS
S302	DETAILS AND SECTIONS
S303	DETAILS AND SECTIONS
S304	DETAILS AND SECTIONS
ARCHITECTURE	
A001	LOWER LEVEL FLOOR PLAN
A101	MAIN LEVEL FLOOR PLAN
A102	UPPER LEVEL FLOOR PLAN
A103	LOWER LEVEL FLOOR PLAN (MARK'S)
A104	UPPER LEVEL FLOOR PLAN (MARK'S)
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A203	EXTERIOR ELEVATIONS (MARK'S)
A301	BUILDING SECTIONS
A401	WALL SECTIONS
A402	STAIR SECTIONS AND ENLARGED PLAN
A500	LOWER LEVEL CEILING PLAN & POWER PLAN
A501	MAIN LEVEL CEILING PLAN & POWER PLAN
A502	UPPER LEVEL CEILING PLAN & POWER PLAN
A503	LOWER LEVEL CEILING PLAN & POWER PLAN (MARK'S)
A504	UPPER LEVEL CEILING PLAN & POWER PLAN (MARK'S)
A600	INTERIOR PLANS & ELEVATIONS
A601	INTERIOR PLANS & ELEVATIONS
A602	ENLARGED BATHROOM PLANS & ELEVATIONS
A603	ENLARGED PLANS AND ELEVATIONS
A605	INTERIOR ELEVATIONS (MARK'S)
A606	ENLARGED BATHROOM PLANS & ELEVATIONS (MARK'S)
A900	SCHEDULES

PROJECT SCOPE

NEW CONSTRUCTION OF A MAIN HOME WITH TWO LEVELS PLUS A BASEMENT. NEW CONSTRUCTION OF A FREE STANDING GARAGE WITH A DWELLING UNIT ABOVE. ASSOCIATED SITE WORK FOR NEW DRIVEWAY AND UTILITIES.

PROJECT CLASSIFICATION

APPLICABLE CODES
2018 INTERNATIONAL RESIDENTIAL BUILDING CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE

ZONING ORDINANCE
THE ZONING ORDINANCE OF KNOX COUNTY, TENNESSEE

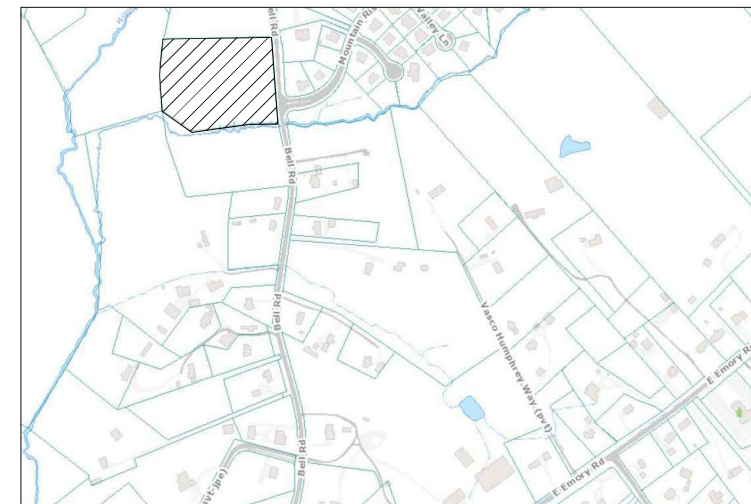
PARCEL & ZONING INFORMATION

ADDRESS: 0 BELL ROAD
KNOXVILLE TN 37919
ZONING: PR 1-3 DUJAC
DISTRICT: 6
CLT MAP: 20
PARCEL: 101,02

DEVELOPMENT PLAN 6-J-23-DP APPROVED 4/24/2023

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL CODES, ORDINANCES, AMENDMENTS, AND COVENANTS.
- ALL DIMENSIONS SHOULD BE READ OR CALCULATED, DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE THE THE FACE OF STUD OR FACE OF ICF UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED REFERENCE (REF) OR VERIFY IN FIELD (VIF) SHALL NOT BE UTILIZED FOR LAYOUT. NOTIFY ARCHITECT PRIOR TO PROCEEDING IF SUCH DIMENSIONS VARY FROM ACTUAL CONDITIONS.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING. CONTRACTOR IS RESPONSIBLE FOR CONDITIONS THAT ARE NOT REPORTED.
- SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION, OR INSTALLATION.
- OWNER WILL PROVIDE WORK NOTED 'BY OTHERS' OR 'NIC' UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- PROTECT AREAS OF WORK AND ADJACENT AREAS FROM DAMAGE.
- IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
- COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILING.
- UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4 INCH, UNLESS OTHERWISE NOTED.
- ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES.



LOCATION MAP NOT TO SCALE

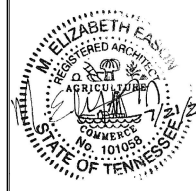


SYMBOLS

	ROOM TAG		BUILDING SECTION MARKER		DETAIL MARKER
	DOOR TAG		WALL SECTION MARKER		NORTH ARROW
	WINDOW TAG		EXTERIOR ELEVATION MARKER		
	WALL TAG				
	KEY NOTE				
	COLUMN GRID LINE				
	SPOT ELEVATION MARKER		INTERIOR ELEVATION MARKER		
	BREAK LINE				

ELIZABETH EASON ARCHITECTURE LLC

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email info@EEArchitecture.com



RUETER HOME

BELL ROAD | KNOXVILLE, TN 37918

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COVER SHEET

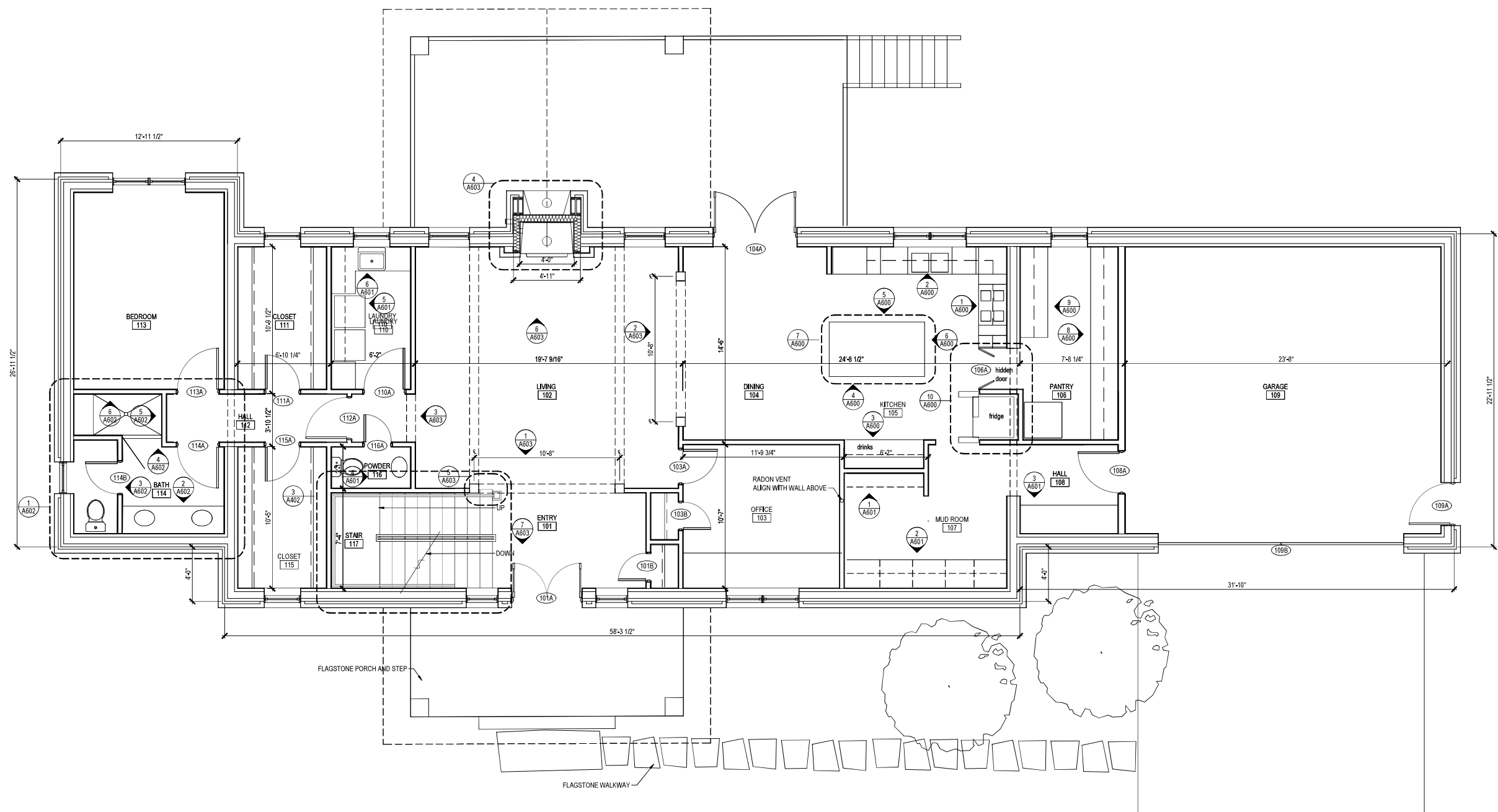
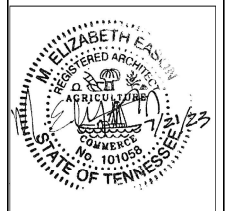
G 001

Project Number 190105



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email info@EEArchitecture.com



1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

RUETER HOME

BELL ROAD | KNOXVILLE, TN 37918

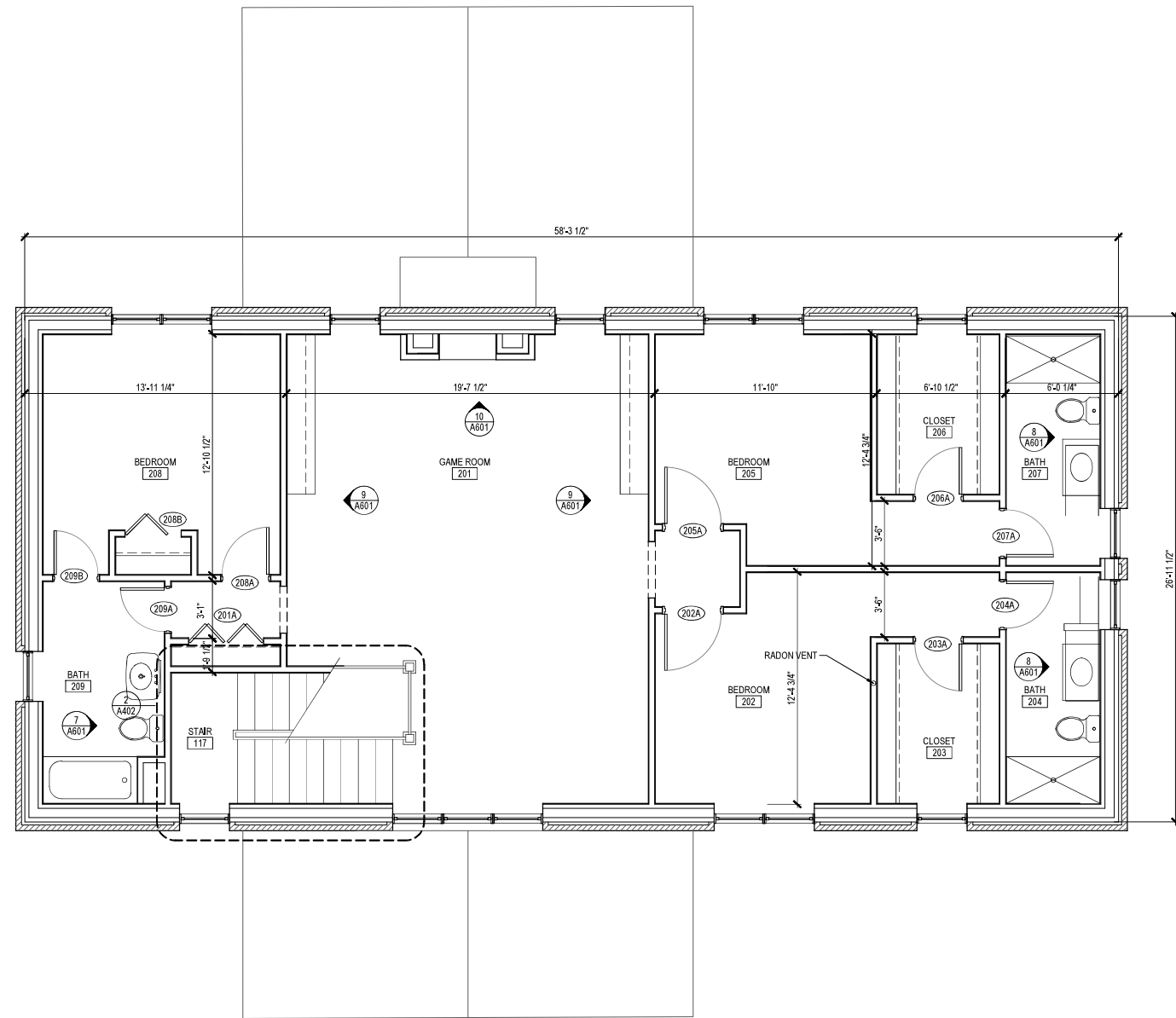
ISSUE:
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MAIN LEVEL
FLOOR PLAN

A 101

Project Number 190105

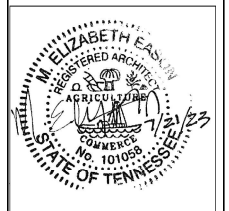


1 UPPER LEVEL FLOOR PLAN
 A102 SCALE: 1/4" = 1'-0"



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RUETER HOME

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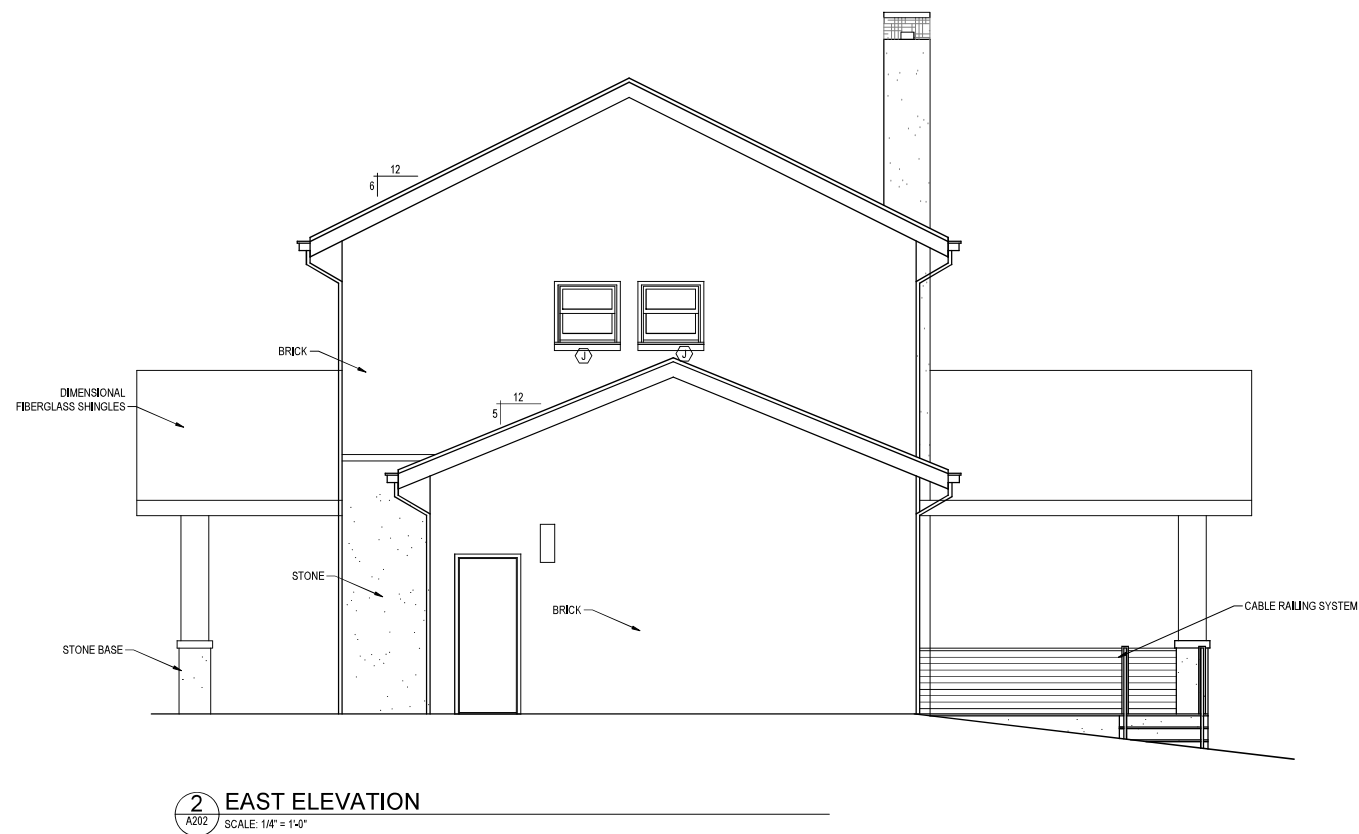
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UPPER LEVEL
 FLOOR PLAN

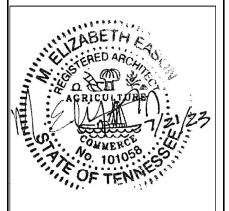
A 102

Project Number 190105



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RUETER HOME

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EXTERIOR
ELEVATIONS

A 202

Project Number 190105

REVISIONS	BY

A NEW HOME FOR:
BRADLEY & AMANDA REUTER

Great House Design
Spokane, Washington
www.greathousedesign.com

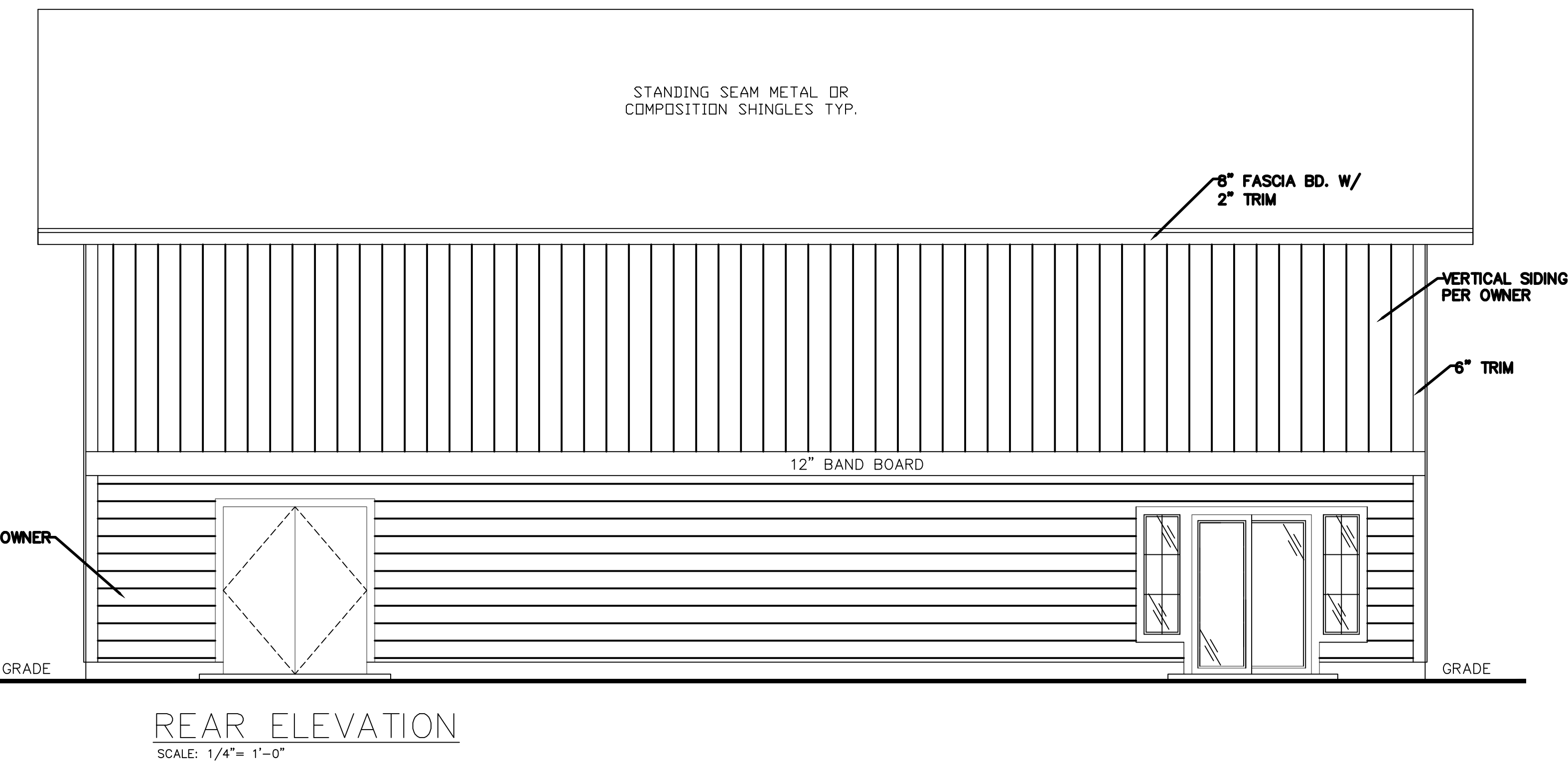
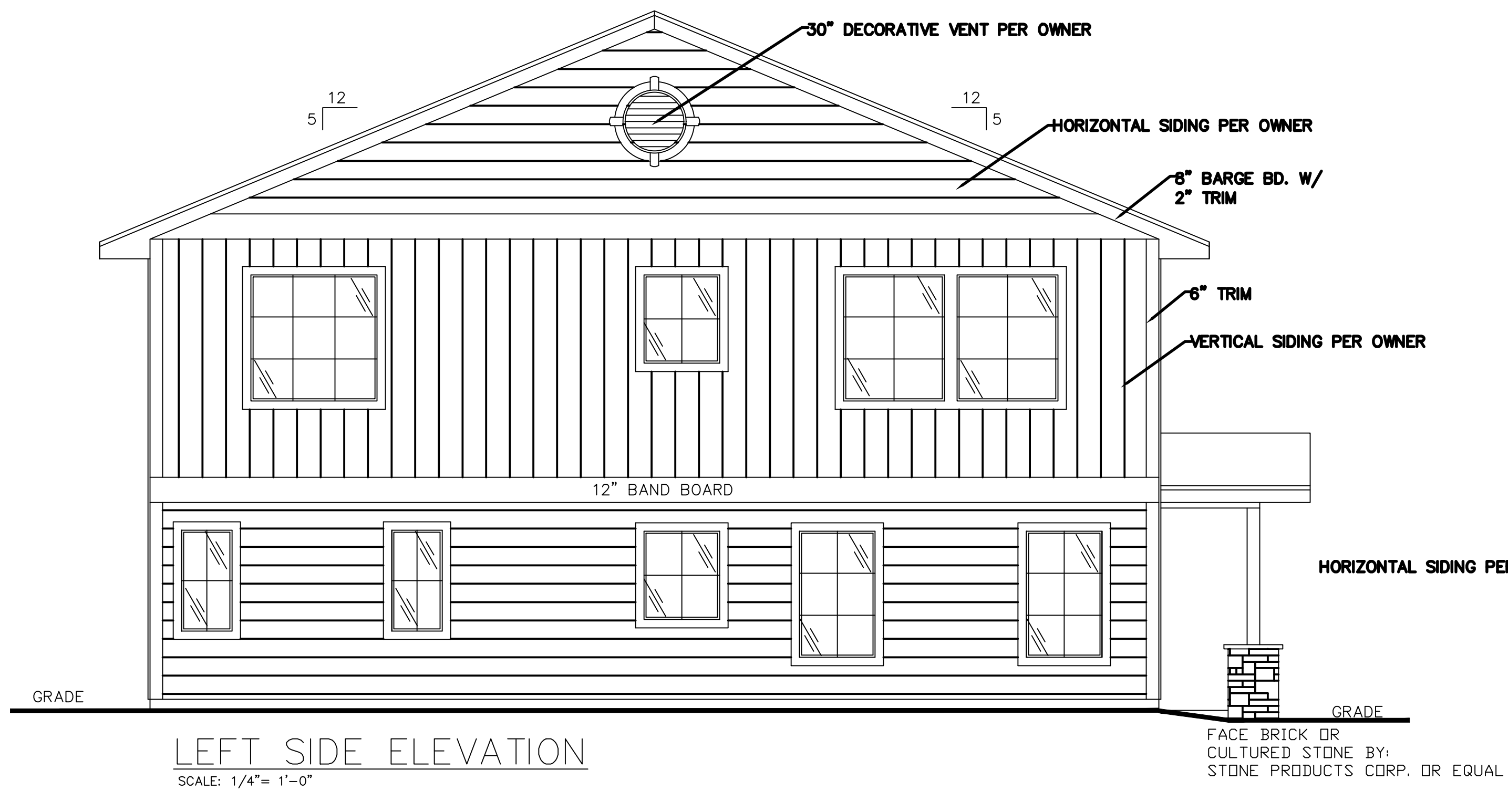
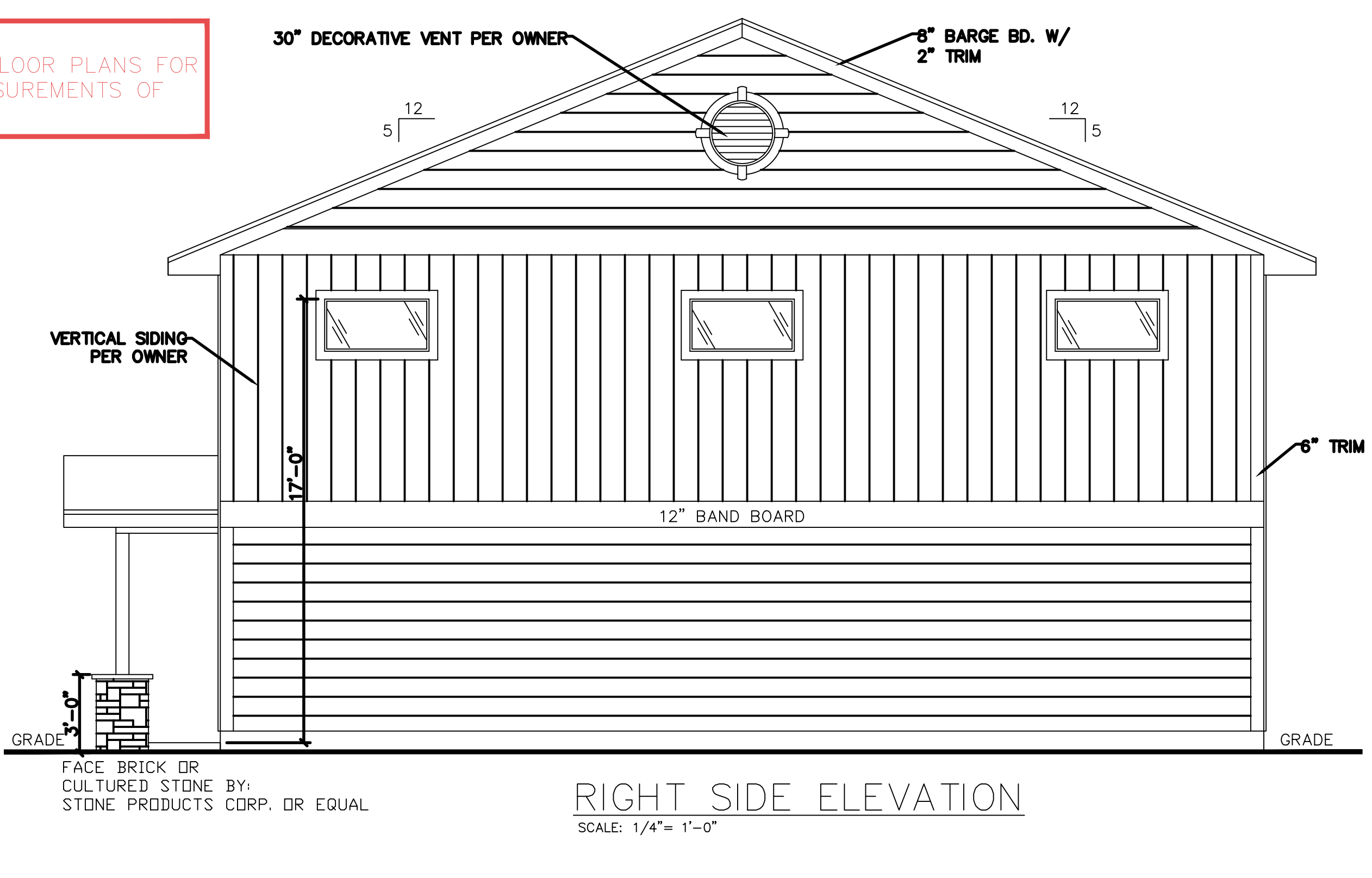
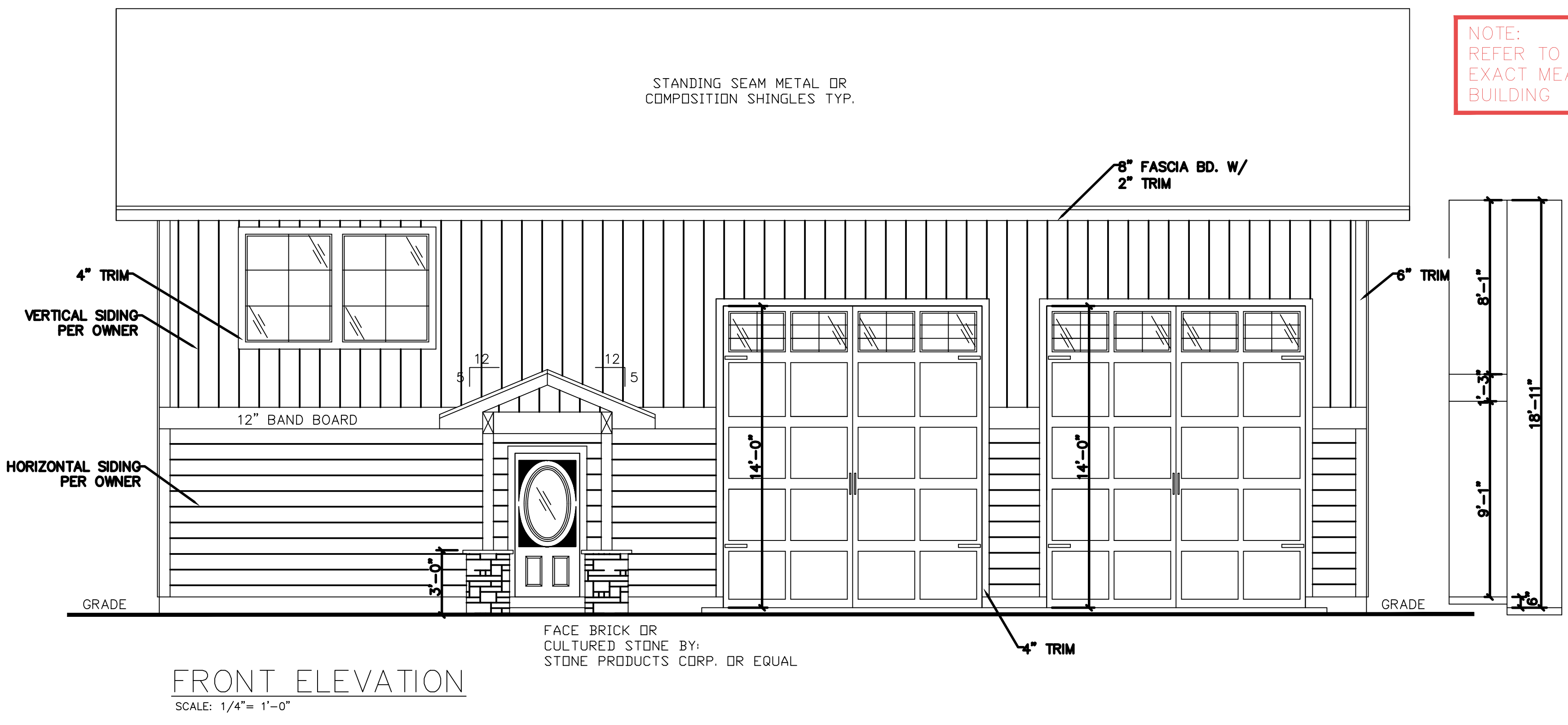
ELEVATIONS
"IF YOU CAN DREAM IT, WE CAN DESIGN IT."



Date	
Scale	1/4"=1'-0"
Drawn	ARP
Job	4215
Sheet	1
Of	9 Sheets

PH # (877) 238-7056 E-MAIL - info@greathousedesign.com (Copyright Great House Design)

NOTE:
REFER TO FLOOR PLANS FOR
EXACT MEASUREMENTS OF
BUILDING



*THESE PLANS AND THEIR ENTIRE CONTENT WERE
DESIGNED BY "GREAT HOUSE DESIGN".
TIPTON HOME DESIGNS, LLC WAS HIRED TO REVISE
SAID PLANS PER THE CLIENT'S REQUEST. THE
CLIENT WAS GIVEN PERMISSION BY HOUSE PLAN
COMPANY TO BUY AND MODIFY PLANS. TIPTON
HOME DESIGNS IS TO BE HELD HARMLESS FOR ANY
MISCOMMUNICATION OR UNLAWFULNESS
BETWEEN THE CLIENT AND HOUSE GREAT HOUSE
DESIGN, AS WELL AS ANY BUILDING
DISCREPANCIES OR ERRORS ON PLANS THAT MAY
OCCUR

Residential & Commercial

Tipton Home Designs

REVISIONS MADE TO PLANS ON 11/24/23

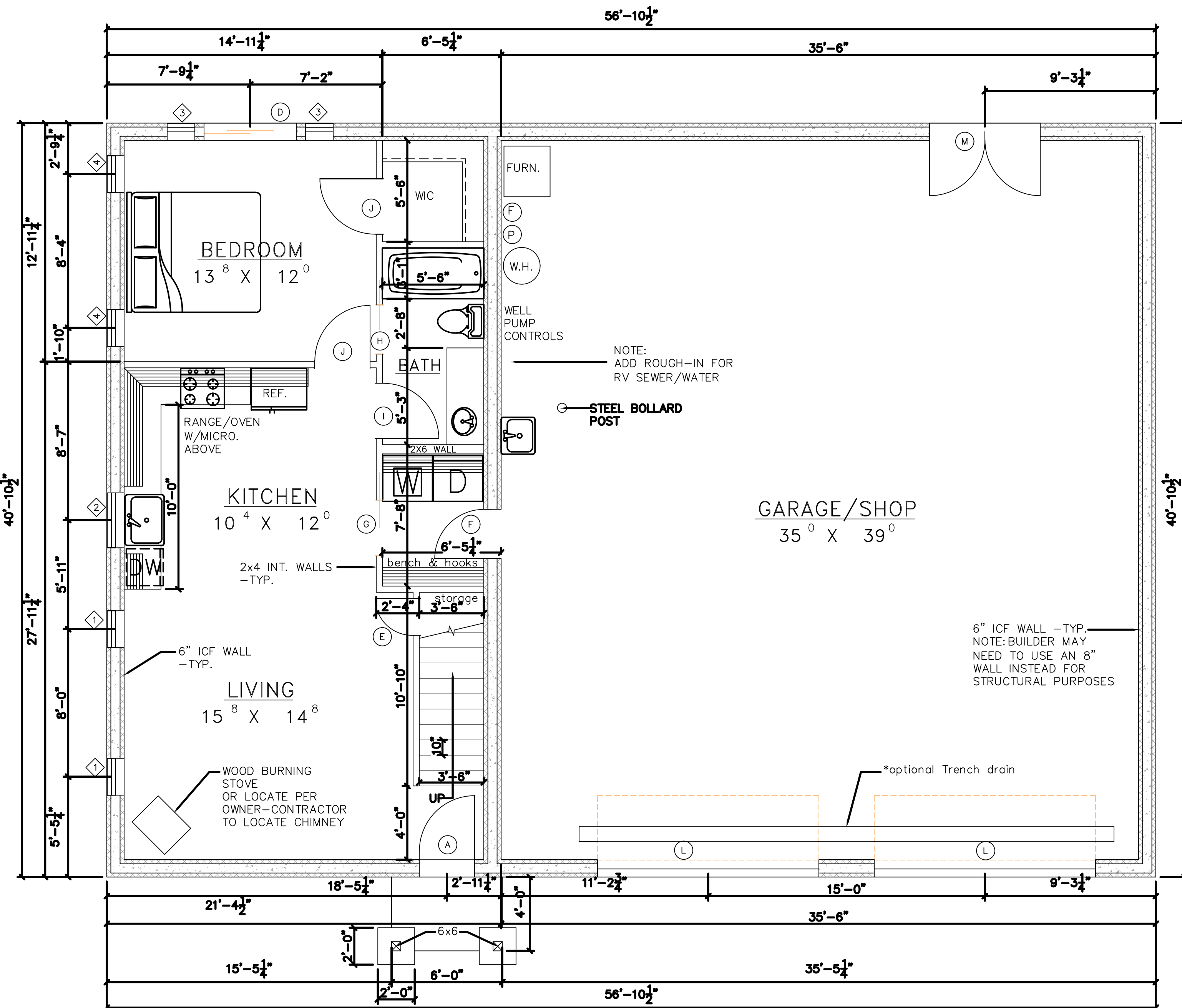
2244 SPENCE PLACE KNOXVILLE, TN 37920
(865)356-4498
tim@tiptonhomedesigns.com

- NOTES:
- ALL ROOF AND SITE WATER TO DRAIN TO STREET OR TO AN APPROVED DRY-WELL SYSTEM
 - ALL NAILING TO BE IN COMPLIANCE W/ 2018 I.R.C.
 - SHEARWALL NAILING TO BE: 4"D.C. ON EDGE 8"D.C. IN FIELD
 - EXPOSED PLYWOOD AT ROOF OVERHANG TO BE CC-X OR BETTER.

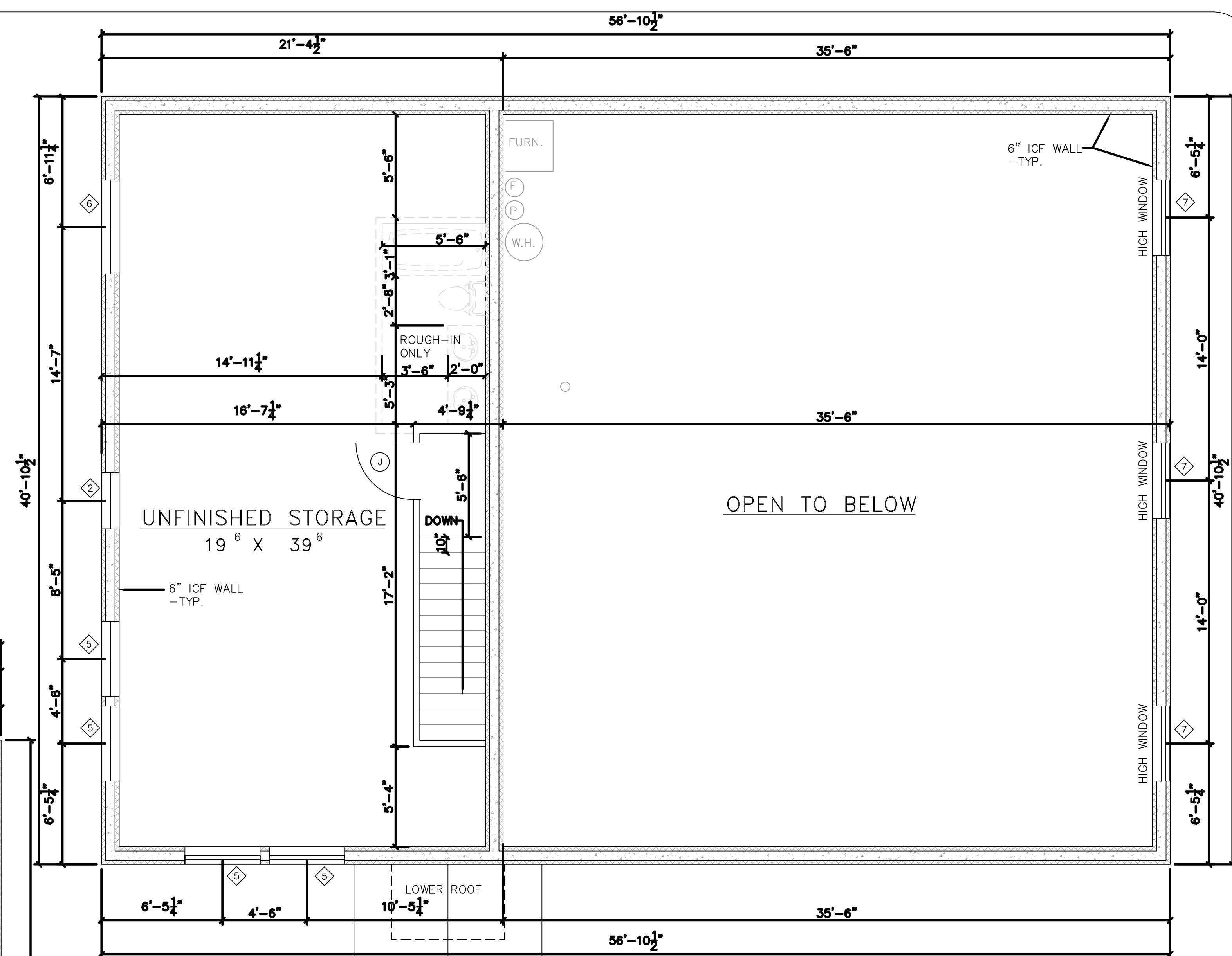
2018 ENERGY CODE PRESCRIPTIVE REQUIREMENTS FOR GROUP R OCCUPANCY CLIMATE ZONE 5											
OPTION	GLAZING % FLOOR AREA	GLAZING U-FACTOR VERTICAL	GLAZING U-FACTOR HORIZONTAL	ROOF U-VALUE	CEILING	VAULTED CEILING	WALL AVE. GRADE	WALL INT. BELOW GRADE	WALL EXT. BELOW GRADE	FLOOR	SLAB ON GRADE
I	10%	0.32	0.36	0.25	R-30	R-30	R-15	R-15	R-10	R-30	R-10
II	15%	0.30	0.34	0.25	R-30	R-30	R-21	R-21	R-10	R-30	R-10
IV	UNLIMITED	0.28	0.30	0.25	R-49	R-30	R-21	R-21	R-10	R-30	R-10

WINDOW SCHEDULE							
SYM	SIZE	MANUF	MAT	GLAZING	OPER	QUAN	REMARKS
1	2050	CHK/W OWNER	CHK/W OWNER	CHK/W OWNER	FIXED	2	
2	3036				SLIDING	2	
3	1650				FIXED	2	SIDE LIGHT
4	2040				SLIDING	2	
5	4050				SLIDING	4	
6	5050				SLIDING	1	
7	4020				FIXED	3	HIGH WINDOW

DOOR SCHEDULE							
SYM	SIZE	CORE	MAT	HRDWRE	FINISH	QUAN	REMARKS
A	306B	FF	CHK/W OWNER	BOLTS	CHK/W OWNER	1	ENTRY
B	306B	FF		BOLTS		1	EXTERIOR
C	306B	GLASS		BOLTS		1	FRENCH DOOR
D	506B	GLASS		BOLTS		1	SLIDING
E	206B	HC		KNOB		1	
F	286B	SC		BOLTS		1	FIRE DOOR
G	306B	HC		PULLS		1	POCKET DOOR
H	286B	HC		PULLS/PRIVACY		1	POCKET DOOR
I	306B	HC		PRIVACY		1	
J	306B	HC		KNOB		3	
K	506B	HC		KNOB		2	DOUBLE BI-FOLD
L	2' X 14'			LATCHES		2	O.H. GARAGE DOUBLE
M	6'X6'-8"			LATCHES		1	DOUBLE



MAIN LEVEL FLOOR PLAN



UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

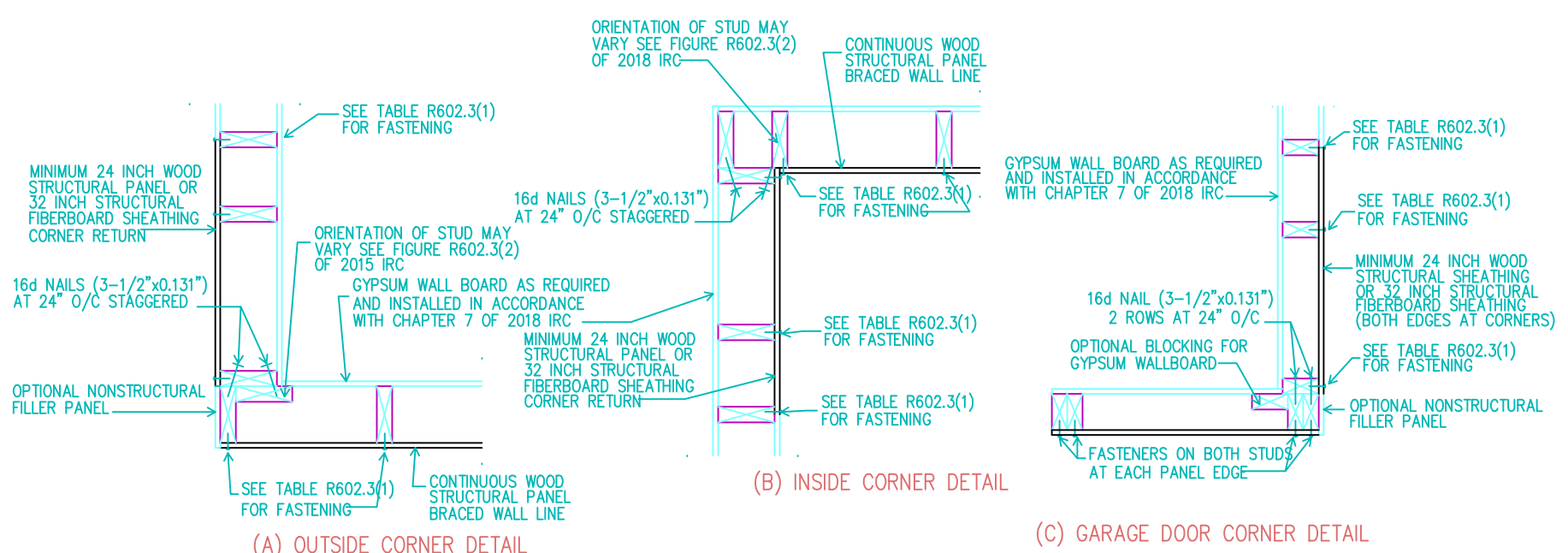


FIGURE R602.10.4.1(1)
TYPICAL EXTERIOR CORNER FRAMING FOR CONTINUOUS SHEATHING
SCALE: N.T.S. *IF APPLICABLE

ACTUAL LENGTH OF BRACED WALL PANEL (inches)	CONTRIBUTING LENGTH OF BRACED WALL PANEL (inches)	
	8-foot Wall Height	9-foot Wall Height
48	48	48
42	36	36
36	27	n/a

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.
N/A = Not Applicable.
a. Linear interpolation shall be permitted.

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS PER IRC TABLE 602.3(1) & 602.3(2)	
CS-WSP	7/16" OSB SHEATHED BRACED WALL PANEL FASTEN W/ 6d NAILS @ 6" O.C. ALONG SHEET EDGES & 12" O.C. ALONG INTERMEDIATE STUDS.
GB	1/2" GYPSUM BOARD BRACED WALL PANEL FASTEN W/ 1-1/4" SCREWS @ 6" O.C. ALONG SHEET EDGES & 12" O.C. ALONG INTERMEDIATE STUDS.
SHEATHING NAIL ATTACHMENT OPTION	
CS-WSP	7/16" OSB SHEATHED BRACED WALL PANEL FASTEN W/ 6d NAILS @ 6" O.C. ALONG SHEET EDGES & 12" O.C. ALONG INTERMEDIATE STUDS.
GB	1/2" GYPSUM BOARD BRACED WALL PANEL FASTEN W/ 1-1/4" SCREWS @ 6" O.C. ALONG SHEET EDGES & 12" O.C. ALONG INTERMEDIATE STUDS.
BRACED WALL DESIGNATIONS BASED ON THE 2015 IRC AND SEISMIC DESIGN CATEGORY A, B or C	
TYPE	BRACED WALL LENGTH REQUIREMENTS
GB	BRACED WALL PANEL CONSTRUCTED IN ACCORDANCE WITH IRC SECTION R602.10.1, GYPSUM WALLBOARD SHALL BE A MINIMUM OF 96" LONG WHEN APPLIED TO ONE FACE AND 48" LONG WHEN APPLIED TO BOTH FACES.
CS-WSP	CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING IN ACCORDANCE WITH IRC SECTION R602.10.5. SHEATHING APPLIED TO ENTIRE FACE OF WALL, WITH MINIMUM PIER LENGTHS IN ACCORDANCE WITH TABLE R602.10.4.

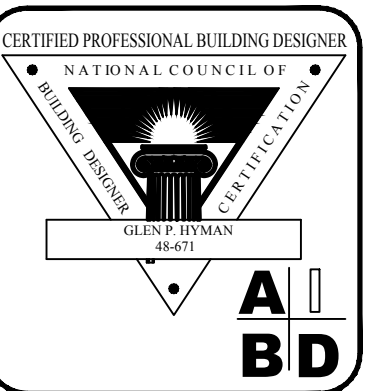
SQUARE FOOTAGE	
MAIN LEVEL	874 SQ. FT.
UNFIN. STOR.	874 SQ. FT.
GARAGE/SHOP	1451 SQ. FT.
TOTAL	3199 SQ. FT.

REVISIONS	BY
-----------	----

A NEW HOME FOR:
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Spokane, Washington
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"IF YOU CAN DREAM IT, WE CAN DESIGN IT."
MAIN AND UPPER LEVEL FLOOR PLAN
"IF YOU CAN DREAM IT, WE CAN DESIGN IT."



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Job	4215
Sheet	2
Of	9 Sheets

SCALE: 1/4" = 1'-0"

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