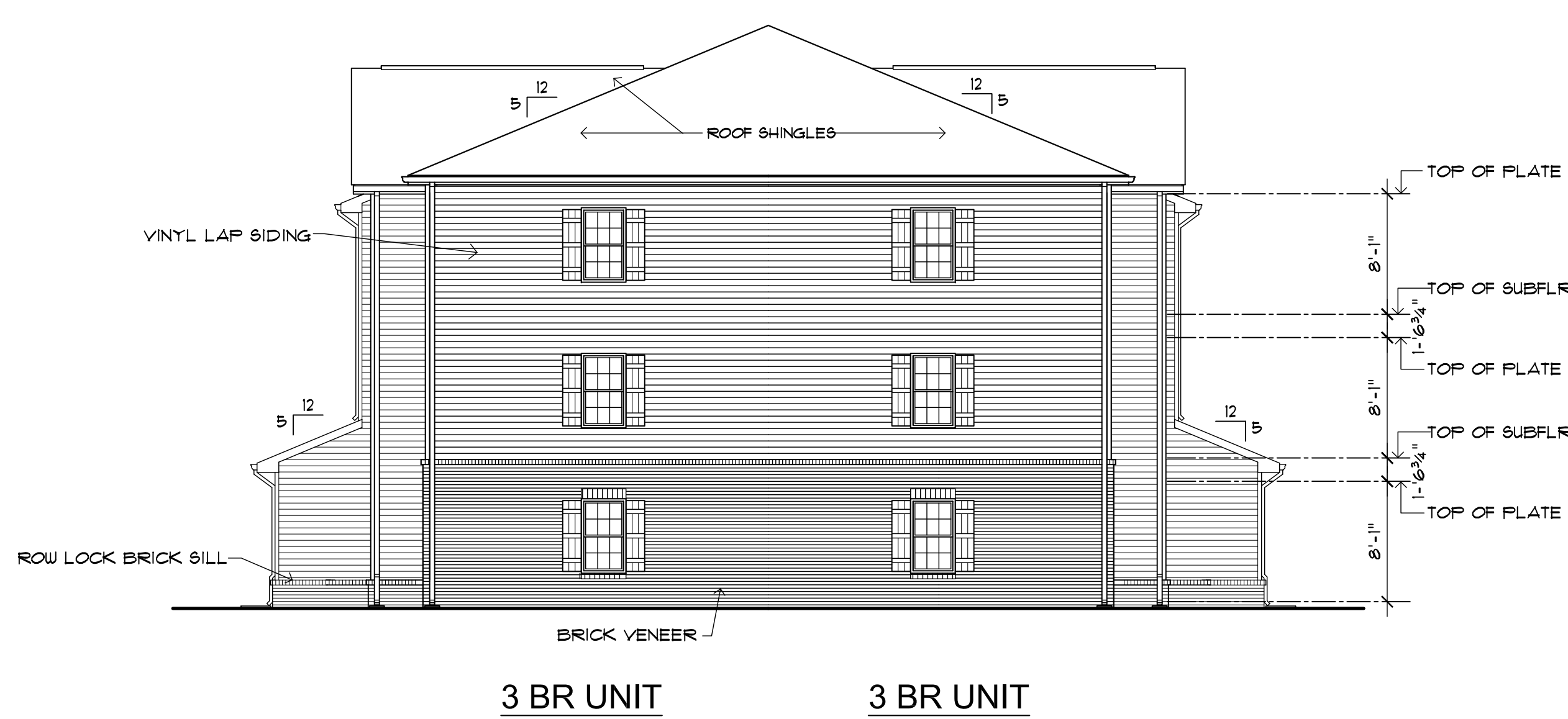
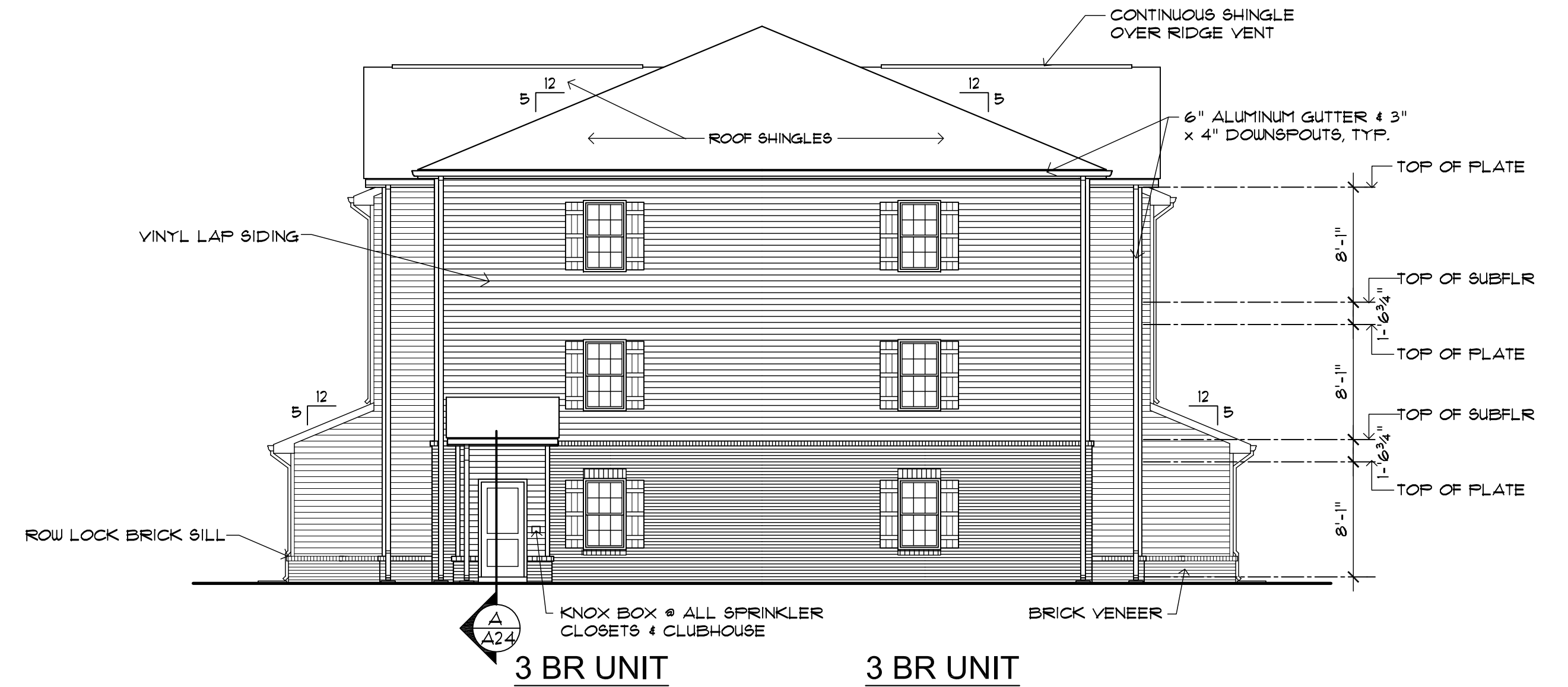


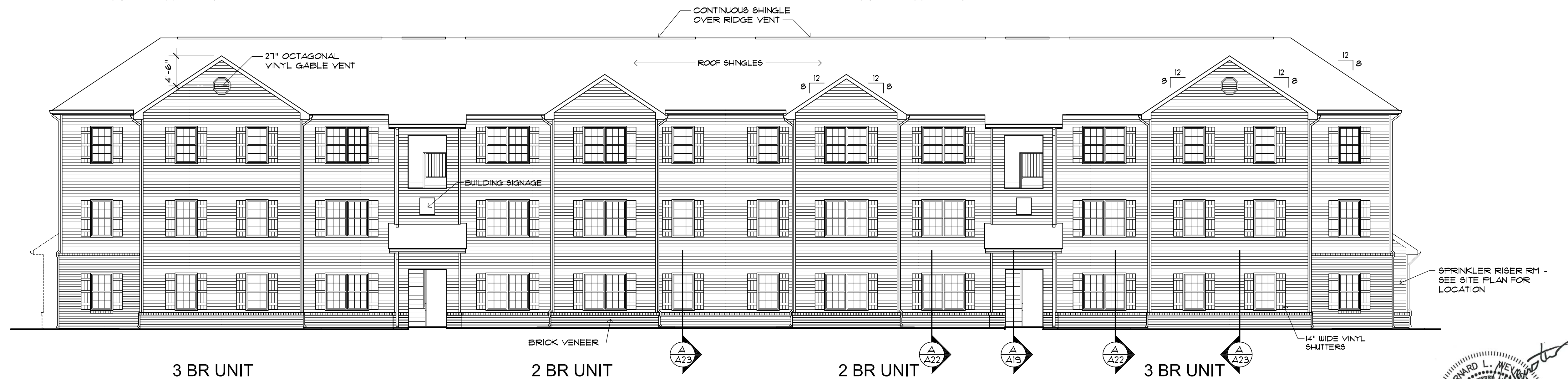
BUILDING A1 & A2 NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



**BLDG A1 & B NORTHEAST /
BLDG A2 SOUTHWEST ELEVATION**
SCALE: 1/8" = 1'-0"

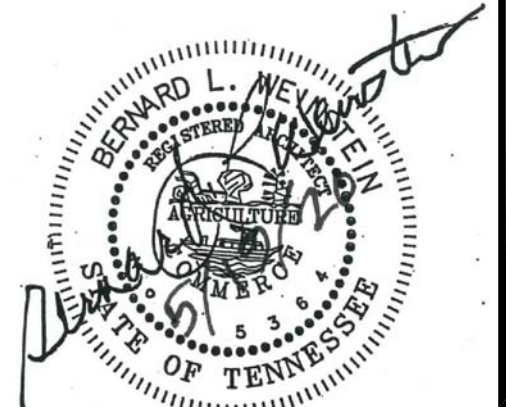


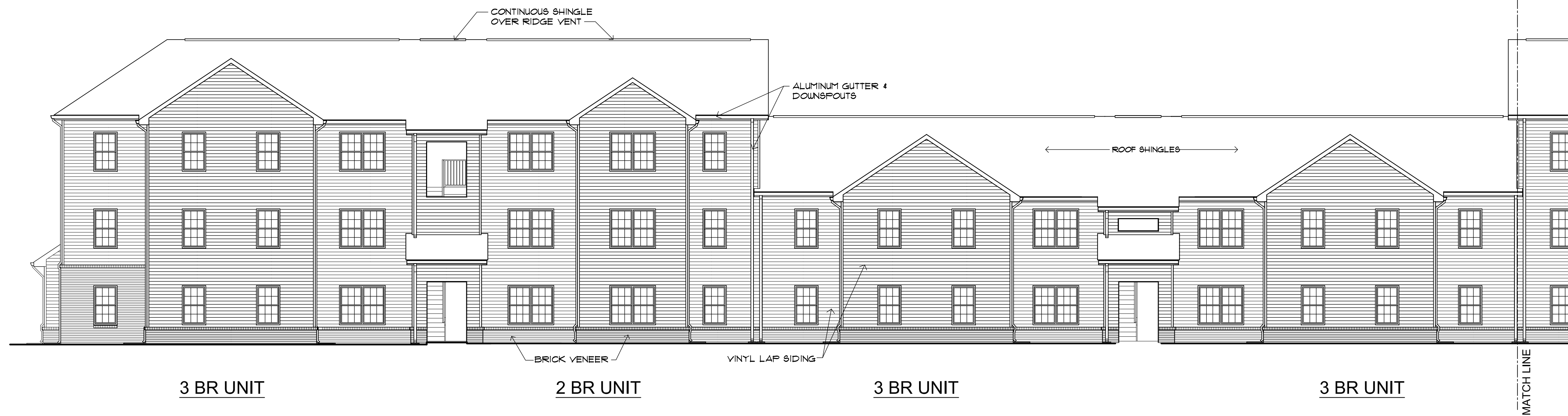
**BLDG A2 NORTHEAST & BLDG B SOUTHWEST /
BLDG A1 SOUTHWEST ELEV. OPPOSITE HAND**
SCALE: 1/8" = 1'-0"



BUILDING A1 & A2 SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

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Revised: 5/26/2020





BUILDING B PARTIAL SOUTHEAST ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING B PARTIAL NORTHWEST ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING B PARTIAL SOUTHEAST ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING B PARTIAL NORTHWEST ELEVATION

SCALE: 1/8" = 1'-0"

6-SA-20-C
6-A-20-UR
4/20/2020

**BERNARD L. WEINSTEIN
& ASSOCIATES ARCHITECTS
NASHVILLE, TENNESSEE**

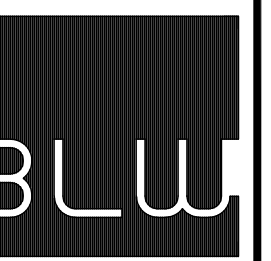
PROJ. NO.

DATE
03/10/2020
REVISED

WOODBURY CROSSING
7605 TWIN OAKS LANE
CORRYTON, TENNESSEE

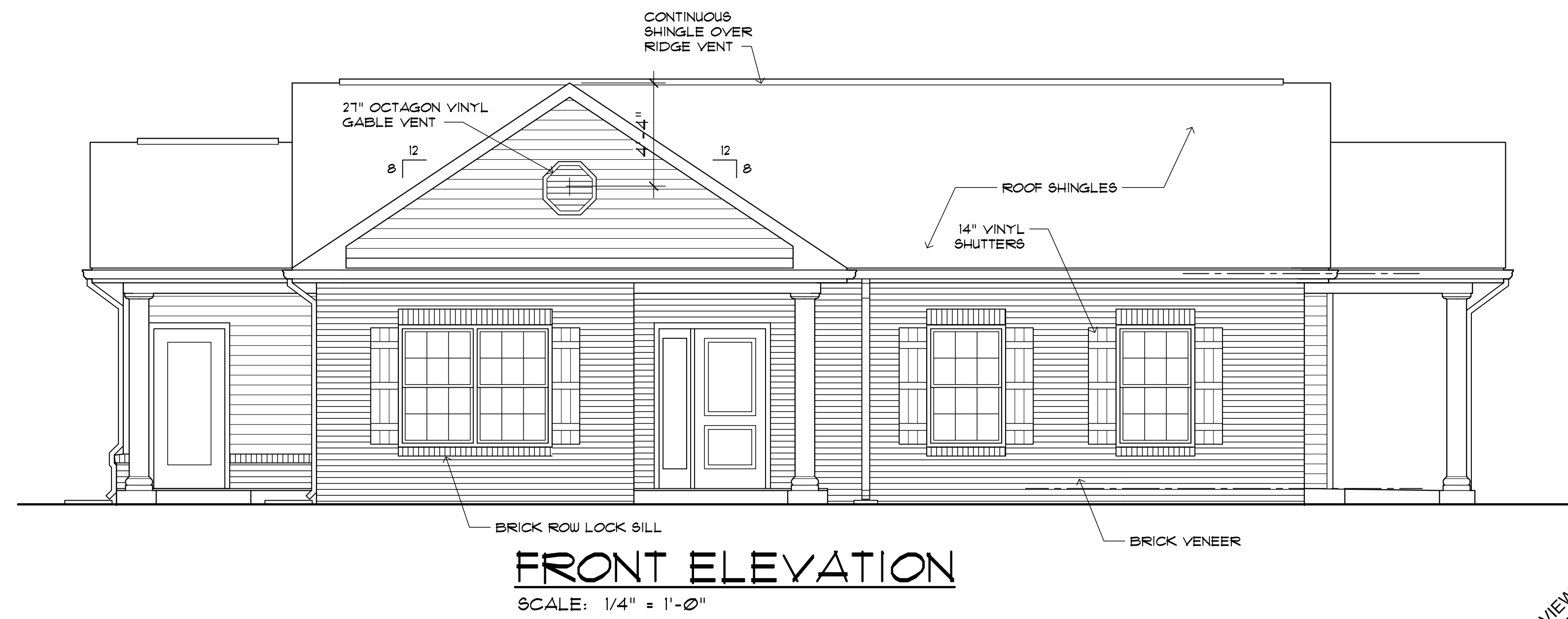
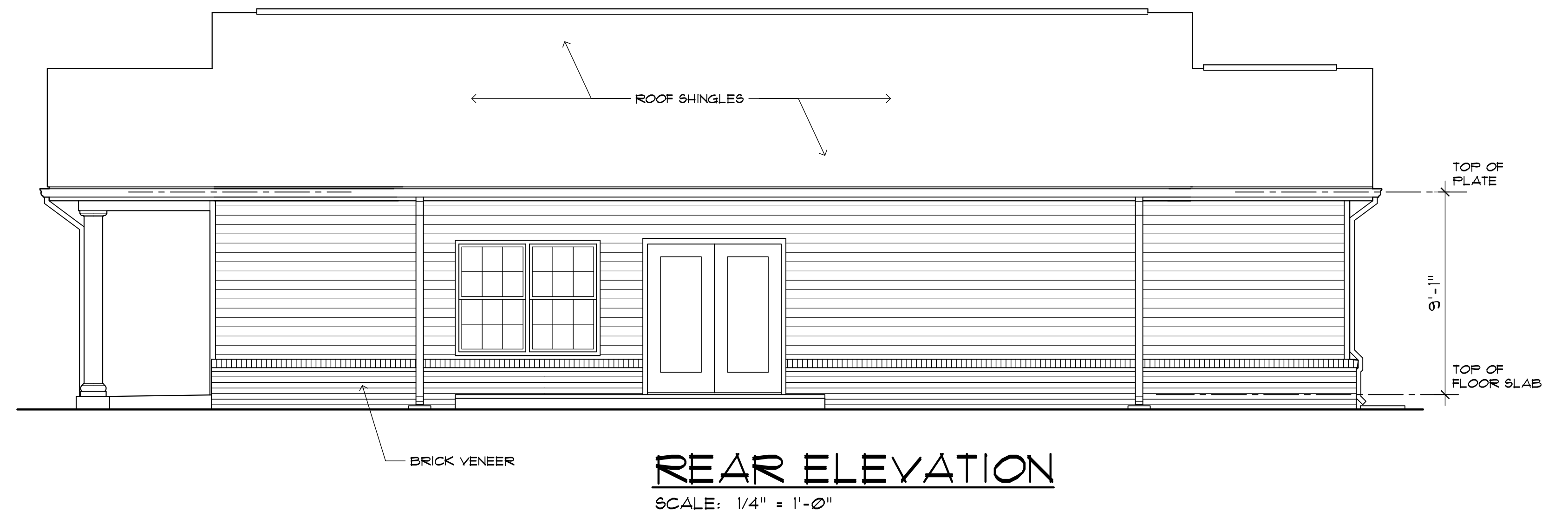
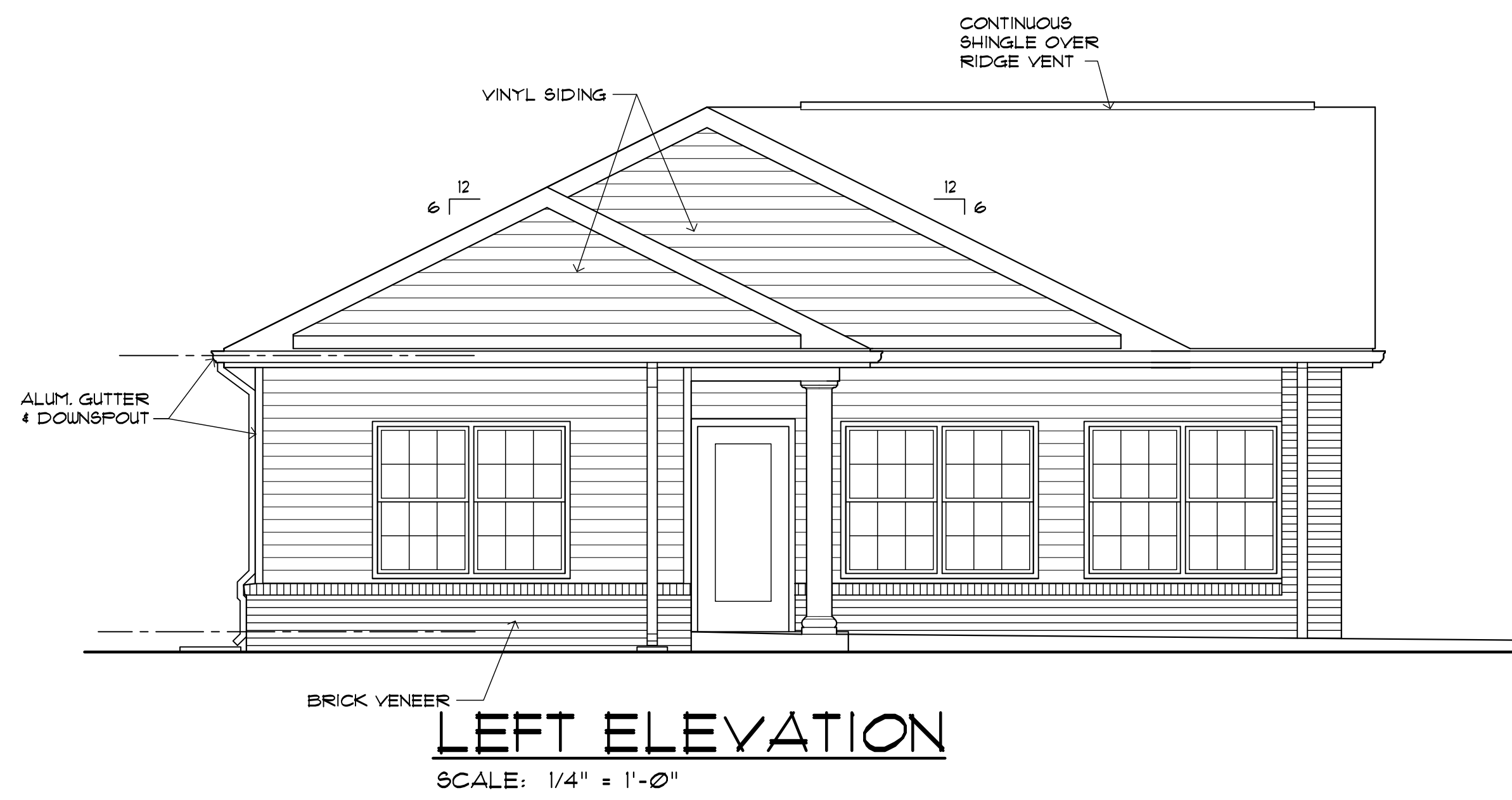
BUILDING ELEVATIONS

A17



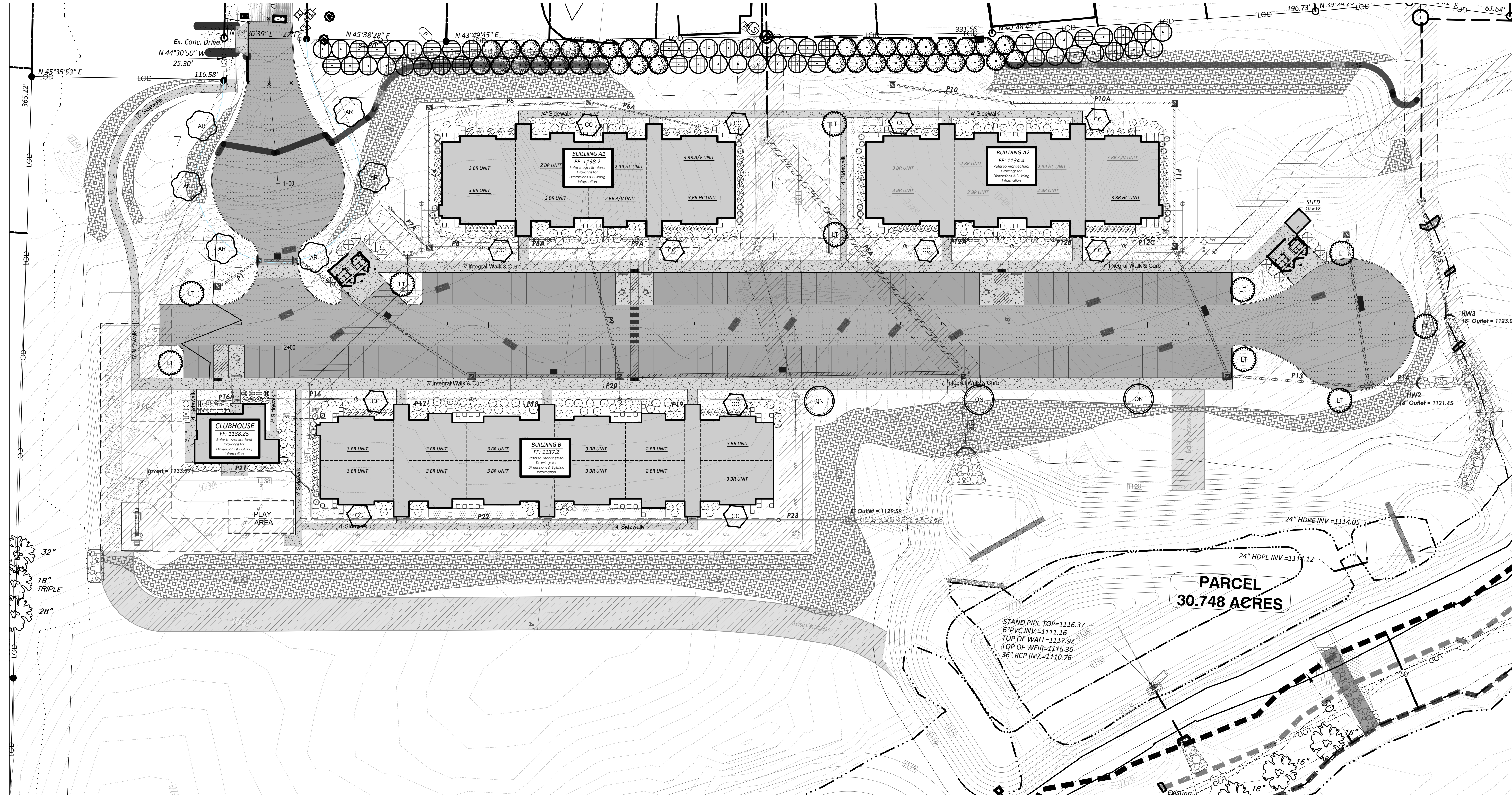
REVIEW SET
NOT FOR CONSTRUCTION

6-SA-20-C
6-A-20-UR
4/20/2020



REVIEW SET
NOT FOR CONSTRUCTION

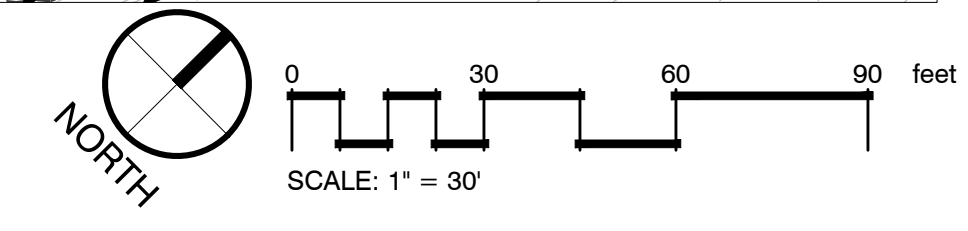
PROPOSED SITE FOR:
WOODBURY CROSSING
 KNOXVILLE, TENNESSEE



SITE DATA

ZONING: RESIDENTIAL
 SITE AREA: 30.7 ACRES
 WOODED AREA TO BE PRESERVED: 13.77 ACRES
 DISTURBED AREA: 7.0 ACRES

GENERAL TREE PLANTING REQUIREMENTS	REQUIRED	PROVIDED
8 TREES/ ACRE x 7.0 ACRES	56 TREES	56 TREES



6-SA-20-C
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 Revised: 5/26/2020

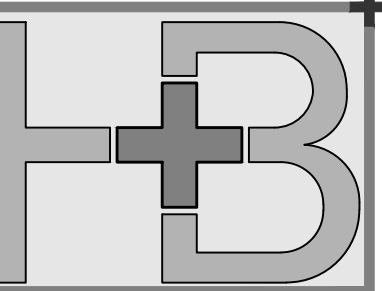
BY: cb

RELEASE DATE: 05/22/2020
 REV 1:

L1.0

LANDSCAPE PLAN





Heibert+Ball
LAND DESIGN
 1894 Gen. Geo. Patton Dr.
 Suite 400
 Franklin, TN 37067
 Tel: 615.376.2421
 www.hblanddesign.com

PROPOSED SITE FOR:
WOODBURY CROSSING
 KNOX CO., TENNESSEE

PLANT STANDARDS

The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:

- Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
- Trees with forked trunks are acceptable if all the following conditions are met:
 - The fork occurs in the upper 1/3 of the tree.
 - One fork is less than 2/3 the diameter of the dominant fork.
 - The top 1/3 of the smaller fork is removed at the time of planting.
- No branch is greater than 2/3 the diameter of the trunk directly above the branch.
- The trunk and/or major branches shall not touch
- Several branches are larger in diameter and obviously more dominant.
- Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
- Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree
- Crown spread shall look proportional to the tree.
- NO flush cuts or open trunk wounds or other bark injury
- Root ball meets all ANSI standards and is appropriately sized

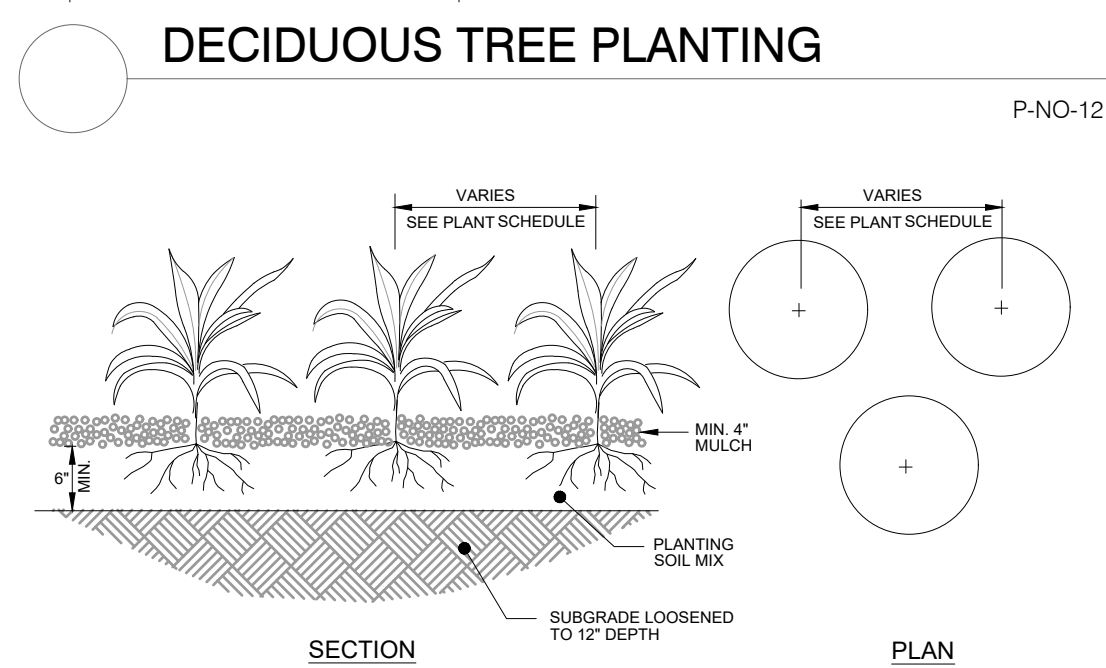
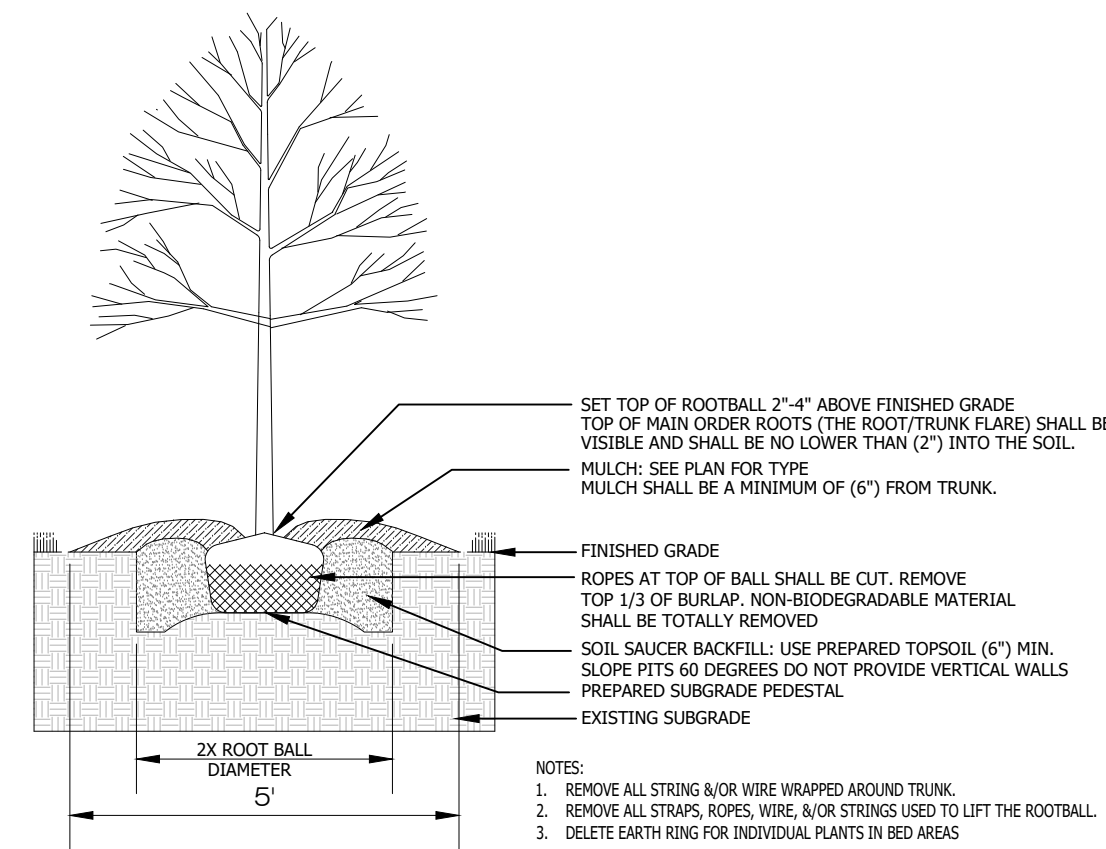
DEFICIENCIES NOT ACCEPTED:

- Tip dieback on 5% of branches
- Crown thin/sparsely foliated
- Included bark
- Major Branches touching
- Asymmetrical branching

Landscape shall not obstruct visibility or access to fire protection equipment including, but not limited to, fire hydrants and fire department connections

PLANTING NOTES:

- Refer to all written specifications; adhere to Plans and Specifications for all phases of work.
- Verify all utility locations in the field before work begins. Repair damaged utilities to owners satisfaction at no additional cost.
- Verify all material quantities on the drawing during bidding and pricing. In the event of a discrepancy, the quantities drawn on the plan will take precedence over the material schedule.
- All materials are subject to the approval of the Landscape Architect, City, and Owner.
- Once unloaded from truck, immediately stand all trees up. DO NOT lie the trees down. This will reduce the risk of sunscald.
- Plants shall meet specifications. Root balls shall meet or exceed size standards as set forth by "American Standards for Nursery Stock". Main leaders of all trees shall remain intact.
- Mulch plant pits and planting beds with specified mulch to the depth indicated on drawings.
- Prepare all topsoil used in tree, shrub, and seed mixes in accordance with the specifications
- Discard any material which turns brown or defoliates within 5 days after planting. Replace immediately with approved specified material at no additional cost.
- Maintain all plant material and lawns until project is accepted in full by the City.
- Guarantee all workmanship and materials for a period of 1 calendar year.
- Install all plant material in accordance with all local codes and ordinances. Obtain any required permits necessary to complete the work.
- Provide 6" of topsoil for lawn areas (12" min. over rock), min. 24" of topsoil for shrub zones, and min. 48" deep for tree pits. Refer to specific root ball sizes for the min. diameter tree pit.
- Trees shall be first quality representatives of their species and shall meet all requirements otherwise stipulated. The Landscape Architect reserves the right to reject plant materials in the field, at the growing location, or at the job site at any time during the project.
- Test all tree pits for drainage. Any tree pit that holds water for more than 24 hours shall be installed using filter fabric wrapped perforated drainage tube (sloped to low point) and a washed pea gravel pit well drain



LANDSCAPE NOTES:

- Contractor responsible for locating and protecting all underground utilities prior to digging.
- Contractor responsible for protecting existing trees from damage during construction as shown on plans.
- Contractor to install 6" minimum depth of clean, friable topsoil at all planting beds and lawn areas prior to fine grading. see topsoil specification sheet I-1,3.
- All shrub beds (existing and new) to be mulched with a 3-4 inch minimum layer of mulch.
- Existing grass in proposed planting areas to be killed and removed and area to be hand raked to remove all rocks and debris larger than 1 inch in diameter prior to planting shrubs or laying sod. Landscape contractor to provide fine grading.
- Any existing grass disturbed during construction to be fully removed, re-graded and replaced. All tire marks and indentation to be repaired.
- Soil to be tested to determine fertilizer and lime requirements and distributed prior to laying sod.
- Sod to be delivered fresh (cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. edge of sod adjacent to mulch beds to be shovel cut. All sod to be delivered in largest rolls available, there shall be no gaps between sod joints.
- Planting mix to be provided as specified in the landscape specifications.
- The landscape contractor shall guarantee all plants installed for one full year from date of acceptance. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The landscape contractor shall not be responsible for acts of god or vandalism.
- Any plant that is determined dead, in an unhealthy or unsightly condition, lost its shape due to dead branches or other symptoms of poor, non-vigorous growth, as determined by the landscape architect, shall be replaced by the landscape contractor at no cost to owner.
- Prior to installation, the landscape contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by general contractor and observe the site conditions under which the work is to be done. Notify general contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected.
- Water all plant material that are newly planted thoroughly twice in first 24 hours and apply mulch immediately.
- All trees and shrubs shall be coordinated with lighting plan prior to installation.
- All shrubs to be 3' back of curb.
- All areas of disturbance outside of landscape beds shall be repaired with turf.
- Any utility structure, light poles, sign, or other feature may not be added to any required landscape island in such a manner that would displace the required element(s) (trees, shrubs, etc.)

SUBSTITUTION NOTE:

1. Requirements shown are per the City Zoning Ordinance. Substitutions are not allowed unless approved by the City and Heibert+Ball Land Design

TO AVOID OVERHEAD LIGHT POLE CONFLICTS:

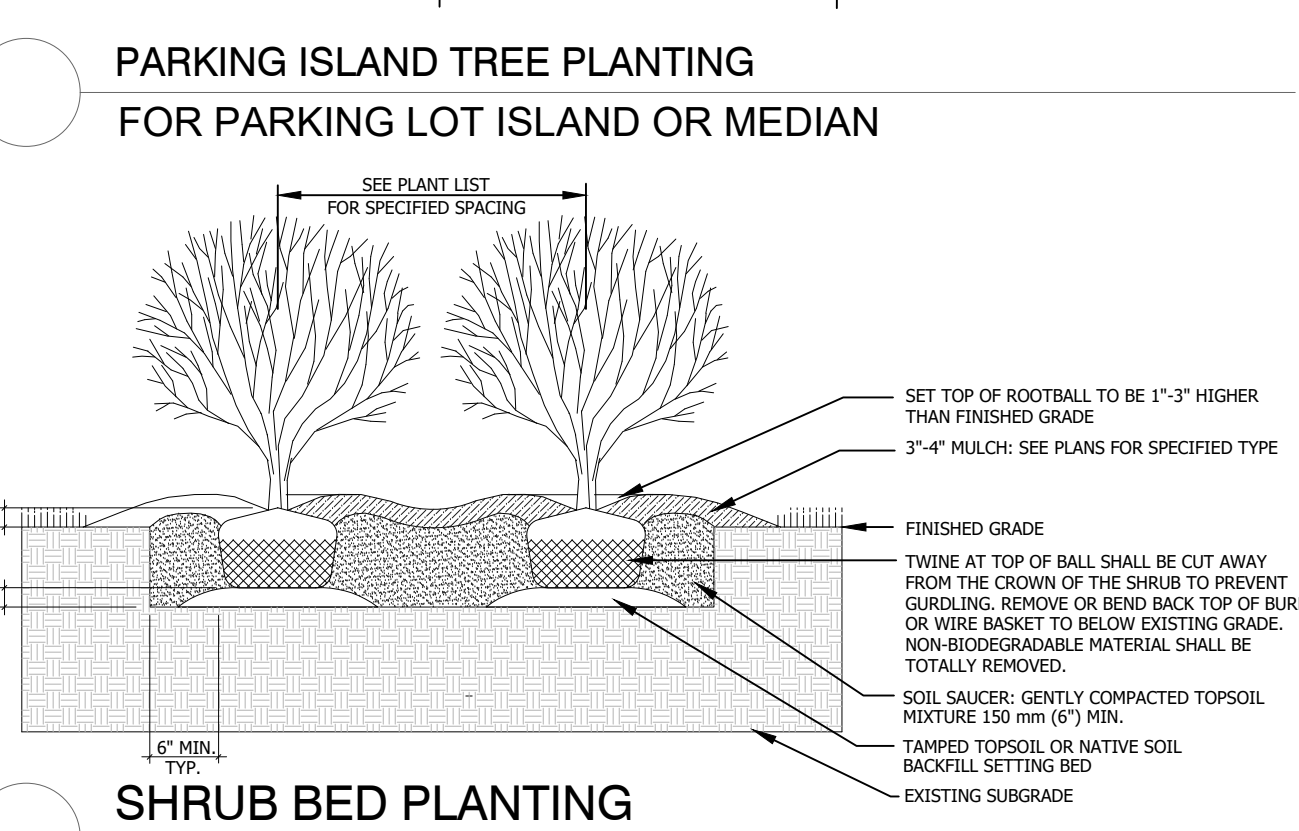
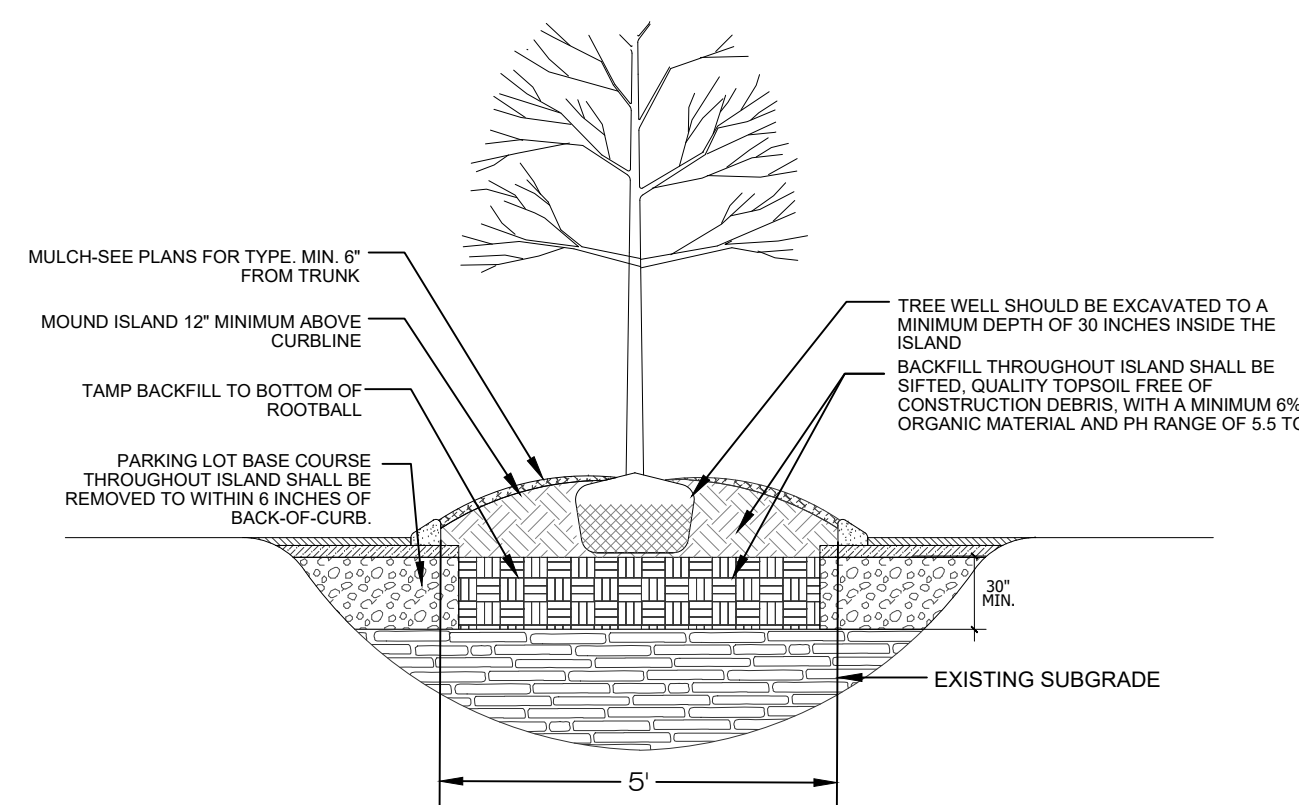
In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment

TO AVOID OVERHEAD UTILITY CONFLICTS:

In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

UTILITY SCREEN

All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball Land Design for screening recommendations



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
AR	6	Acer rubrum 'October Glory' / October Glory Maple 5' Clear Trunk, Single, Straight Central Leader, Full Upswept Branching, Even Branching. See Tree Specifications. MATCHED	B & B	2'Cal	12'-14' HT
CC	12	Cercis canadensis / Eastern Redbud 4' Clear Single Trunk, Evenly Branched. Full Symmetrical Crown. See Tree Specifications	B & B	2'Cal	10'-12' HT
	49	Ilex opaca / American Holly Full to Base. Full Dense Form. See Tree Specifications	B & B		8' HT
LT	10	Liriodendron tulipifera / Tulip Poplar 5' Clear Trunk, Single, Straight Central Leader, Full Upswept Branching, Even Branching. See Tree Specifications.	B & B	2'Cal	10'-12' HT
QN	3	Quercus nuttallii / Nuttall Oak 6' Clear Trunk, Single, Straight Central Leader, Evenly Branched, Full Symmetrical Crown. See Tree Specifications. Matched	B & B	2'Cal	12'-14' HT
	38	Thuja standishii x plicata 'Green Giant' / Green Giant Arborvitae Full to Base. Full Dense Form. See Tree Specifications	B & B		8' HT
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	WIDTH	
	49	Abelia x grandiflora 'Rose Creek' / Rose Creek Abelia Full; Dense Form; Well Rooted	#3 Container		
	13	Buxus x 'Green Velvet' / Green Velvet Boxwood Full; Dense Form. Unsheered	18" HT		
	53	Hydrangea paniculata 'Limelight' / Limelight Hydrangea Full; Dense Form	#3 Container		
	20	Ilex crenata 'Hoogendorn' / Hoogendorn Holly Full; Dense Form; Well Rooted	#3 Cont. 16" HT		
	20	Ilex x meserveae 'Blue Princess' TM / Blue Princess Holly Full; Dense Form. Upright Growth. 1 Male	18" HT		
	8	Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire Full; Dense Form; Well Rooted	16" HT		
	30	Miscanthus sinensis 'Adagio' / Adagio Eulalia Grass Full. Heavy. Well Rooted	#1 Container		
	7	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint Full; Heavy; Well Rooted	#1 Container		
	129	Prunus laurocerasus 'Chestnut Hill' / Chestnut Hill Laurel Full Form. Well Matched	18" HT		
	101	Taxus x media 'Densiformis' / Dense Yew Full; Dense Form	20" HT		
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT		
	16,084 sf	Turf Sod / Drought Tolerant Fescue Blend SEED AND STRAW ALL DISTURBED AREAS. SOD TO BE PRICED AS AN ADD. ALTERNATE IN AREAS SHOWN	sod		

PLAN NOTES:

- ALL LANDSCAPE BEDS SHALL BE NEATLY TRENCHED WITH A BED EDGE AND HAVE 3" MINIMUM DEPTH OF PINE STRAW MULCH.
- ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
- ALL AREAS OF DISTURBANCE SHALL BE SEEDED WITH REBEL III TALL FESCUE UNLESS OTHERWISE STATED

6-SA-20-C
 6-A-20-UR
 Revised: 5/26/2020



BY: cb

RELEASE DATE: 05/22/2020
 REV 1:

L1.1

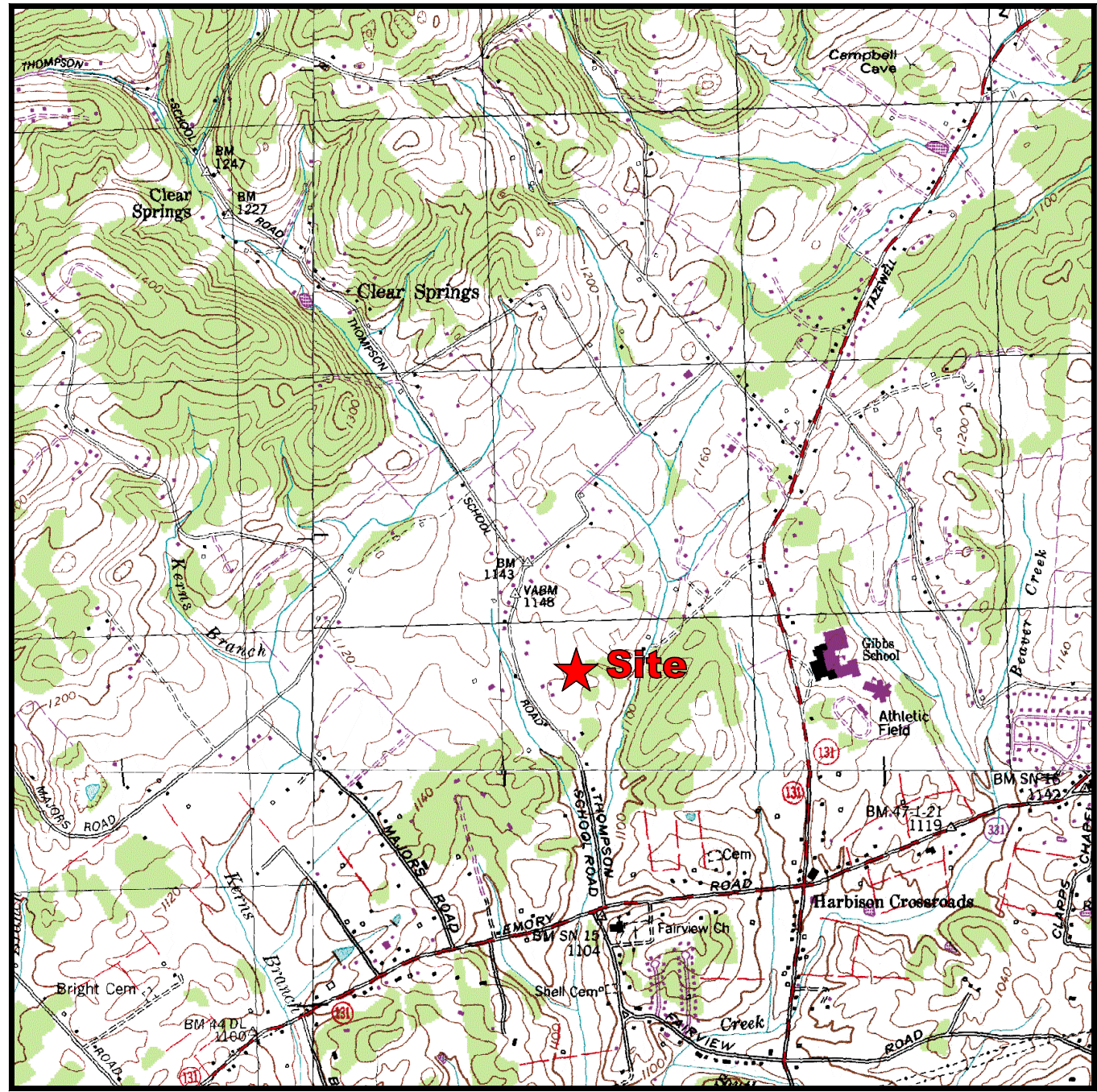
LANDSCAPE NOTES

DATE	ISSUE	REVISIONS

Site Development Plans For Woodbury Crossing Apartments Edwards Place Boulevard Corryton, Knox County, Tennessee

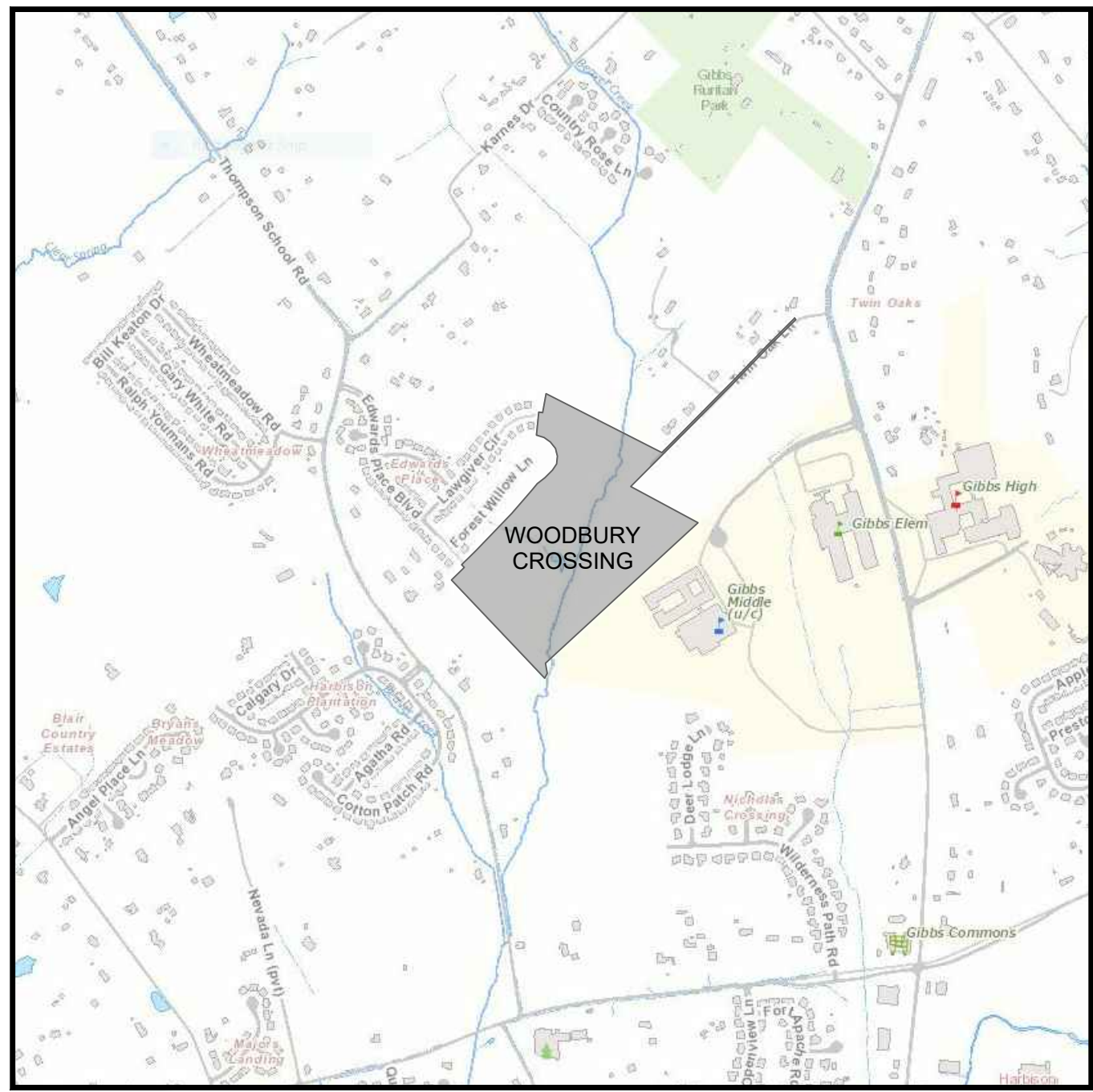
GENERAL NOTES

- The Contractor and Subcontractor shall be solely responsible for complying with all Federal, State and local safety requirements, together with exercising precautions at all times for the protection of persons (including employees) and property. It is also the sole responsibility of the Contractor and Subcontractor to initiate, maintain and supervise all safety requirements, precautions and programs in connection with this work.
- Existing utilities shown are from best available records and field investigation, and are not necessarily complete or exact. The Contractor is responsible for the investigation, location, support, protection and restoration of all existing utilities and appurtenances whether shown on these plans or not. The Contractor shall expose all utilities or construction prior to construction to verify the vertical and horizontal effect on the proposed construction, and shall make adjustments in elevations to provide sufficient clearance between the proposed and existing utilities. The Contractor shall call the utilities protection service (Dial 811) at least three (3) working days prior to work in the vicinity of their underground utilities.
- Chadan Engineering, Inc. assumes no responsibility for the accuracy and/or completeness of the provided surveying and mapping information nor any errors or omissions resulting from missing or inaccurate data.
- The Contractor shall exercise extreme caution when working near existing utilities. It is the Contractor's responsibility to contact the appropriate utility agency prior to exposing the utility. The Contractor is responsible for repairing any utility that may become damaged during the course of construction.
- Should the Contractor discover any discrepancies or conflicts with the existing and/or proposed information, the project Architect and Engineer shall be notified prior to continuing work.
- All proposed utility locations shall be provided by a state licensed surveyor, prior to installation. The Contractor shall adjust all structures to final grade as needed.
- The Contractor and/or Owner is responsible for coordinating with the electric, gas and communication companies regarding providing service to the development. Any information shown on plans shall be considered schematic only.
- Any property corner pins or permanent survey markings disturbed during construction shall be reset by a registered surveyor at the Contractor's expense.
- The tracking or spillage of mud, dirt or debris upon public roads is prohibited and any such occurrence shall be cleaned up immediately by the Contractor. If the Contractor fails to keep the work area clean of debris, or fails to clean mud or dirt, the local jurisdiction may take action and assess the Contractor for the costs that are incurred.
- No non-rubber tire vehicles shall be moved on public roads; exceptions may be granted where short distances and special circumstances are involved. Granting of exceptions shall be in writing.
- The Contractor shall exercise extreme caution when excavating in the vicinity of existing trees, taking all measures possible to protect and preserve them. The Contractor shall be governed by the provisions of his contract with the Owner.
- All field tile broken during excavation shall be replaced to its original condition or connected to the storm sewer system. The Contractor shall maintain a set of as-built documents for any tile encountered during construction.
- Proposed storm water management basins and conveyance system will be owned by the Owner. It will be the Owner's responsibility to properly maintain and inspect the storm water management system.
- All traffic control devices shall be furnished, erected, maintained and removed by the Contractor in accordance with the latest edition of the Tennessee Department of Transportation Manual for Traffic Controls.
- All trenches shall be backfilled or securely plated during nonworking hours.
- Access to all adjoining properties shall be maintained at all times.
- All areas within the public right-of-way that are disturbed by this project shall be restored to original or better condition.
- At all utility crossings where the existing utility is exposed in the trench, the backfill shall consist of compacted granular material between the deeper and shallower pipe. Where proposed utilities or services cross proposed or existing pavement areas, backfill shall be compacted granular extending at least 3 feet beyond the back of curb or edge of pavement. Cost is to be included in the price bid for related pipe.
- Clean water connections to sanitary sewer lines are strictly prohibited, this includes but not limited to, roof drains, foundation drains, yard drains, catch basins and trench drains.
- Curb inlets, manholes and catch basins shall be channeled as directed. Tops inlets and catch basins shall be adjusted with the final slope of the road surface.
- Proposed spot elevations are dependent on the final elevation of the finish floor of the building(s). Once the floor slab has been installed, the Contractor shall confirm the elevation. Any discrepancy shall be reported to the project Architect and Engineer to determine if any elevation revisions are required.
- On-site sidewalks are designed to meet current accessibility standards. It is strongly recommended that the Contractor review the proposed sidewalks and construct the work so not to create a "pinch point" with respect to the elevations due to construction tolerances with the final elevations. Note the following information:
Sidewalks are to have a cross-slope of less than 2%. Lead slope shall not exceed 5% or it is considered a ramp. Changes in directions shall have an area of 2% or less in all directions whenever possible.
Ramp: A ramp is a section of sidewalk with a lead slope greater than 5% and less than 8.33%. Handrails are required on both sides of ramps with an elevation change of greater than 6". No section of sidewalk shall exceed 8.33%. A ramp may not exceed 30' in length without a landing area.
- Where it is necessary to disturb pavements or drives, the pavement shall be saw cut in neat straight lines. The depth of the saw shall be at least 4 inches. Existing asphalt or concrete shall be replaced to a thickness equal or greater than original. Aggregate base shall be replaced if needed.
- Erosion control measures in accordance with the requirements of the State of Tennessee. The Contractor shall provide sediment control at all points where water leaves the project, including waterways, overland sheet flow and storm sewers. The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices. Disturbed areas that remain unworked for 14 days shall be seeded. Other sediment controls that are installed shall be maintained until vegetation growth has been established. The Contractor shall be responsible for the removal of all temporary sediment devices at the conclusion but not before the growth of permanent ground cover.
- Contractor shall adhere to all recommendations in the geotechnical report unless directed otherwise in writing by the project Architect or Owner. It is the Contractor's responsibility to assure that proper testing is completed on placed fill, foundation, and trench work, etc. Should the Contractor encounter poor or unknown soils or groundwater, the geo-tech representative shall be consulted. Copies of all testing reports shall be provided to the Owner.
- Submittals shall be provided to the Engineer electronically for review and comment. The Engineer shall respond within 5 business days.
- The Contractor shall maintain a set of as-builts on site. Once the project is complete, the as-built set shall be delivered to the Owner.
- Contractor is responsible for verifying all quantities.



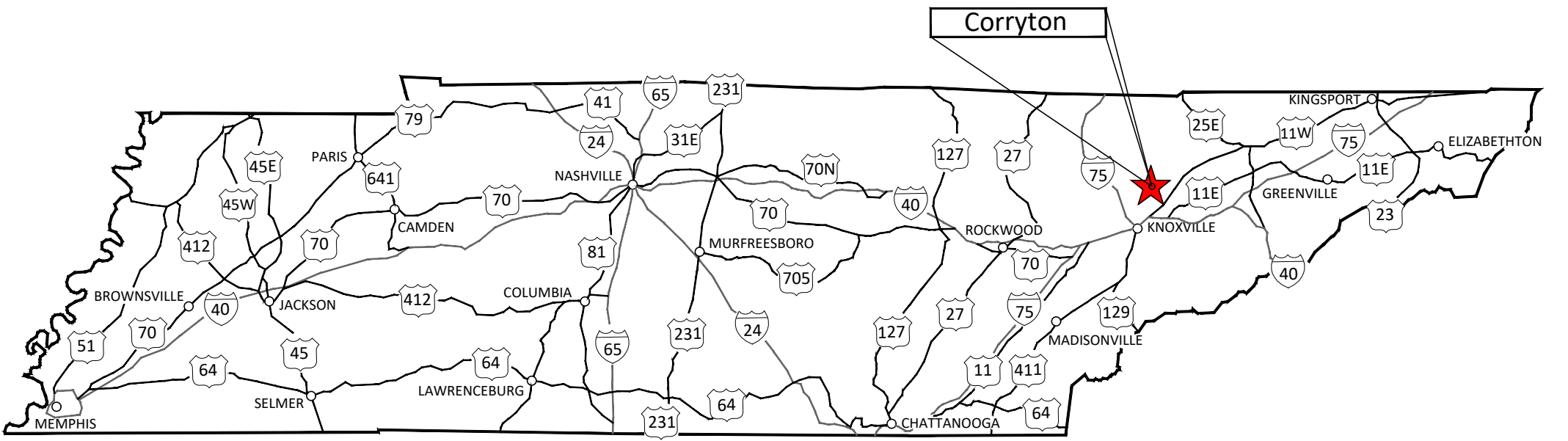
LOCATION MAP

Scale: 1" = 2000'
0 2000 4000 6000



VICINITY MAP

Scale: 1" = 1000'
0 1000 2000 3000



State Map

DRAWING INDEX

Sheet CS	Cover Sheet
Sheet C001	Existing Conditions & Demolition Plan
Sheet C100	Overall Site Plan
Sheet C101	Enlarged Site Plan
Sheet C102	Site Details
Sheet C103	Site Details
Sheet C200	Overall Site Grading Plan
Sheet C201	Enlarged Site Grading & Drainage Plan
Sheet C202	Basin Information
Sheet C203	Road Profiles
Sheet C204	Site Profile
Sheet C205	Site Sections
Sheet C300	SWP3 Phase I
Sheet C301	SWP3 Phase II
Sheet C302	SWP3 Phase III
Sheet C303	Erosion & Sedimentation Control Details
Sheet C400	Sanitary Sewer Plan & Profile
Sheet C401	Sanitary Specifications & Details
Sheet C402	Lift Station Details
Sheet C403	Waterline Plan & Profile
Sheet C404	Waterline Plan & Profile
Sheet C405	Waterline Specifications
Sheet C406	Waterline/Force Main Specifications & Details

6-SA-20-C
6-A-20-UR
Revised: 5/26/2020

NORTHEAST KNOX UTILITY DISTRICT
Commissioners:
Ann Acuff President
Joe Longmire Vice President
Les Spitzer Secretary
General Manager:
Gregg Morgan
Approved by: _____
Gregg Morgan
General Manager
Northeast Knox Utility District

PROJECT TEAM

Owner/Developer: Woodbury Crossing Limited Partnership Attn: Connor Swartz 500 S. Front Street, 10th Floor Columbus, OH 43215 614.396.3200	Surveyor: Civil & Environmental Consultants, Inc. 2704 Cherokee Farm Way Ste 101 Knoxville, TN 37920 865.977.9979
Supervisory Architect: PCI Design Group, Inc. 500 S. Front Street, Suite 975 Columbus, OH 43215 614.396.3265	Geotechnical: Shield Engineering, Inc. 300 Forestal Dr. Knoxville, TN 37918 865.544.5959

Design Architect:
Bernard L. Weinstein & Associates
95 White Bridge Rd
Nashville, TN 37205
615.352.7151

Mapping Notes

Boundary and existing conditions survey provided by:

Civil & Environmental Consultants, Inc.
2704 Cherokee Farm Way Ste 101
Knoxville, TN 37920
865.977.9979

Chadan Engineering, Inc. assumes no responsibility for the accuracy and/or completeness of the provided surveying and mapping information nor any errors or omissions resulting from missing or inaccurate data.

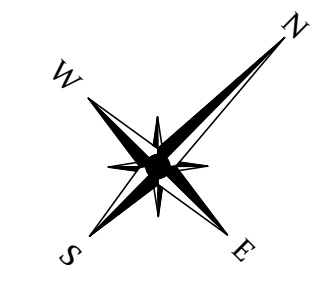


FOR PERMIT PURPOSES

CLIENT:
Woodbury Crossing Limited Partnership
Attn: Conner Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

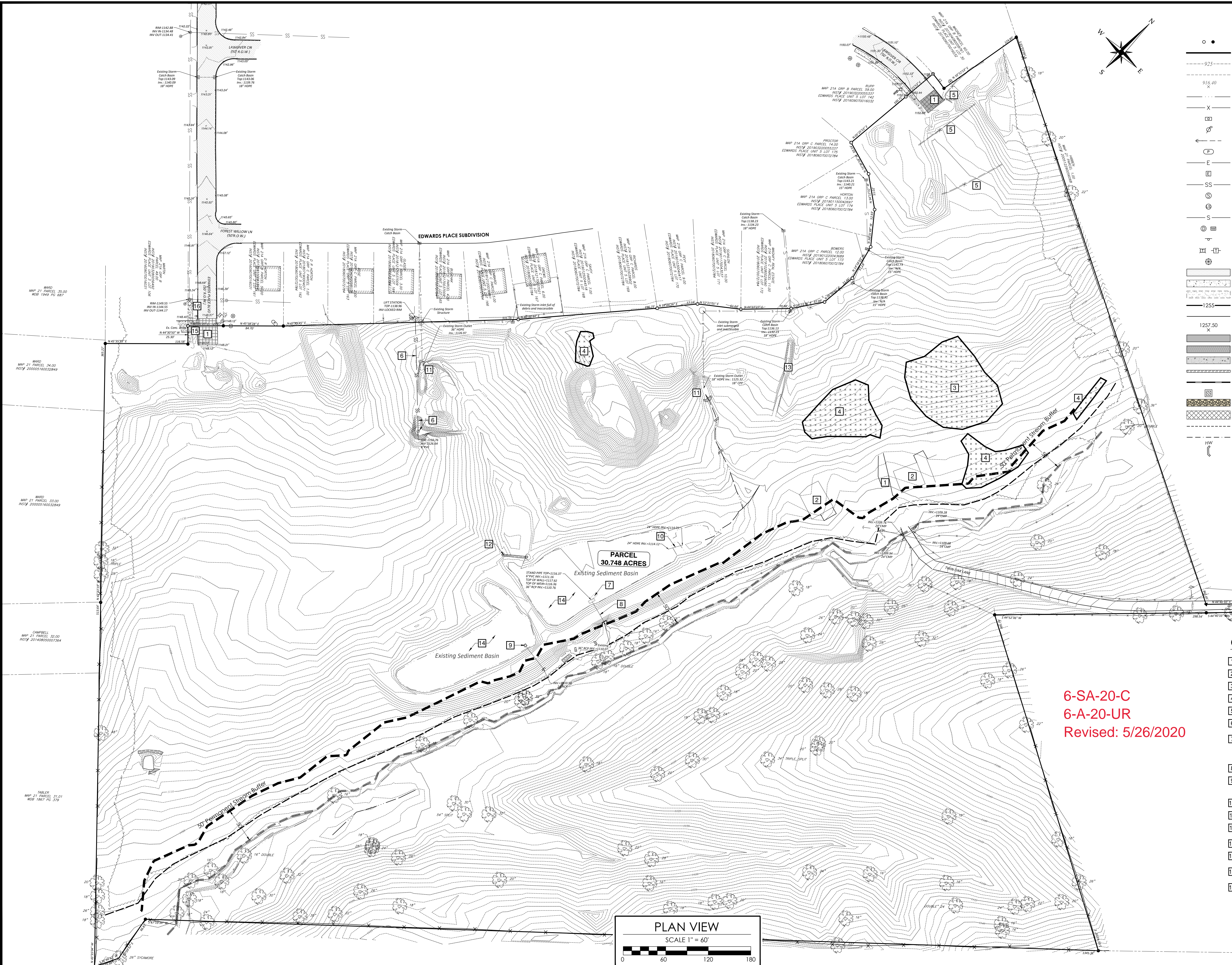
WOODBURY CROSSING APARTMENTS

Edwards Place Boulevard
Corryton, Knox County, Tennessee



LEGEND

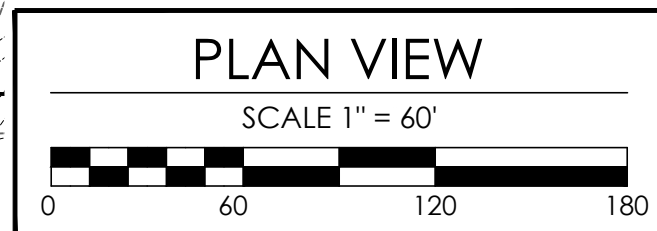
- • Property Markers
- Property Boundary Line
- Existing Grade Contour (Index)
- Existing Grade Contour (Intermediate)
- 916.40 Existing Grade Spot Elevation
- Existing Fresh Water Feature
- X Existing Fence
- ⊠ Existing Mailbox
- ⊕ Existing Utility Pole
- Existing Guy
- ⊖ Existing Gas Utility Feature
- E Existing Overhead Electric
- ⊖ Existing Electric Feature
- SS Existing Sanitary Sewer
- ⊖ Existing Sanitary Manhole
- ⊖ Existing Sanitary Lift Station
- S Existing Storm Sewer Pipe
- ⊖ Existing Storm Sewer Structures
- ⊖ Existing Sign
- ⊖ Existing Telephone Box
- ⊖ Existing Water Meter
- Existing Asphalt Surface
- Existing Concrete Surface
- Existing Aggregate Surface
- Existing Grade Contour (Index)
- Existing Grade Contour (Intermediate)
- 1257.50 Proposed Grade Spot Elevation
- Proposed Standard Duty Asphalt Pavement
- Proposed Heavy Duty Asphalt Pavement
- Proposed Concrete Surface
- Proposed Storm Sewer Pipe
- Proposed Roof Drain Collector
- Proposed Storm Sewer Structure
- Proposed Rock Riprap Outlet Protection
- Remove Existing Asphalt/Concrete
- Proposed Waterline Easement
- Proposed Sanitary Easement
- Proposed Headwall



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Revised: 5/26/2020

CODED NOTES

- 1 Demolish existing drive.
- 2 Demolish existing house ruins.
- 3 Remove wood chip pile.
- 4 Remove existing debris pile.
- 5 Remove existing sediment fencing.
- 6 Existing sanitary sewer line and structure to be removed.
- 7 Existing outlet structure to remain in place during construction. Structure to be removed and replaced when transitioning to final storm water pond.
- 8 Existing 36" Outlet to remain.
- 9 Existing outlet structure to remain during construction. Structure to be removed once site is stabilized.
- 10 Existing 24" HDPE to be removed.
- 11 See Sheet C200 for pipe continuation.
- 12 Existing gabions to be removed during final pond transition.
- 13 Infill existing ditch line.
- 14 Existing Sediment Basins to remain during construction.
- 15 Replace existing driveway apron during Force Main construction.
- 16 Replace portion of existing sidewalk during Force Main construction.



DATE	REVISIONS

DATE ISSUED: April 20, 2020
DRAWN: DJB/RLL CHECKED: CG

NOTES:

Existing Conditions
& Demolition Plan

Co01

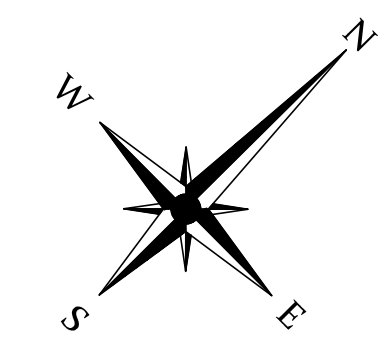
Map No. 2020-235-01 © Chadan Engineering, Inc. 171 West Main Street, St. Clairsville, Ohio 43950

FOR PERMIT PURPOSES

CLIENT:
Woodbury Crossing Limited Partnership
Attn: Conner Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

WOODBURY CROSSING APARTMENTS

Edwards Place Boulevard
Corryton, Knox County, Tennessee



- ### LEGEND
- | | | | |
|--------------|---------------------------------------|---------------|---|
| ○ ● | Property Markers | Ⓢ | Existing Storm Sewer Structures |
| — | Property Boundary Line | — | Existing Sign |
| --- | Property Setback Line | Ⓜ | Existing Telephone Box |
| - - - 92.5 | Existing Grade Contour (Index) | Ⓜ | Existing Water Meter |
| - - - 916.40 | Existing Grade Contour (Intermediate) | [Pattern] | Existing Asphalt Surface |
| - - - | Existing Fresh Water Feature | [Pattern] | Existing Concrete Surface |
| - X - | Existing Fence | - - - 1255 | Proposed Grade Contour (Index) |
| Ⓜ | Existing Mailbox | - - - | Proposed Grade Contour (Intermediate) |
| Ⓢ | Existing Utility Pole | - X - | Proposed Fence |
| ← | Existing Guy | - - - 1257.50 | Proposed Grade Spot Elevation |
| Ⓢ | Existing Gas Utility Feature | [Pattern] | Proposed Standard Duty Asphalt Pavement |
| - E - | Existing Overhead Electric | [Pattern] | Proposed Heavy Duty Asphalt Pavement |
| Ⓜ | Existing Electric Feature | [Pattern] | Proposed Concrete Surface |
| - SS - | Existing Sanitary Sewer | [Pattern] | Proposed Storm Sewer Pipe |
| Ⓢ | Existing Sanitary Manhole | [Pattern] | Proposed Roof Drain Collector |
| Ⓢ | Existing Sanitary Lift Station | [Pattern] | Proposed Storm Sewer Structure |
| - S - | Existing Storm Pipe | [Pattern] | Proposed Rock Riprap Outlet Protection |

- ### PROPOSED EASEMENT LEGEND
- | | |
|-----------|----------------------------------|
| [Pattern] | Proposed Drainage/Sewer Easement |
| [Pattern] | Proposed Waterline Easement |

Detail

Ⓜ Mesh Fence

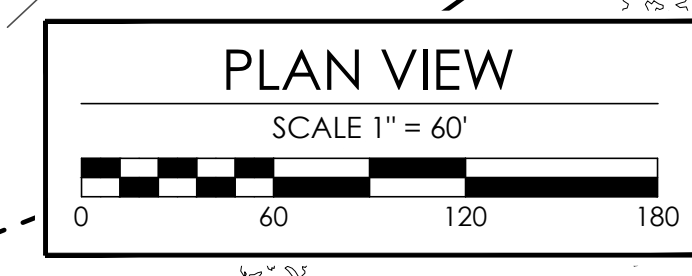
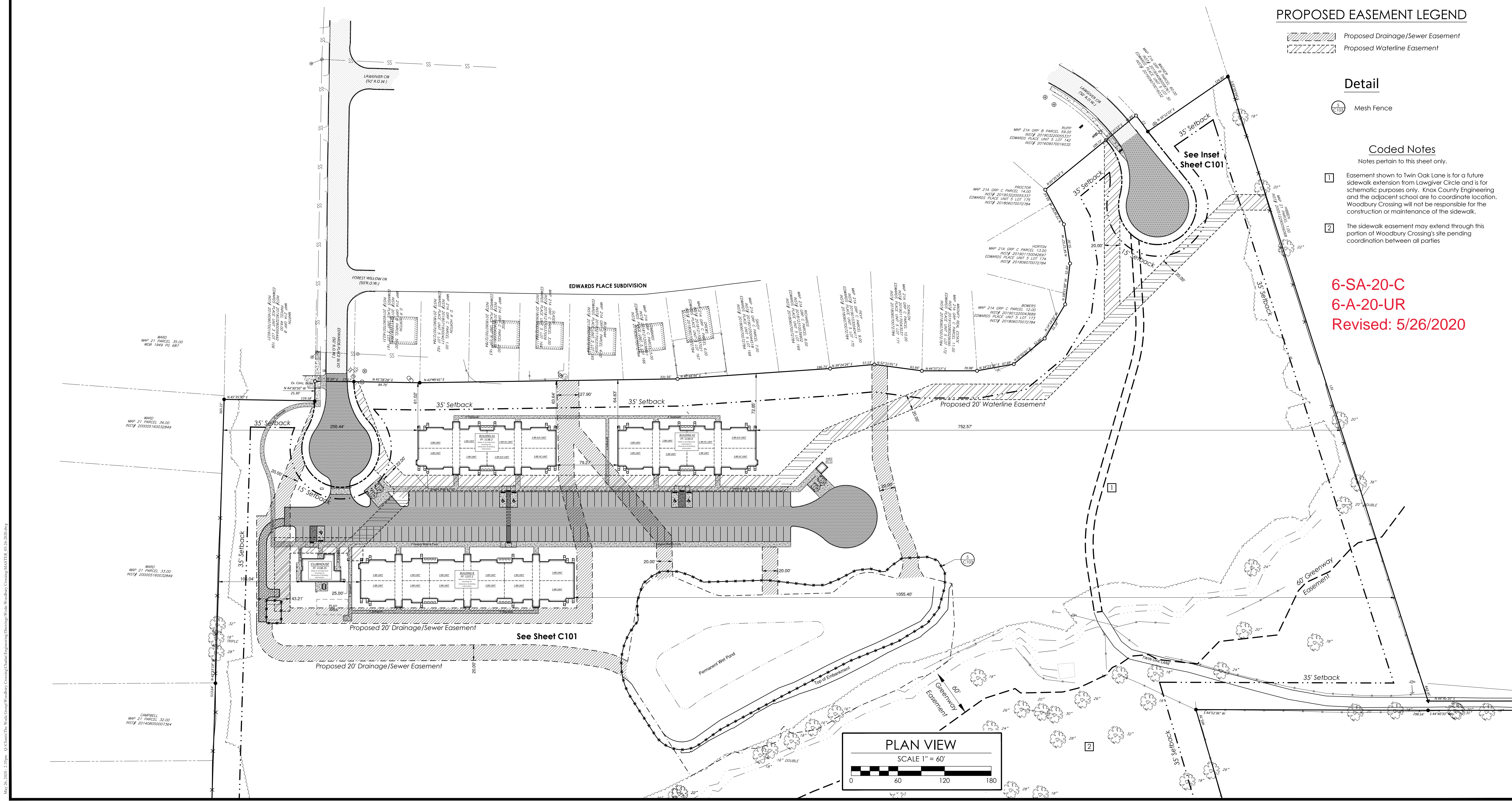
Coded Notes

Notes pertain to this sheet only.

[1] Easement shown to Twin Oak Lane is for a future sidewalk extension from Lawgiver Circle and is for schematic purposes only. Knox County Engineering and the adjacent school are to coordinate location. Woodbury Crossing will not be responsible for the construction or maintenance of the sidewalk.

[2] The sidewalk easement may extend through this portion of Woodbury Crossing's site pending coordination between all parties.

6-SA-20-C
6-A-20-UR
Revised: 5/26/2020



DATE	REVISIONS	ISSUE

DATE ISSUED: April 20, 2020
DRAWN: DJB/RLL CHECKED: CG

NOTES:

Overall Site Plan

C100

Map No. 2020-02-21.tif © Chadan Engineering, Inc. Woodbury Crossing Apartments, Tennessee. CHADAN ENGINEERING, INC. (05/26/2020)

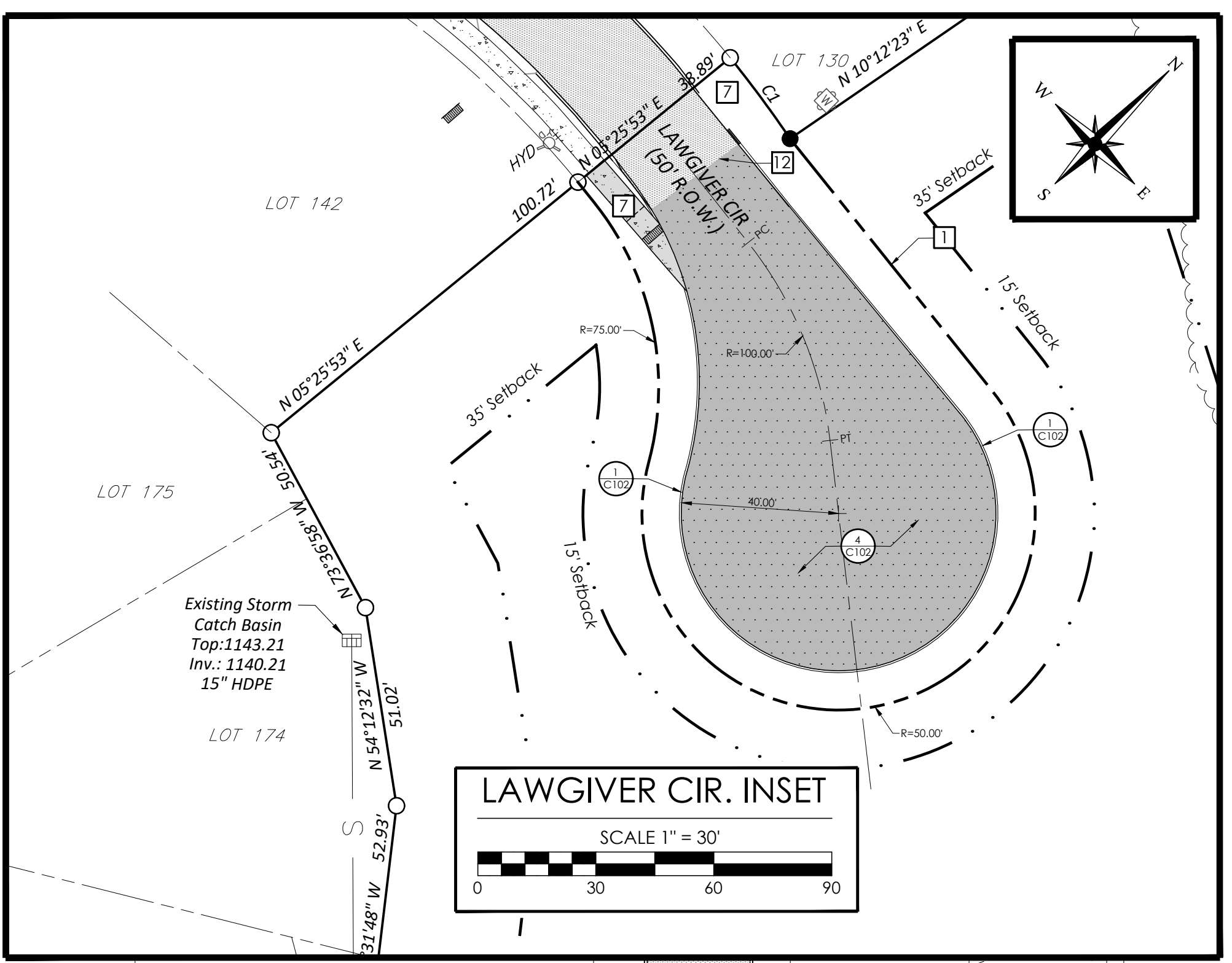
FOR PERMIT PURPOSES

CLIENT:
Woodbury Crossing Limited Partnership
Attn: Conner Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

WOODBURY CROSSING APARTMENTS
Edwards Place Boulevard
Corryton, Knox County, Tennessee

DATE	REVISIONS	ISSUE

DATE ISSUED: April 20, 2020
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NOTES:



Details

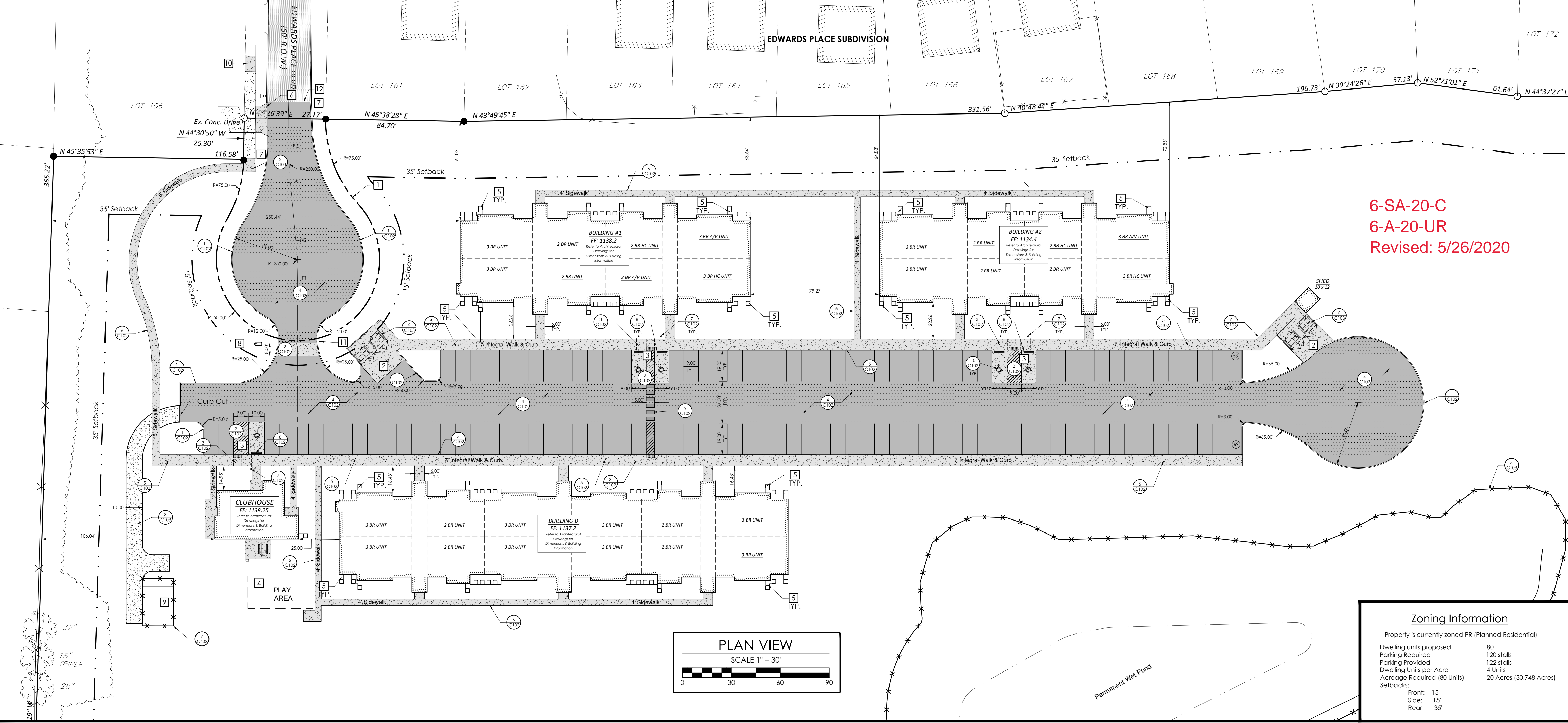
- | | |
|--|--|
| <ul style="list-style-type: none"> 1 Concrete Curb (Typical) 2 Concrete Parking Pad 3 Parallel Handicap Ramp 4 Asphalt Surface 5 Integral Walk & Curb 6 Sidewalk 7 Handicap Parking Signage, Typical 8 Wheel Stop, 1 @ Each HC Stall 9 Crosswalk 10 Handicap Logo, Typical 11 Detectable Warning Surface Detail | <ul style="list-style-type: none"> 12 Expansion Joint Detail 13 Sidewalk 14 Aggregate Pavement Detail 15 Underdrain Seepage Collector 16 Mesh Fence 17 Dumpster Enclosure 18 Chain Link Fence |
|--|--|

Coded Notes

- Notes pertain to this sheet only.
- 1 New dedicated Right-of-Way as required per Knoxville-Knox County Subdivision Regulations as specified in Section 3.04F.
 - 2 Dumpster Enclosure. See Detail 6 Sheet C103.
 - 3 Handicap parking and aisles not to exceed 2% slope in any direction.
 - 4 Proposed Play Area. Refer to Architectural Specifications.
 - 5 HVAC units to be placed on concrete pads per Mechanical Specifications.
 - 6 Existing driveway to be repaired as needed after installing Force Main.
 - 7 New curb to match existing.
 - 8 Project Sign. Refer to Architectural Plans.
 - 9 Lift Station.
 - 10 Sidewalk repair for Force Main.
 - 11 Stop sign, per Tennessee Department of Transportation Specifications.
 - 12 Existing asphalt to be saw cut.

LEGEND

- | | |
|--|--|
| <ul style="list-style-type: none"> • Property Markers — Property Boundary Line --- Existing Grade Contour (Index) - - - Existing Grade Contour (Intermediate) 916.40 Existing Grade Spot Elevation — Existing Fresh Water Feature - X - Existing Fence Existing Mailbox Existing Utility Pole Existing Guy Existing Gas Utility Feature Existing Overhead Electric Existing Electric Feature Existing Sanitary Sewer Existing Sanitary Manhole Existing Sanitary Lift Station Existing Storm Pipe | <ul style="list-style-type: none"> Existing Storm Sewer Structures Existing Sign Existing Telephone Box Existing Water Meter Existing Asphalt Surface Existing Concrete Surface Existing Aggregate Surface 1255 Proposed Grade Contour (Index) Proposed Grade Contour (Intermediate) Proposed Fence 1257.50 Proposed Grade Spot Elevation Proposed Standard Duty Asphalt Pavement Proposed Heavy Duty Asphalt Pavement Proposed Concrete Surface Proposed Storm Sewer Pipe Proposed Roof Drain Collector Proposed Storm Sewer Structure Proposed Rock Riprap Outlet Protection |
|--|--|



6-SA-20-C
6-A-20-UR
Revised: 5/26/2020

Zoning Information

Property is currently zoned PR (Planned Residential)

Dwelling units proposed	80
Parking Required	120 stalls
Parking Provided	122 stalls
Dwelling Units per Acre	4 Units
Acres Required (80 Units)	20 Acres (30.748 Acres)

Setbacks:

Front:	15'
Side:	15'
Rear:	35'

Map 26, 2020-2-23.dwg © Chadan Engineering, Inc. Woodbury Crossing Master Plan, 05/26/2020

FOR PERMIT PURPOSES

CLIENT:
Woodbury Crossing Limited Partnership
Attn: Conner Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
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WOODBURY CROSSING APARTMENTS

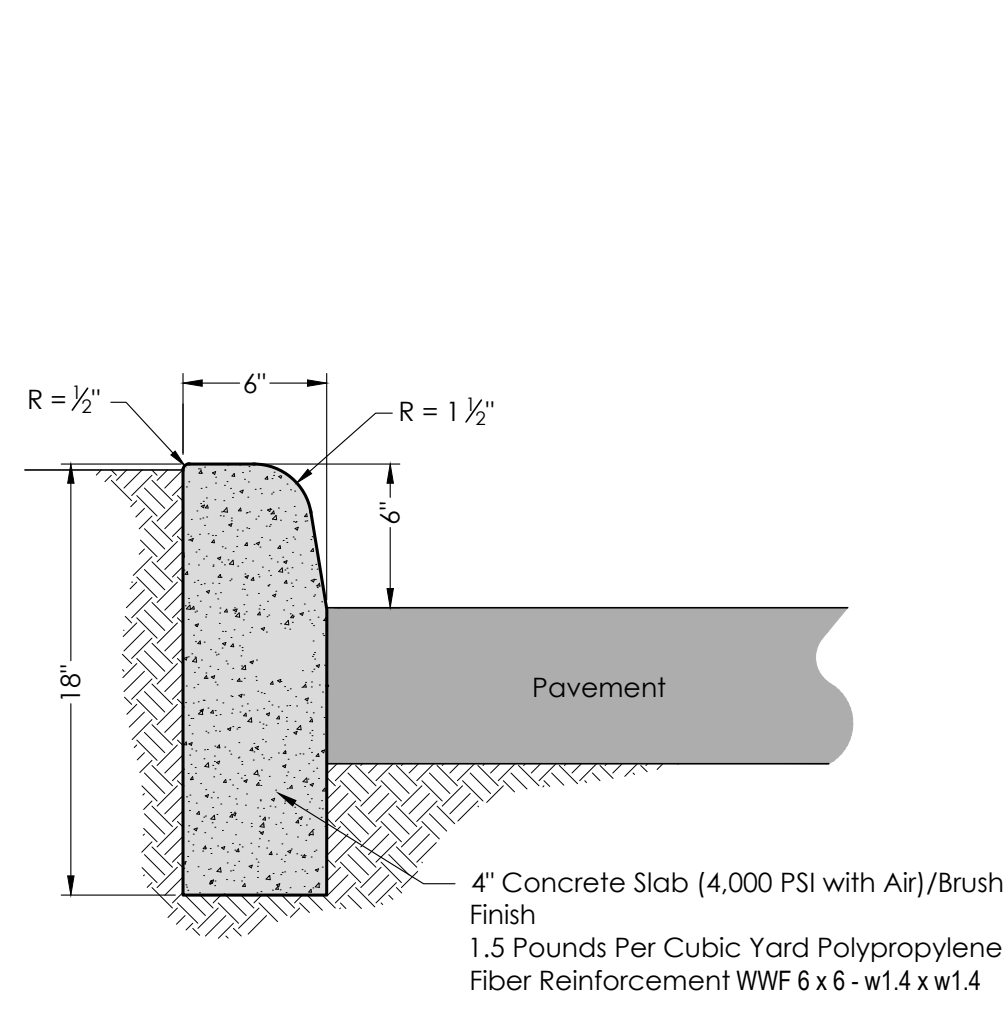
Edwards Place Boulevard
Corryton, Knox County, Tennessee

DATE	
REVISIONS	
ISSUE	

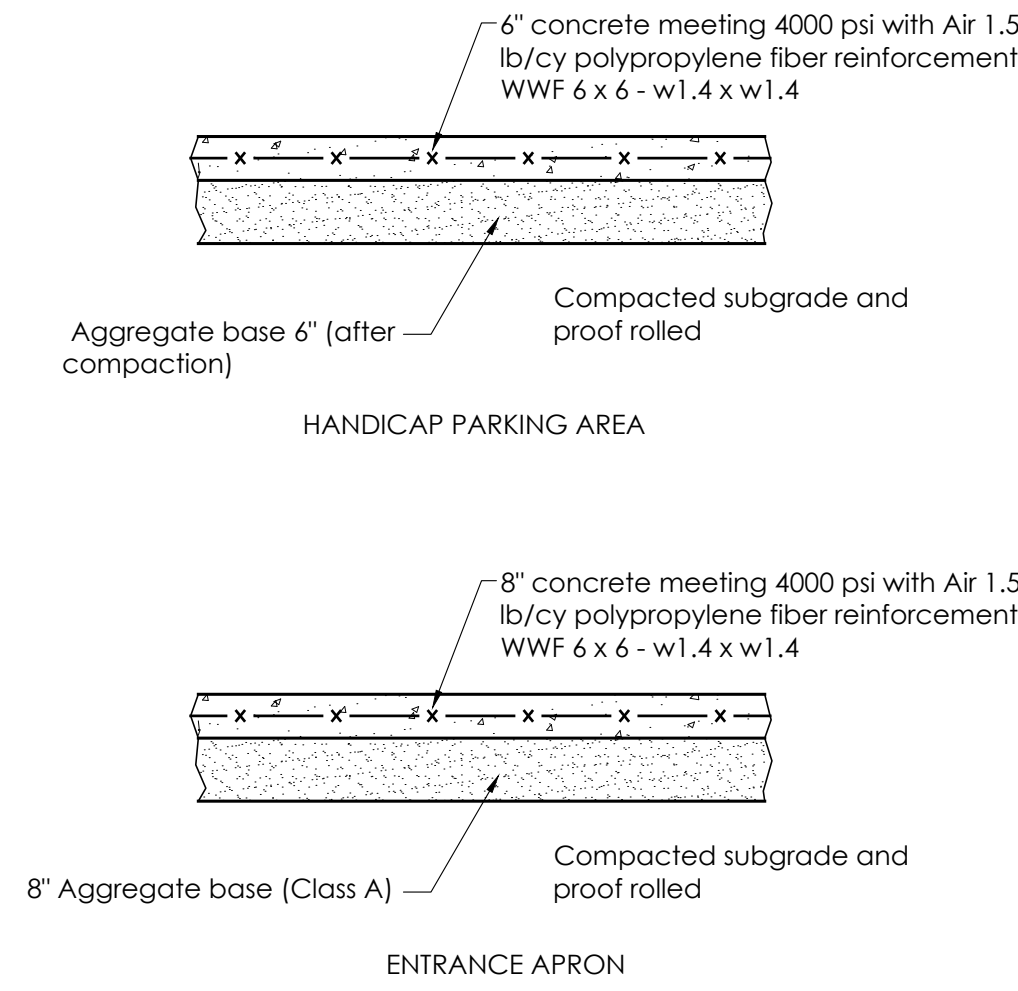
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NOTES:

Site Details

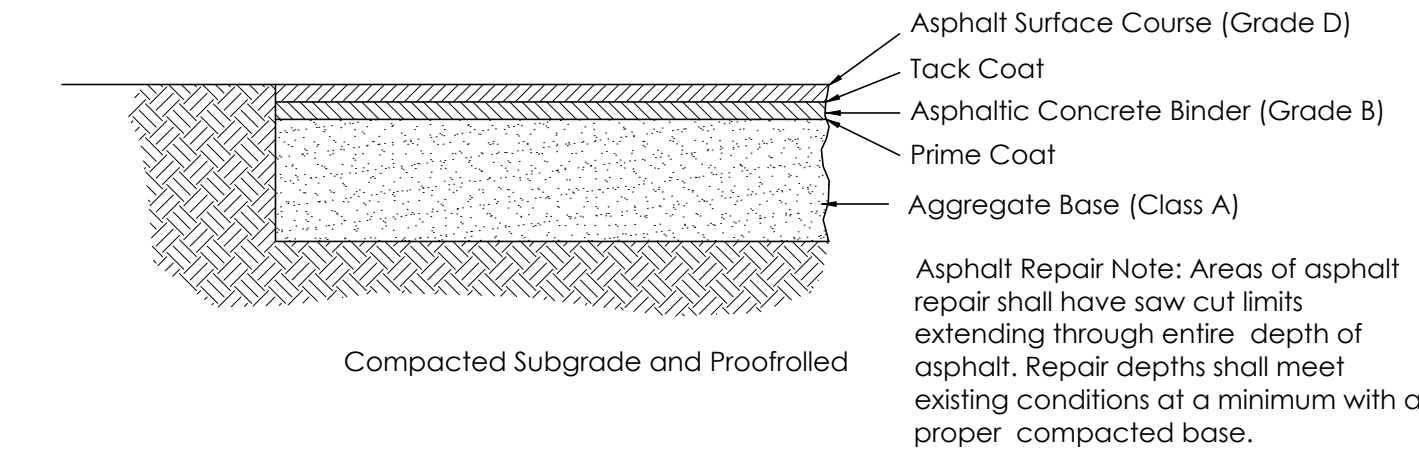
C102



1 CONCRETE CURB
NOT TO SCALE

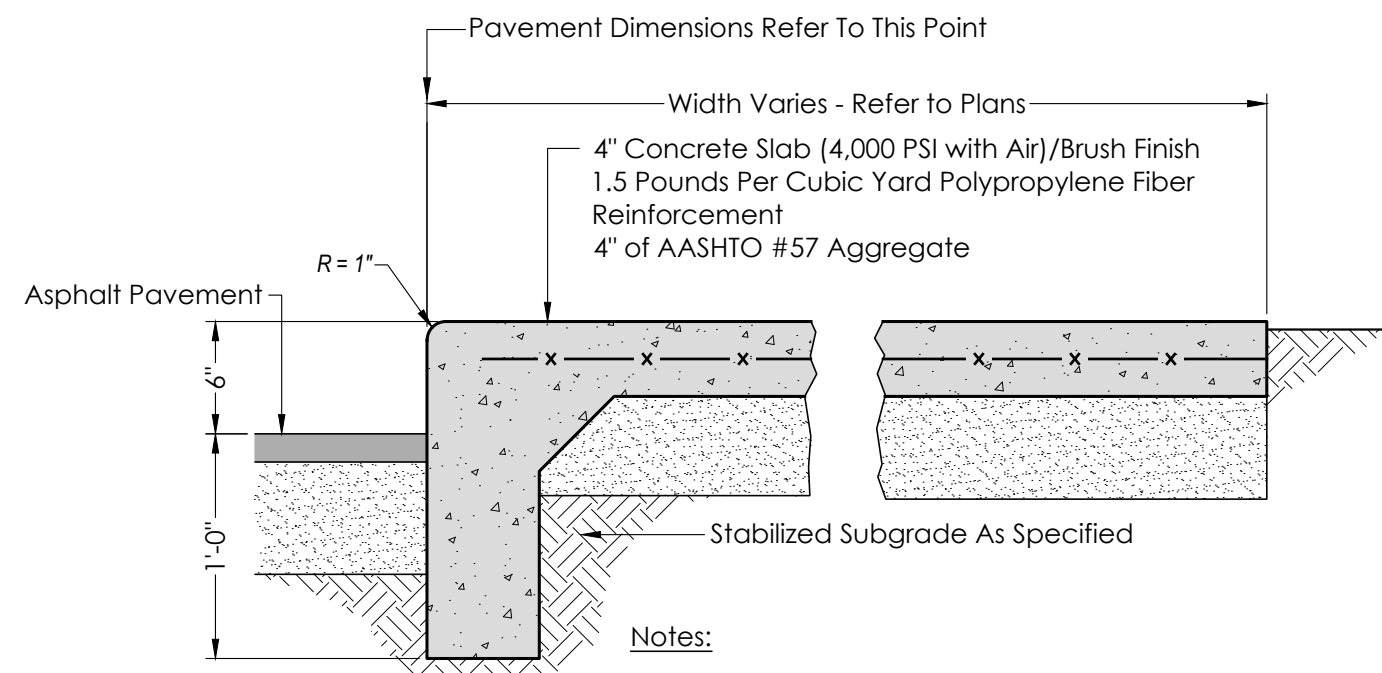


3 PARALLEL HANDICAP RAMP
NOT TO SCALE

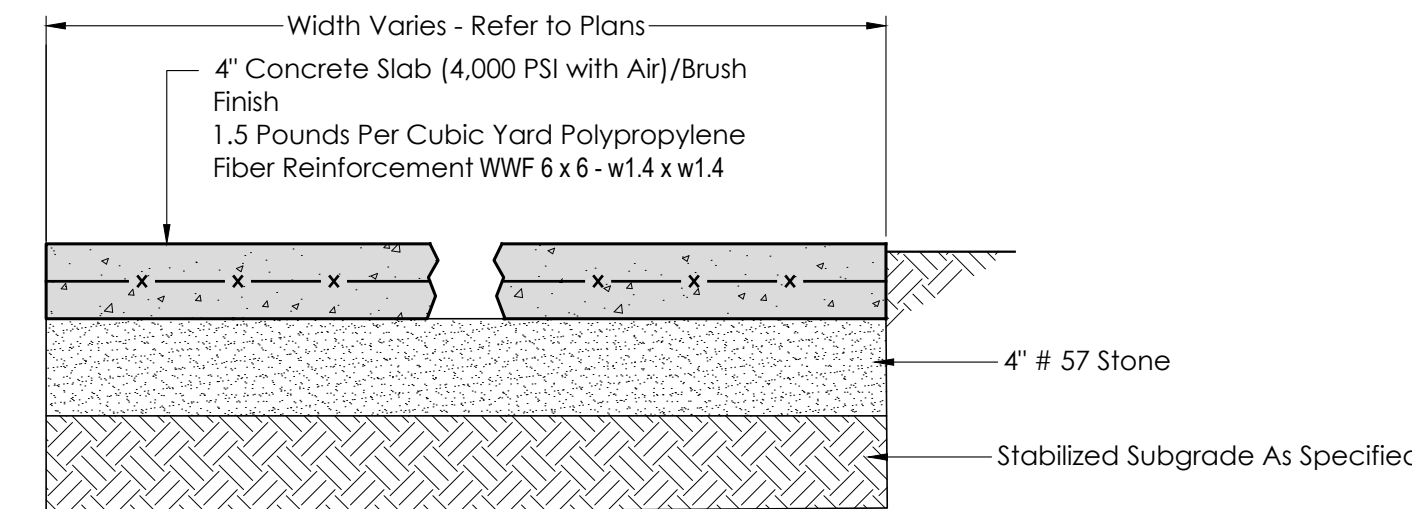


	Light Duty	Heavy Duty
Asphalt Surface Course	1-1/2"	1-1/2"
Asphaltic Concrete Binder	2-1/2"	2-1/2"
Aggregate Base	6"	10"

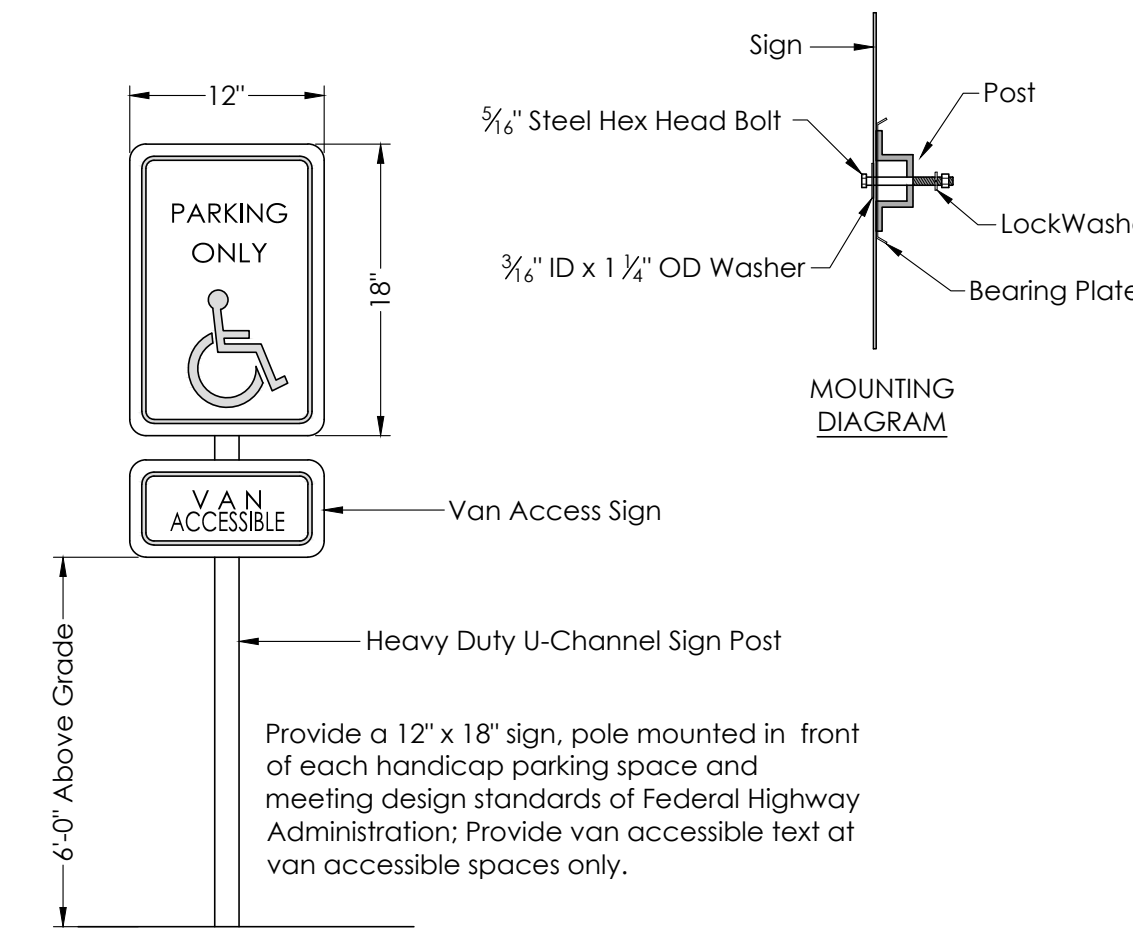
4 ASPHALT SURFACE
NOT TO SCALE



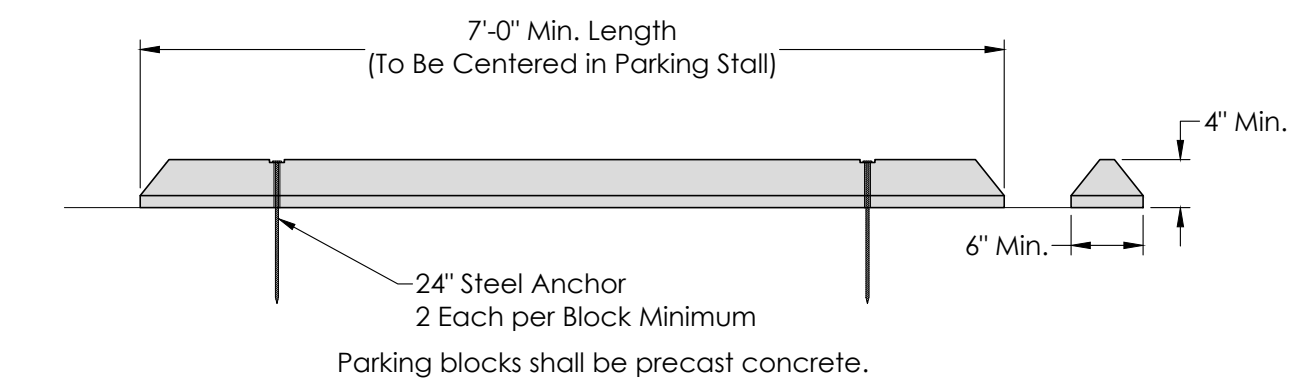
5 INTEGRAL WALK & CURB
NOT TO SCALE



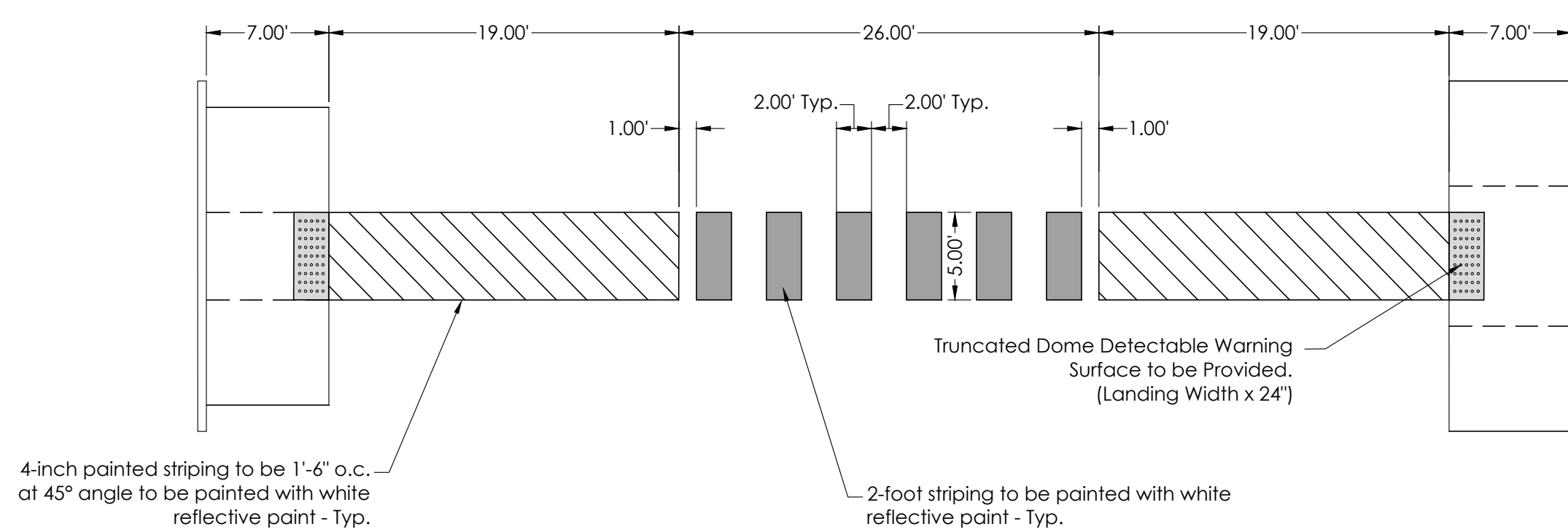
6 SIDEWALK
NOT TO SCALE



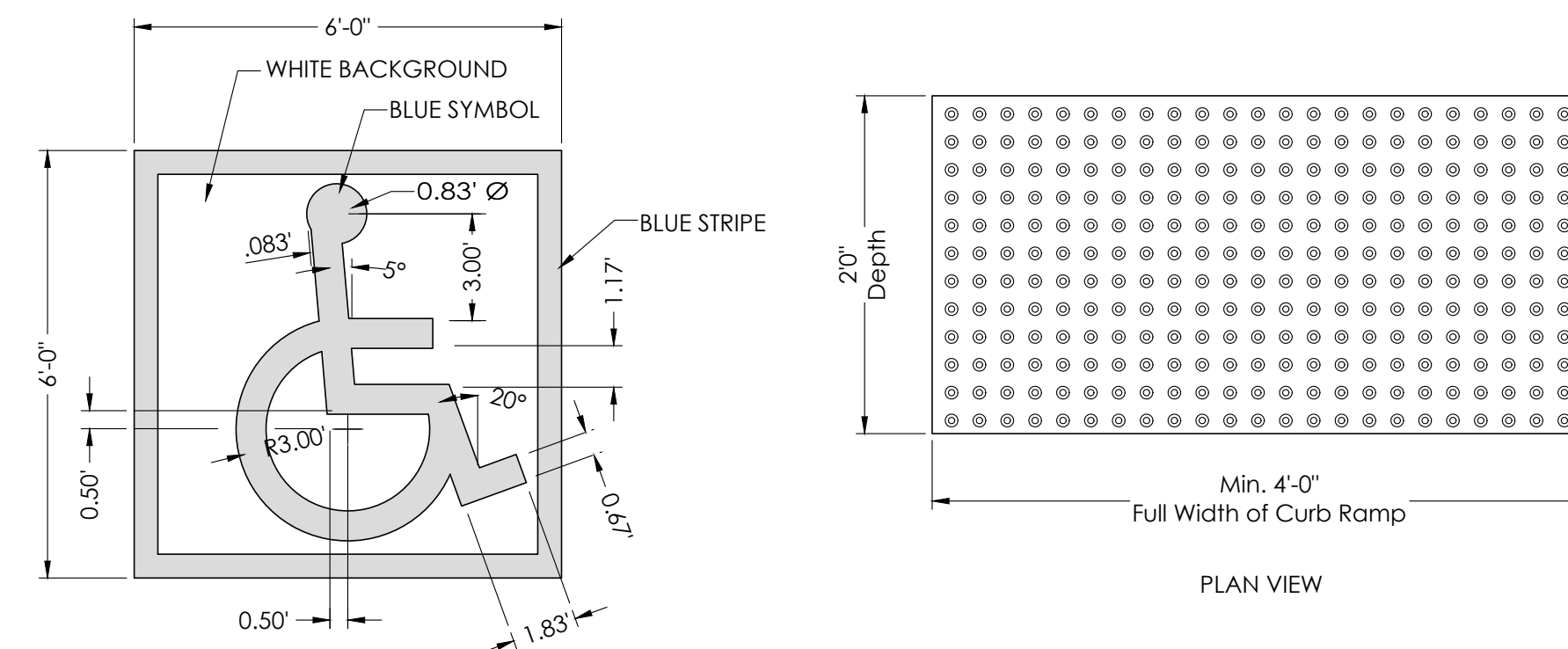
7 HANDICAP PARKING SIGN
NOT TO SCALE



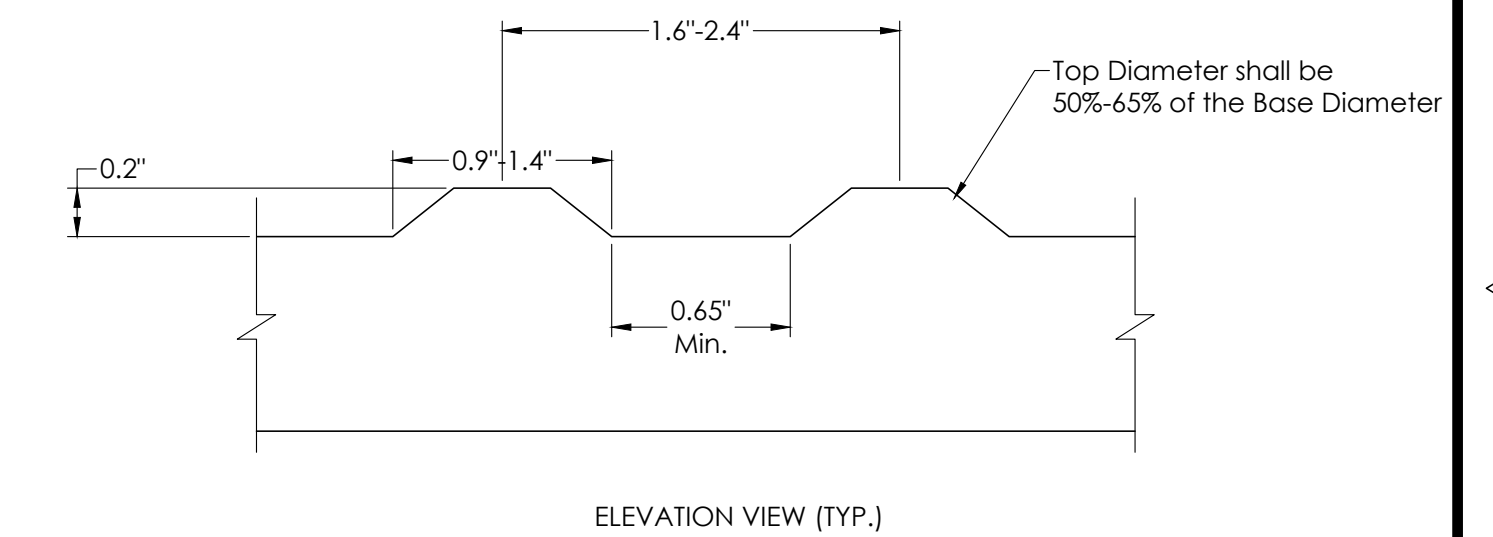
8 WHEEL STOP
NOT TO SCALE



9 CROSSWALK
NOT TO SCALE



10 HANDI-CAP LOGO
NOT TO SCALE



11 DETECTABLE WARNING SURFACE DETAIL
NOT TO SCALE

FOR PERMIT PURPOSES

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500 S. Front Street, 10th Floor
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WOODBURY CROSSING APARTMENTS

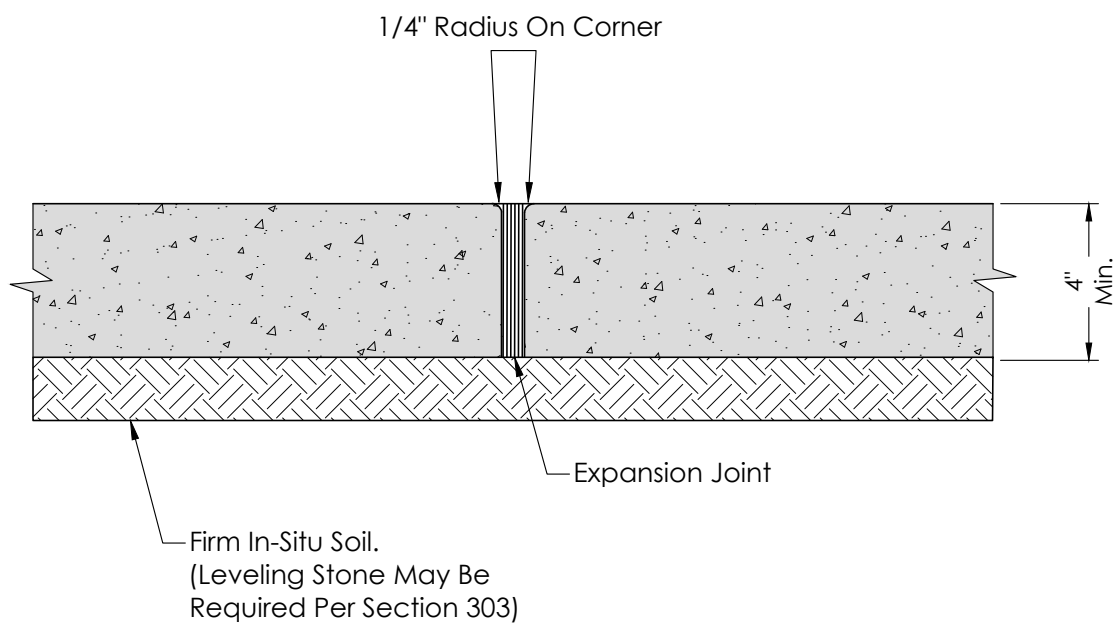
Edwards Place Boulevard
Corryton, Knox County, Tennessee

DATE

DATE ISSUED: April 20, 2020
DRAWN: DJB/RLL CHECKED: CG
NOTES:

Site Details

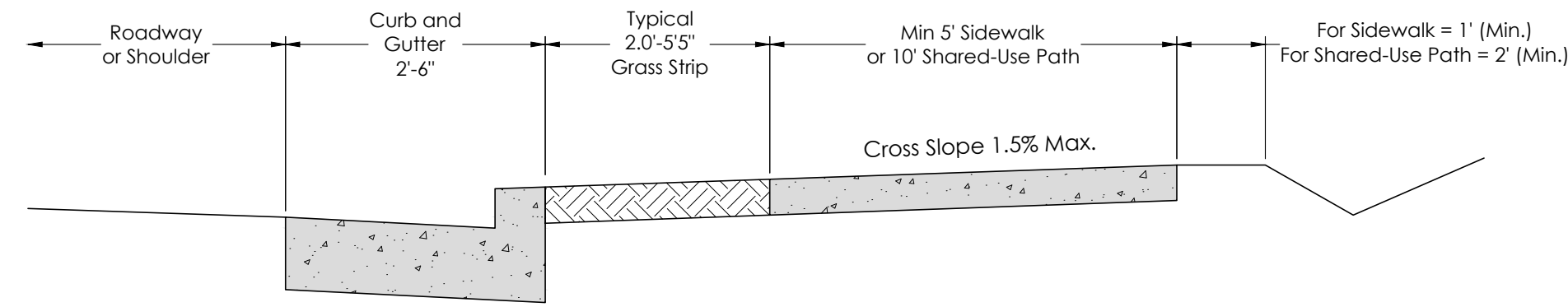
C103



Notes:
Expansion joints are to be placed 25 to 30 feet apart depending on transverse joint markings and need to match curb expansion joint where sidewalk is built directly against curb, or as directed by the Engineer where the proposed sidewalk is in contact with the street returns, on building lines produced at street intersections, where walks lead to house or other entrances and any other locations where stresses may develop. The cost of all expansion joints is to be included in the unit price bid for the proposed sidewalk.
When leaving a square opening in the sidewalk, the length of the side of the square opening should be equal to the diameter of the fixed object plus 16 inches. It will be bordered by half inch expansion joint.

When new sidewalk is placed adjacent to existing sidewalk the Contractor shall correct all abrupt changes and slopes to provide a smooth transition from the limit of construction to existing pedestrian facility.
See Tennessee Department of Transportation Drawing MM-SW-1.

1 EXPANSION JOINT DETAIL
NOT TO SCALE



Notes:
Always place sidewalk as far away from the travelled way when possible. For specifications see "Standard Specifications for Road and Bridge Construction" of The Tennessee Department of Transportation.

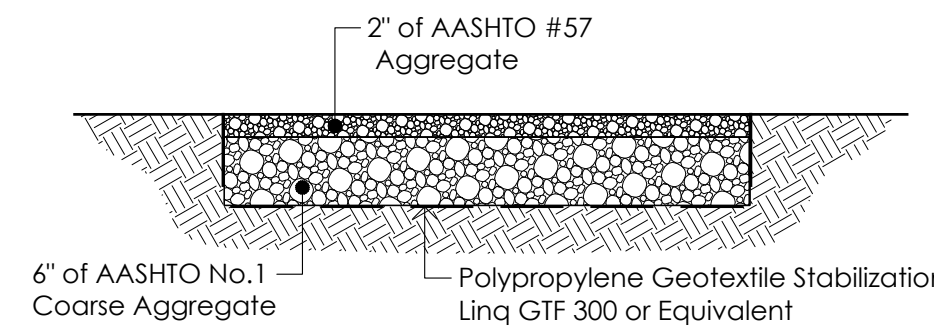
Where it becomes necessary to remove parts of existing concrete sidewalks or ramps, the resulting edges shall be cut to a neat line, and any offsets in such lines shall be made at right angles. Sidewalk width do not include the six inch curb width of proposed top of curb.

Maximum sidewalk cross slope is 1.5%. All sidewalks shall have a broom finish and shall be 4" thick unless the plans call for 6" thickness. The concrete shall be Class "A" at 3000 PSI. All cost to be included in item No. 701-01.01, Concrete Sidewalk (4"), S.F. OR 701-01.02, Concrete Sidewalk (6"), S.F. Concrete joint material to be flush with the sidewalk surface, one inch preformed filler in accordance with Section 702.06 of the Standard Specifications.

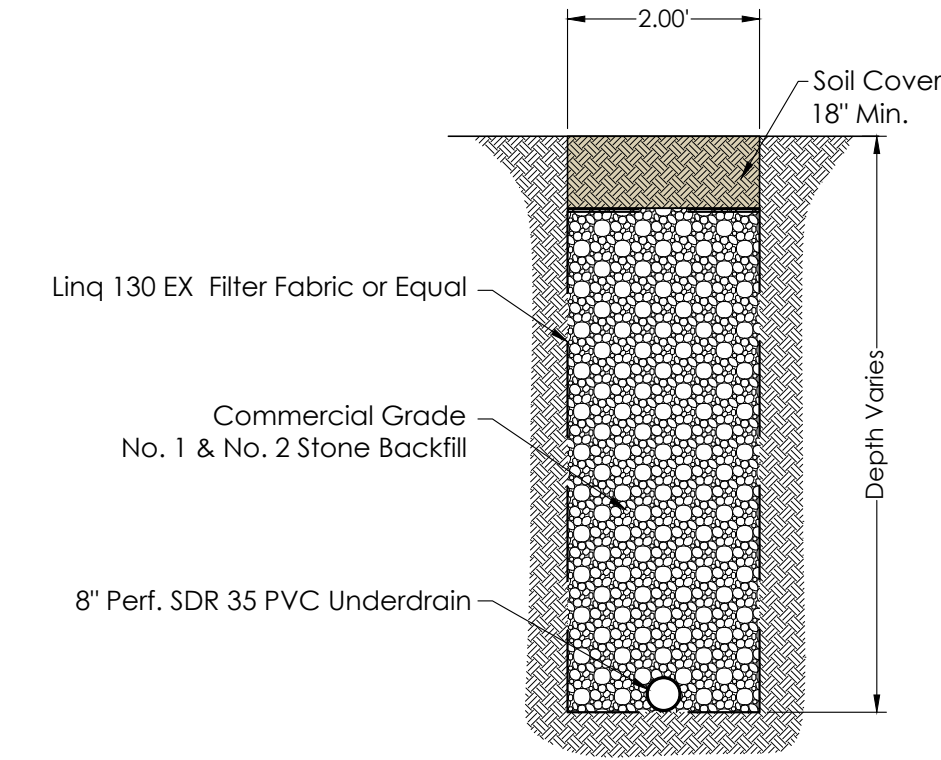
Longitudinal joint markings will not be required on sidewalks that are 5 feet or less in width.
One longitudinal joint marking will be required on sidewalks over 5 feet but less than 9 feet in width.
Two longitudinal joint markings will be required on sidewalks over 9 feet but less than 12 feet in width.
Transverse joint markings are to be made to form blocks as nearly to square as practical.

See Tennessee Department of Transportation Drawing MM-SW-1.
THIS DETAIL ONLY APPLIES TO SIDEWALK WITHIN THE RIGHT-OF-WAY.

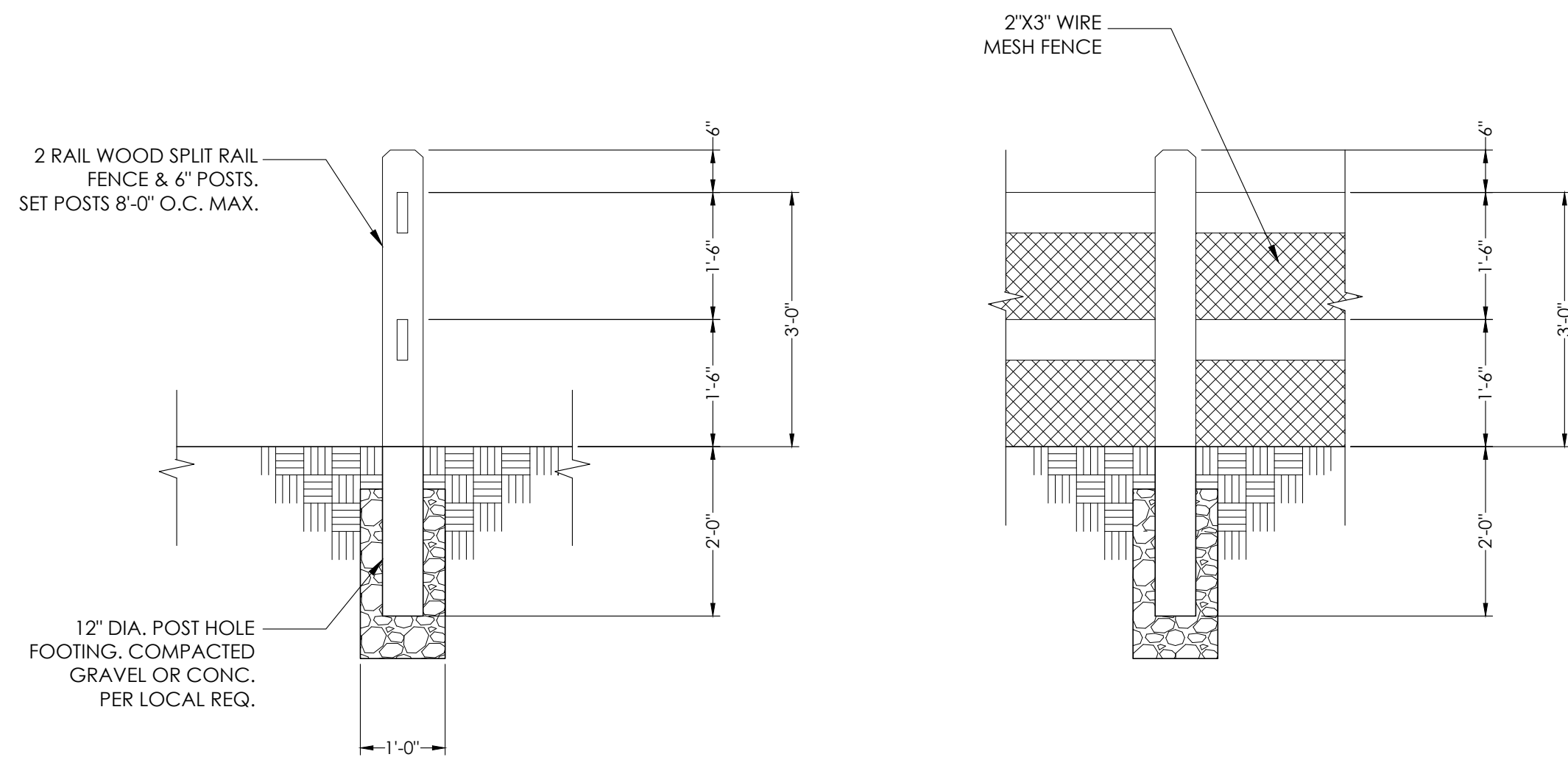
2 SIDEWALK
NOT TO SCALE



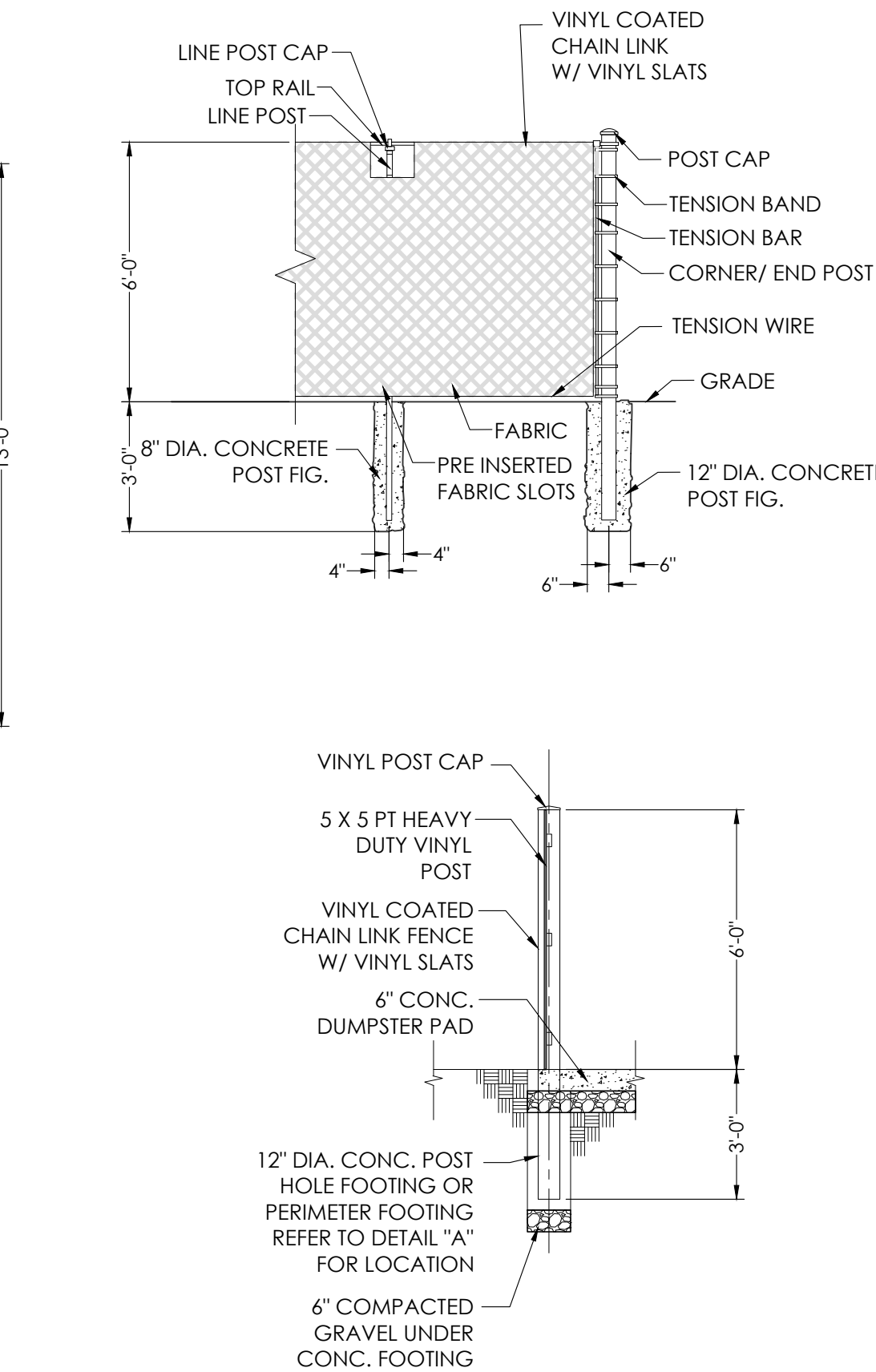
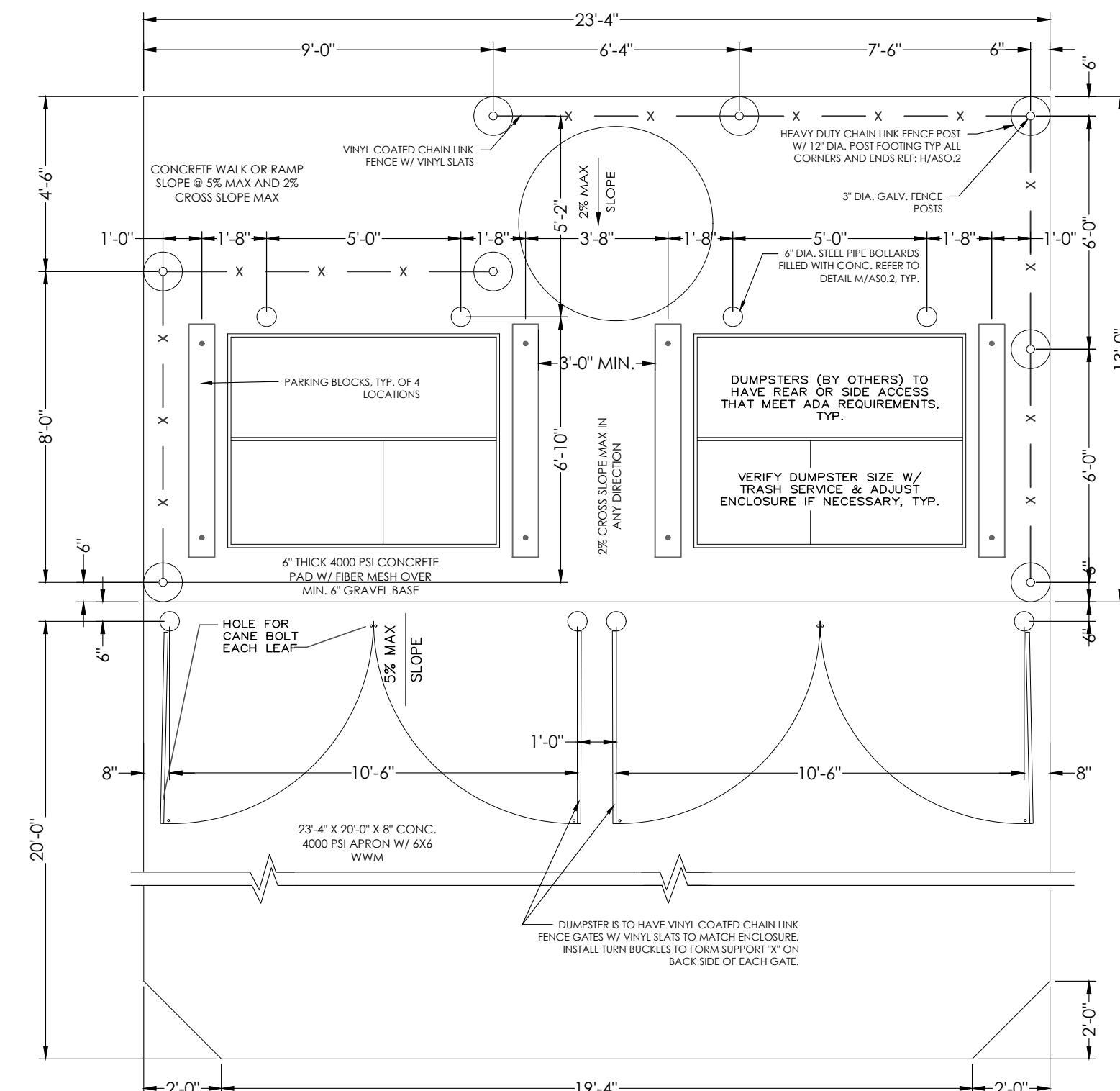
3 AGGREGATE PAVEMENT DETAIL
NOT TO SCALE



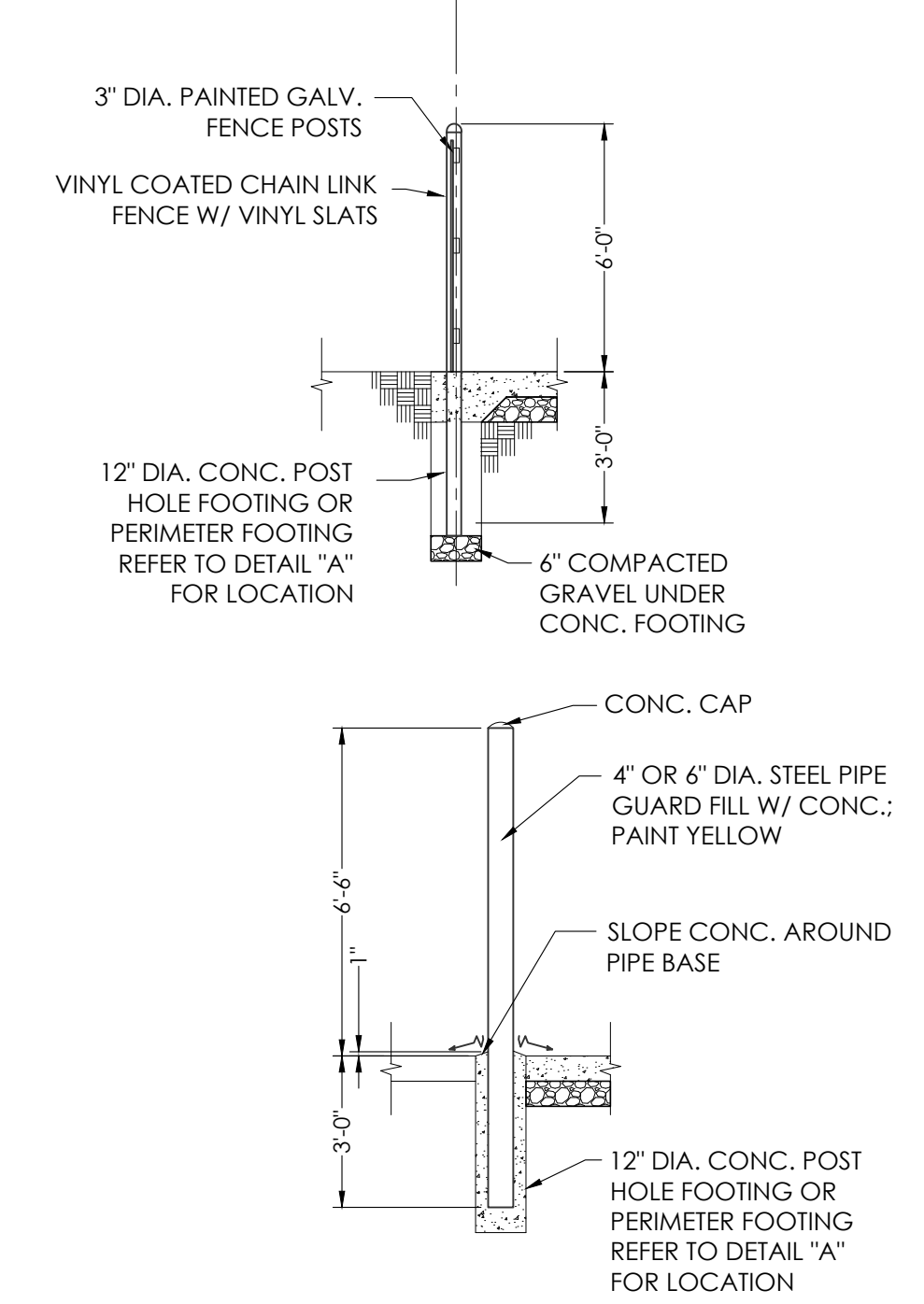
4 UNDERDRAIN SEEPAGE COLLECTOR
NOT TO SCALE



5 MESH FENCE
NOT TO SCALE



6 DUMPSTER ENCLOSURE
NOT TO SCALE



6-SA-20-C
6-A-20-UR
Revised: 5/26/2020

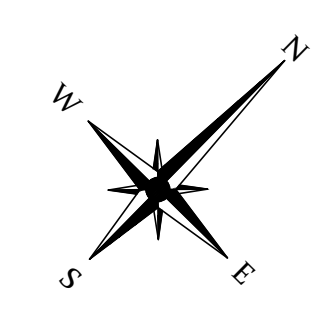
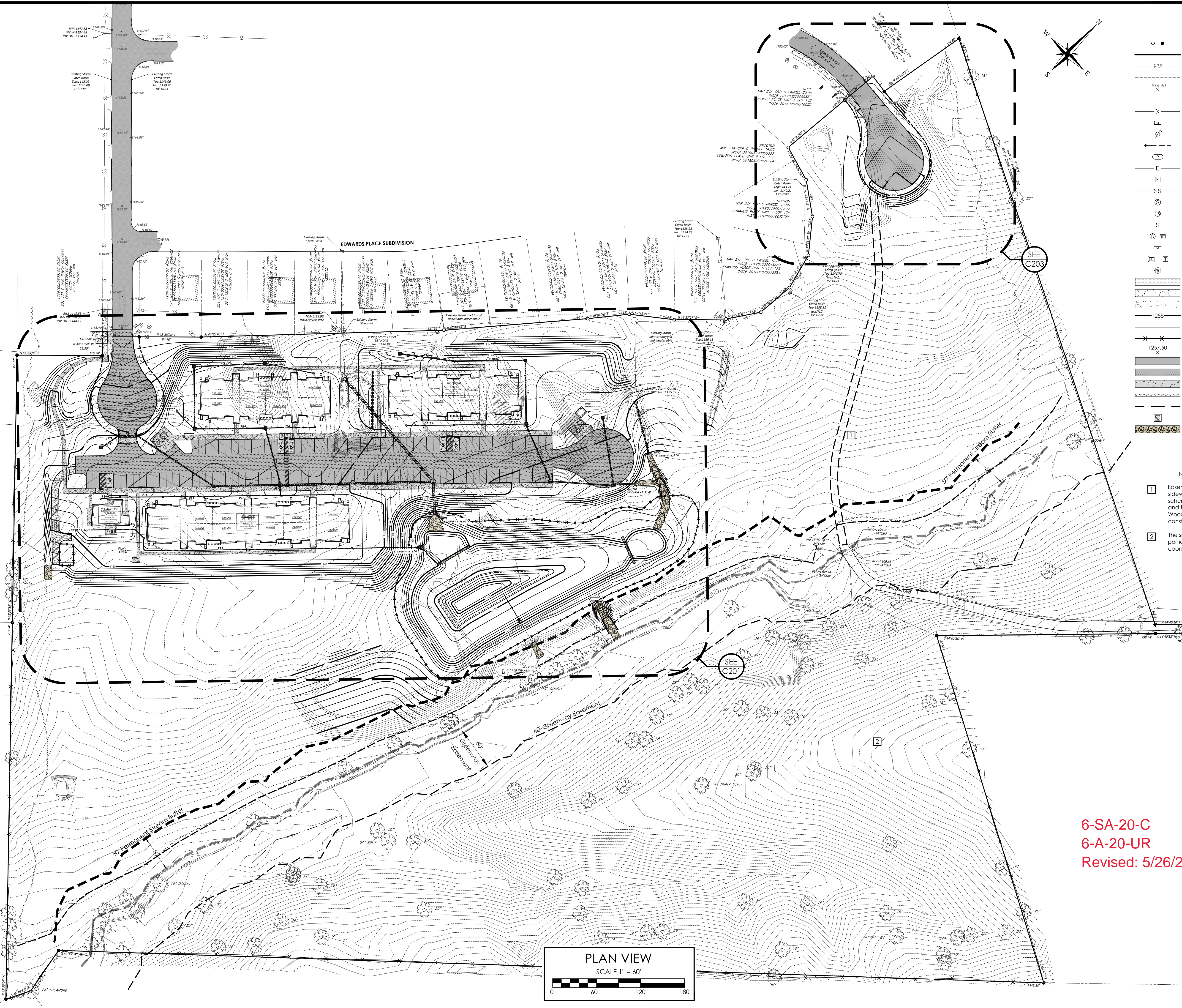
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FOR PERMIT PURPOSES

CLIENT:
Woodbury Crossing Limited Partnership
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500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

WOODBURY CROSSING APARTMENTS

Edwards Place Boulevard
Corryton, Knox County, Tennessee

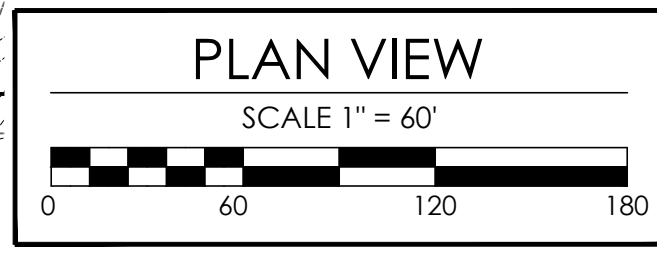


LEGEND

- • Property Markers
- Property Boundary Line
- - - 925 - - - Existing Grade Contour (Index)
- 916.40 Existing Grade Spot Elevation
- Existing Fresh Water Feature
- X Existing Fence
- ☒ Existing Mailbox
- ⊕ Existing Utility Pole
- ← Existing Guy
- ⊖ Existing Gas Utility Feature
- E Existing Overhead Electric
- ⊞ Existing Electric Feature
- SS Existing Sanitary Sewer
- ⊙ Existing Sanitary Manhole
- ⊕ Existing Sanitary Lift Station
- S Existing Storm Sewer Pipe
- ⊕ Existing Storm Sewer Structures
- Existing Sign
- ⊞ Existing Telephone Box
- ⊕ Existing Water Meter
- Existing Asphalt Surface
- Existing Concrete Surface
- Existing Aggregate Surface
- - - 1255 - - - Proposed Grade Contour (Index)
- - - Proposed Grade Contour (Intermediate)
- X X Proposed Fence
- 1257.50 Proposed Grade Spot Elevation
- Proposed Standard Duty Asphalt Pavement
- Proposed Heavy Duty Asphalt Pavement
- Proposed Concrete Surface
- Proposed Storm Sewer Pipe
- Proposed Roof Drain Collector
- Proposed Storm Sewer Structure
- Proposed Rock Riprap Outlet Protection

Coded Notes
Notes pertain to this sheet only.

- ① Easement shown in Twin Oak Lane is for a future sidewalk extension from Lawgiver Circle and is for schematic purposes only. Knox County Engineering and the adjacent school are to coordinate location. Woodbury Crossing will not be responsible for the construction or maintenance of the sidewalk.
- ② The sidewalk easement may extend through this portion of Woodbury Crossing's site pending coordination between all parties.



6-SA-20-C
6-A-20-UR
Revised: 5/26/2020

DATE	ISSUE	REVISIONS

DATE ISSUED: April 20, 2020
DRAWN: DJB/RLI CHECKED: CG
NOTES:

Overall Grading Plan

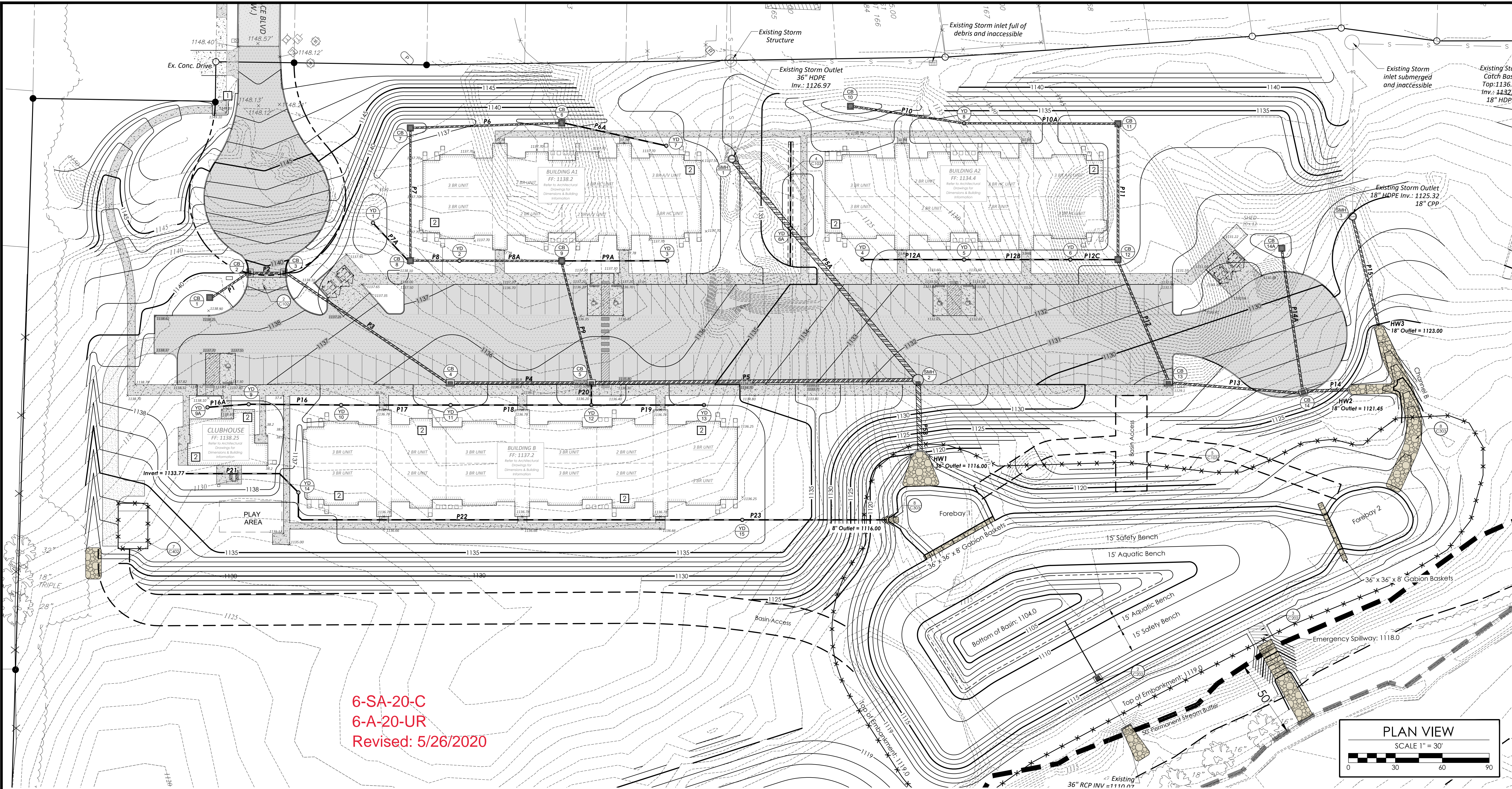
C200

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Columbus, OH 43215
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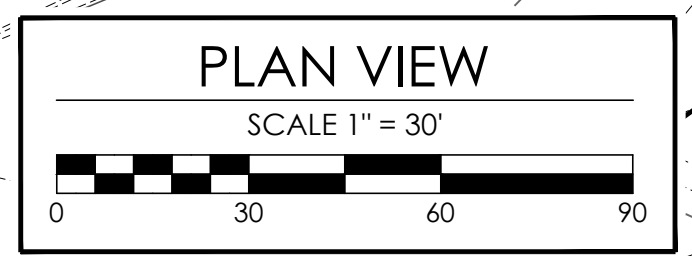
WOODBURY CROSSING APARTMENTS

Edwards Place Boulevard
Corryton, Knox County, Tennessee



6-SA-20-C
6-A-20-UR
Revised: 5/26/2020

Proposed Storm Sewer System Information
Sedimentation inlet controls shall be installed and maintained at all storm inlets.
All proposed storm sewer pipe shall be **DOUBLE WALL HIGH DENSITY POLYETHYLENE (HDPE) PIPE**.



Storm Sewer Pipe Chart

Pipe	Size (In.)	Length (Ft.)	Slope (%)	Pipe	Size (In.)	Length (Ft.)	Slope (%)
P1	12	28.00	1.96	P12	15	82.31	2.07
P2	15	18.67	2.14	P12A	8	65.00	1.51
P3	15	124.22	3.66	P12B	8	68.00	1.51
P4	18	86.00	1.16	P12C	8	29.00	1.51
P5	24	203.78	3.82	P13	18	82.53	3.27
P5A	36	179.62	0.45	P14	18	26.71	1.68
P5B	36	42.83	12.19	P14A	15	90.00	5.39
P6	12	94.00	0.53	P15	18	68.63	2.91
P6A	8	67.00	2.61	P16	8	56.75	0.88
P7	12	82.00	0.61	P16A	8	24.00	2.07
P7A	8	33.00	2.27	P17	8	67.70	0.74
P8	12	30.00	0.53	P18	8	87.72	1.65
P8A	12	64.00	0.53	P19	8	72.00	2.08
P9	12	77.31	0.52	P20	8	11.92	2.10
P9A	8	66.00	2.27	P21	8	77.00	1.00
P10	15	72.00	0.44	P22	8	300.00	0.90
P10A	15	97.00	0.44	P23	8	38.00	1.90
P11	12	84.00	1.13				

<p>Catch Basin - CB-1</p> <p>Top Casting 1138.50 Inlet 12" (NW) 1135.50 Inlet 12" (SE) 1135.50 TDOT No. 42 Square 32" x 32" Precast Conc. w/EICD V-5732 Frame & Grate 7652M Grate, Hood</p>	<p>Catch Basin - CB-2</p> <p>Top Casting 1139.50 Inlet 12" (S) 1134.95 Inlet 15" (NE) 1134.95 TDOT Standard No. 12 Rectangular Precast Conc. w/EICD V-4140 Frame, 7652M Grate, Hood</p>	<p>Catch Basin - CB-3</p> <p>Top Casting 1135.00 Inlet 15" (SW) 1134.55 Inlet 15" (E) 1134.55 TDOT Standard No. 12 Rectangular Precast Conc. w/EICD V-4140 Frame, 7652M Grate, Hood</p>	<p>Catch Basin - CB-4</p> <p>Top Casting 1135.00 Inlet 12" (NW) 1129.00 Inlet 18" (SW) 1129.00 Inlet 8" (SE) 1131.00 Inlet 24" (NE) 1129.00 TDOT Standard No. 12 Rectangular Precast Conc. w/EICD V-4140 Frame, 7652M Grate, Hood</p>	<p>Catch Basin - CB-5</p> <p>Top Casting 1135.00 Inlet 12" (NW) 1129.00 Inlet 15" (SW) 1124.60 Inlet 15" (NE) 1126.30 Inlet 8" (SE) 1131.00 Inlet 24" (NE) 1129.00 TDOT Standard No. 12 Rectangular Precast Conc. w/EICD V-4140 Frame, 7652M Grate, Hood</p>	<p>Catch Basin - CB-6</p> <p>Top Casting 1135.00 Inlet 8" (E) 1132.50 Inlet 12" (SW) 1132.50 Inlet 12" (SE) 1132.00 TDOT No. 42 Square 32" x 32" Precast Conc. w/EICD V-5732 Frame & Grate 7652M Grate, Hood</p>	<p>Catch Basin - CB-7</p> <p>Top Casting 1135.75 Inlet 12" (NE) 1132.00 Inlet 12" (SE) 1132.00 TDOT No. 42 Square 32" x 32" Precast Conc. w/EICD V-5732 Frame & Grate 7652M Grate, Hood</p>	<p>Catch Basin - CB-8</p> <p>Top Casting 1137.20 Inlet 12" (NW) 1131.50 Inlet 8" (W) 1132.50 Inlet 12" (NE) 1131.50 TDOT No. 42 Square 32" x 32" Precast Conc. w/EICD V-5732 Frame & Grate 7652M Grate, Hood</p>	<p>Catch Basin - CB-9</p> <p>Top Casting 1137.00 Inlet 12" (E) 1137.00 Inlet 12" (NE) 1132.50 Inlet 12" (SE) 1129.40 TDOT No. 42 Square 32" x 32" Precast Conc. w/EICD V-5732 Frame & Grate 7652M Grate, Hood</p>	<p>Catch Basin - CB-10</p> <p>Top Casting 1131.25 Inlet 12" (E) 1131.25 Inlet 15" (NE) 1134.55 Inlet 12" (NE) 1131.25 TDOT No. 42 Square 32" x 32" Precast Conc. w/EICD V-5732 Frame & Grate 7652M Grate, Hood</p>	<p>Catch Basin - CB-11</p> <p>Top Casting 1133.75 Inlet 15" (SW) 1126.30 Inlet 15" (NE) 1126.30 Inlet 15" (SE) 1126.30 TDOT Standard No. 12 Rectangular Precast Conc. w/EICD V-4140 Frame, 7652M Grate, Hood</p>	<p>Catch Basin - CB-12</p> <p>Top Casting 1133.30 Inlet 15" (SW) 1126.30 Inlet 15" (NE) 1126.30 Inlet 15" (SE) 1126.30 TDOT Standard No. 12 Rectangular Precast Conc. w/EICD V-4140 Frame, 7652M Grate, Hood</p>	<p>Catch Basin - CB-13</p> <p>Top Casting 1128.60 Inlet 15" (SW) 1124.60 Inlet 15" (NE) 1124.60 Inlet 15" (SE) 1126.30 TDOT Standard No. 12 Rectangular Precast Conc. w/EICD V-4140 Frame, 7652M Grate, Hood</p>	<p>Catch Basin - CB-14</p> <p>Top Casting 1126.90 Inlet 12" (NW) 1122.90 Inlet 15" (SW) 1121.90 Inlet 18" (NE) 1121.90 TDOT Standard No. 12 Rectangular Precast Conc. w/EICD V-4140 Frame, 7652M Grate, Hood</p>	<p>Yard Drain - YD-1</p> <p>Top Casting 1134.25 Outlet 8" (E) 1133.25 ADS Nyloplast 24" In-line Drain w/Cast Iron Grate</p>	<p>Yard Drain - YD-2</p> <p>Top Casting 1137.00 Invert 5" 1131.35 ADS Nyloplast 24" In-line Drain w/Cast Iron Grate</p>	<p>Yard Drain - YD-3</p> <p>Top Casting 1137.00 Outlet 8" (SW) 1134.00 ADS Nyloplast 24" In-line Drain w/Cast Iron Grate</p>	<p>Yard Drain - YD-4</p> <p>Top Casting 1133.25 Outlet 8" (NE) 1130.75 ADS Nyloplast 24" In-line Drain w/Cast Iron Grate</p>	<p>Yard Drain - YD-5</p> <p>Top Casting 1133.25 Invert 5" 1129.77 ADS Nyloplast 24" In-line Drain w/Cast Iron Grate</p>	<p>Yard Drain - YD-6</p> <p>Top Casting 1133.25 Invert 5" 1133.25 ADS Nyloplast 24" In-line Drain w/Cast Iron Grate</p>	<p>Yard Drain - YD-7</p> <p>Top Casting 1137.25 Outlet 8" (SW) 1134.25 ADS Nyloplast 24" In-line Drain w/Cast Iron Grate</p>	<p>Yard Drain - YD-8</p> <p>Top Casting 1133.25 Outlet 8" (SW) 1127.43 ADS Nyloplast 24" In-line Drain w/Cast Iron Grate</p>	<p>Yard Drain - YD-9A</p> <p>Top Casting 1137.25 Outlet 8" (NE) 1134.25 ADS Nyloplast 24" In-line Drain w/Cast Iron Grate</p>	<p>Yard Drain - YD-9</p> <p>Top Casting 1137.25 Outlet 8" (NE) 1133.70 ADS Nyloplast 24" In-line Drain w/Cast Iron Grate</p>	<p>Yard Drain - YD-10</p> <p>Top Casting 1136.20 Outlet 8" (SW) 1133.20 Outlet 8" (NE) 1133.20 ADS Nyloplast 24" In-line Drain w/Cast Iron Grate</p>	<p>Yard Drain - YD-11</p> <p>Top Casting 1135.20 Inlet 8" (NW) 1132.50 Outlet 8" (NE) 1132.50 ADS Nyloplast 24" In-line Drain w/Cast Iron Grate</p>	<p>Yard Drain - YD-12</p> <p>Top Casting 1136.00 Inlet 8" (SW) 1131.25 Inlet 8" (NW) 1131.25 Outlet 8" (NW) 1131.25 ADS Nyloplast 24" Basin Assembly w/Cast Iron Grate</p>	<p>Yard Drain - YD-13</p> <p>Top Casting 1135.75 Outlet 8" (SW) 1132.75 ADS Nyloplast 24" In-line Drain w/Cast Iron Grate</p>	<p>Yard Drain - YD-14</p> <p>Top Casting 1136.00 Invert 5" 1130.00 ADS Nyloplast 24" In-line Drain w/Cast Iron Grate</p>	<p>Yard Drain - YD-15</p> <p>Top Casting 1136.00 Invert 5" 1130.30 ADS Nyloplast 24" In-line Drain w/Cast Iron Grate</p>	<p>Storm Manhole - SMH-1</p> <p>Top Casting 1136.30 Inlet 36" (NW) 1126.97 Outlet 36" (NE) 1126.30 Outlet 36" (SE) 1121.22 TDOT Standard No. 3 Manhole Precast Conc. Rise from Lid w/EICD V-4140 Frame, 7652M Grate, Hood</p>	<p>Storm Manhole - SMH-2</p> <p>Top Casting 1131.30 Inlet 24" (SW) 1132.70 Outlet 36" (NE) 1125.50 Outlet 36" (SE) 1121.22 TDOT Standard No. 3 Manhole Precast Conc. Rise from Lid w/EICD V-4140 Frame, 7652M Grate, Hood</p>	<p>Storm Manhole - SMH-3</p> <p>Top Casting 1130.00 Inlet 18" (NW) 1125.32 Outlet 18" (SE) 1125.00 TDOT Standard No. 3 Manhole Precast Conc. w/EICD 1177 Frame & Cover</p>
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Coded Notes
Note pertain to this sheet only.

1 New sidewalk to connect to and match existing walk.

2 Contractor to connect all downspouts to storm sewer system. Coordinate locations with Architectural Plans.

Details

- Concrete Paving
- Underdrain Seepage Collector
- Mesh Fence
- Collection Ditch
- Chain Link Fence

LEGEND

- Property Markers
- Property Boundary Line
- Existing Grade Contour (Index)
- Existing Grade Contour (Intermediate)
- Existing Grade Spot Elevation
- Existing Fresh Water Feature
- Existing Fence
- Existing Mailbox
- Existing Utility Pole
- Existing Guy
- Existing Gas Utility Feature
- Existing Overhead Electric
- Existing Electric Feature
- Existing Sanitary Sewer
- Existing Sanitary Manhole
- Existing Sanitary Lift Station
- Existing Storm Pipe
- Existing Storm Sewer Structures
- Existing Sign
- Existing Telephone Box
- Existing Water Meter
- Existing Asphalt Surface
- Existing Concrete Surface
- Existing Aggregate Surface
- Proposed Grade Contour (Index)
- Proposed Grade Contour (Intermediate)
- Proposed Fence
- Proposed Grade Spot Elevation
- Proposed Standard Duty Asphalt Pavement
- Proposed Heavy Duty Asphalt Pavement
- Proposed Concrete Surface
- Proposed Storm Sewer Pipe
- Proposed Roof Drain Collector
- Proposed Storm Sewer Structure
- Proposed Rock Riprap Outlet Protection

DATE	
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DATE ISSUED: April 20, 2020
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NOTES:

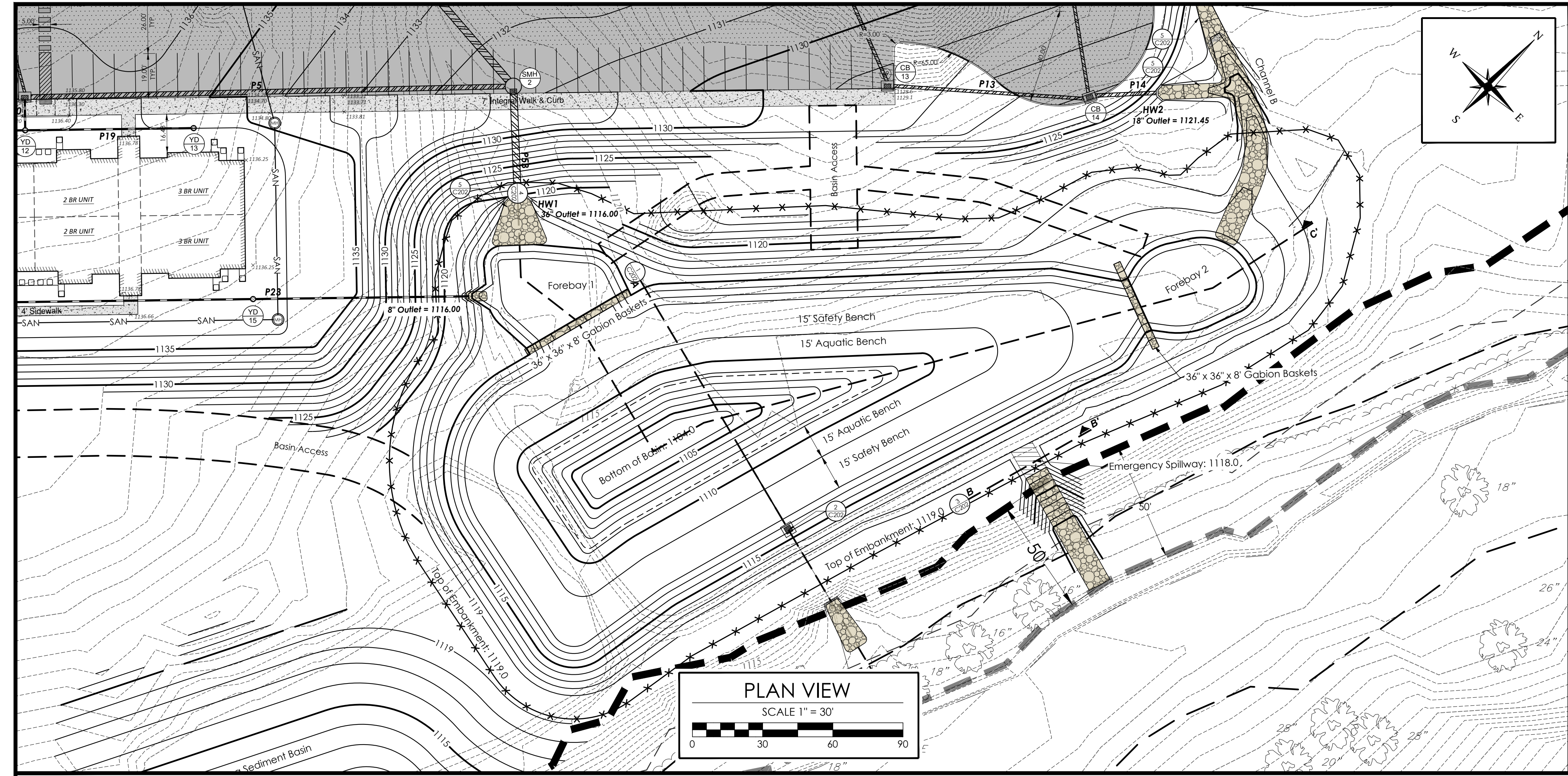
Enlarged Site Grading & Drainage Plan
C201

FOR PERMIT PURPOSES

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Woodbury Crossing Limited Partnership
Attn: Conner Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

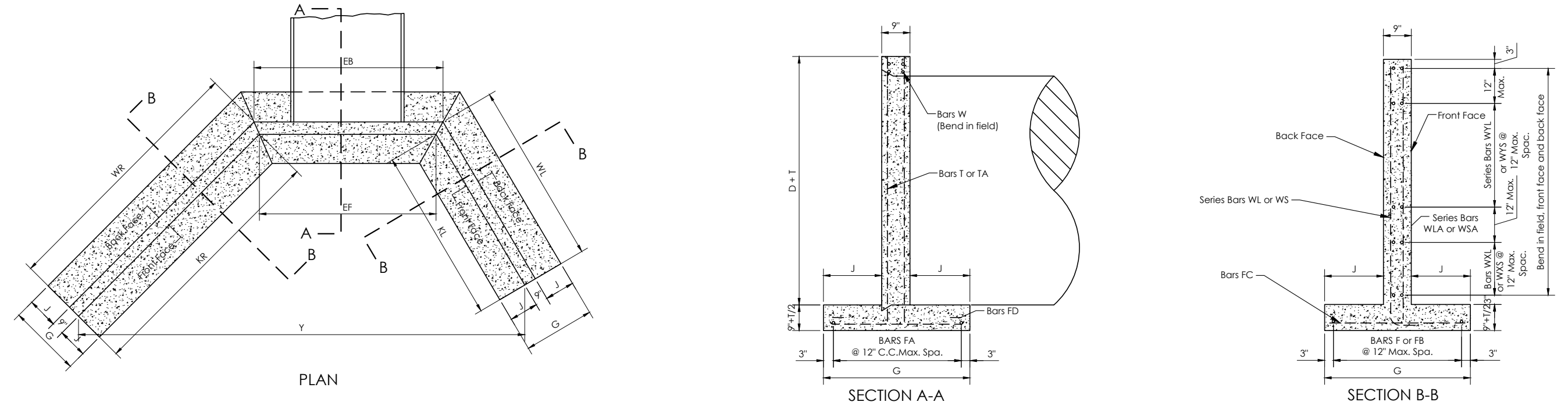
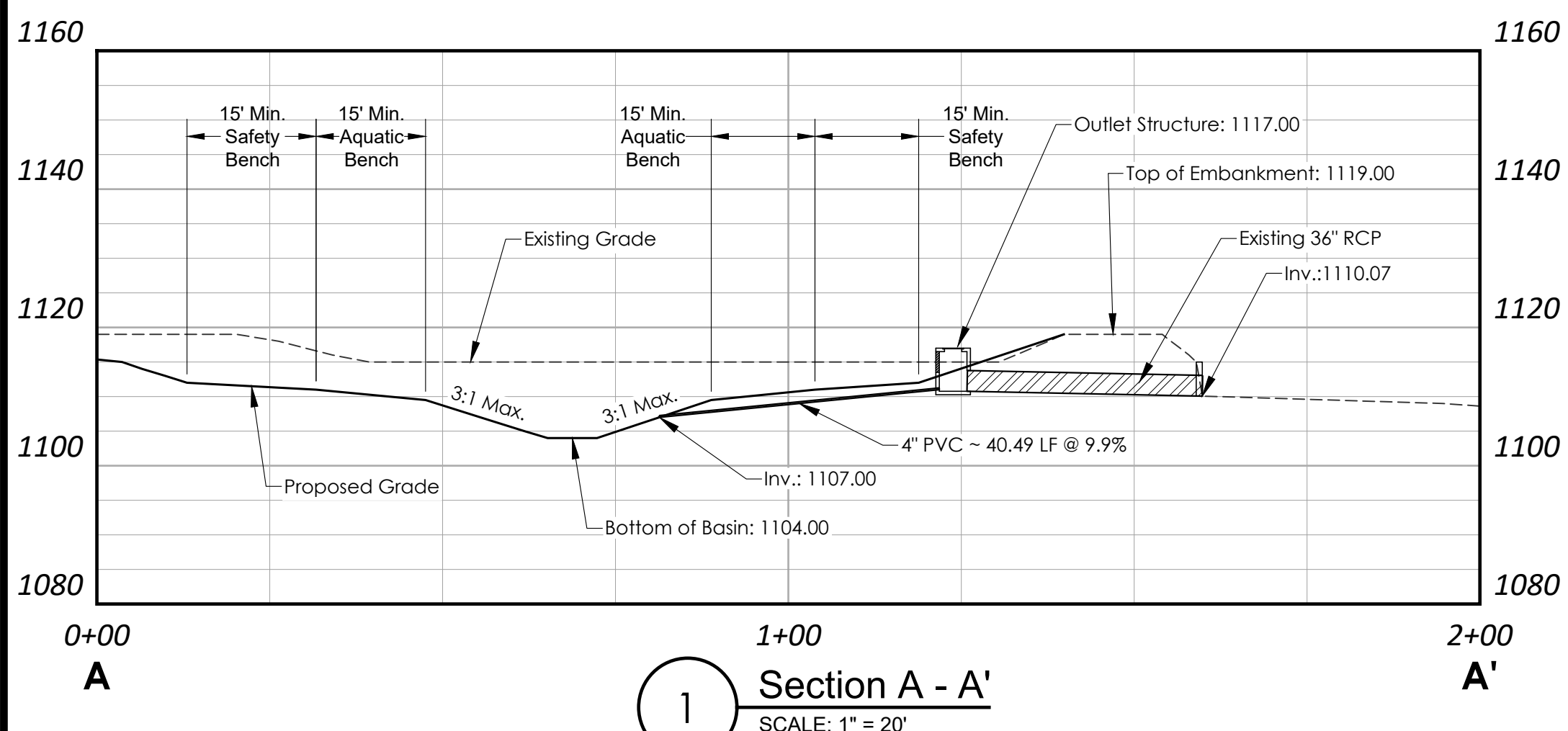
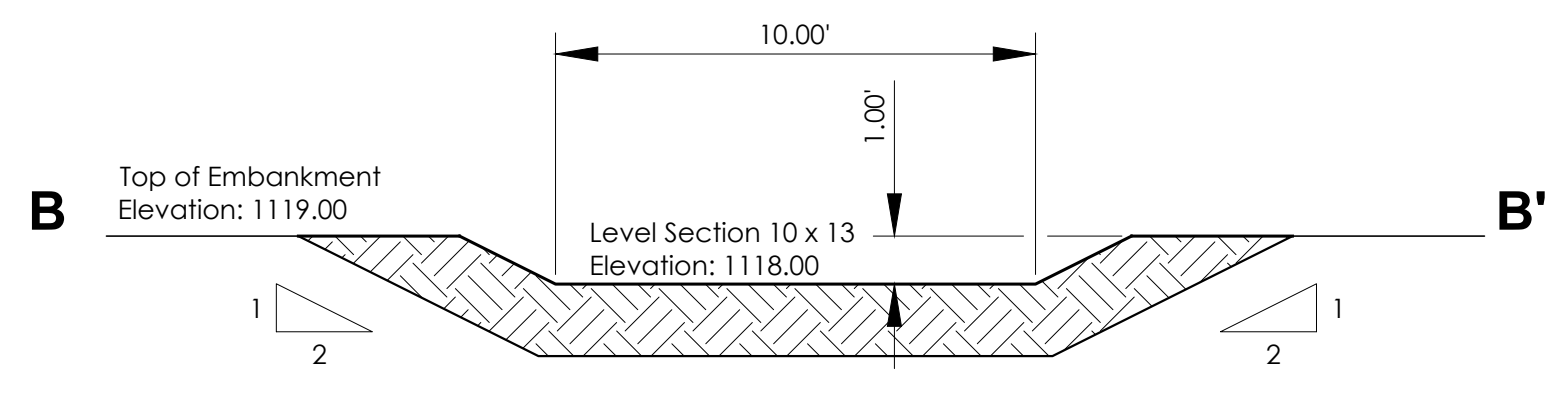
WOODBURY CROSSING APARTMENTS

Edwards Place Boulevard
Corryton, Knox County, Tennessee



- LEGEND**
- Property Markers
 - Property Boundary Line
 - Existing Grade Contour (Index)
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AQUATIC BENCH PLANTINGS:
Scirpus pungens (Three-Square Rush)
Typha latifolia (Cattail)
Scirpus acutus (Hard-Stem Bullrush)
Install plants in single-species clusters with average density of eight (8) plants per 50 square feet.



HEADWALL PIPE INVERTS

HW1 - 36" PIPE @ 1116.30
HW2 - 18" PIPE @ 1121.45
HW3 - 18" PIPE @ 1123.00

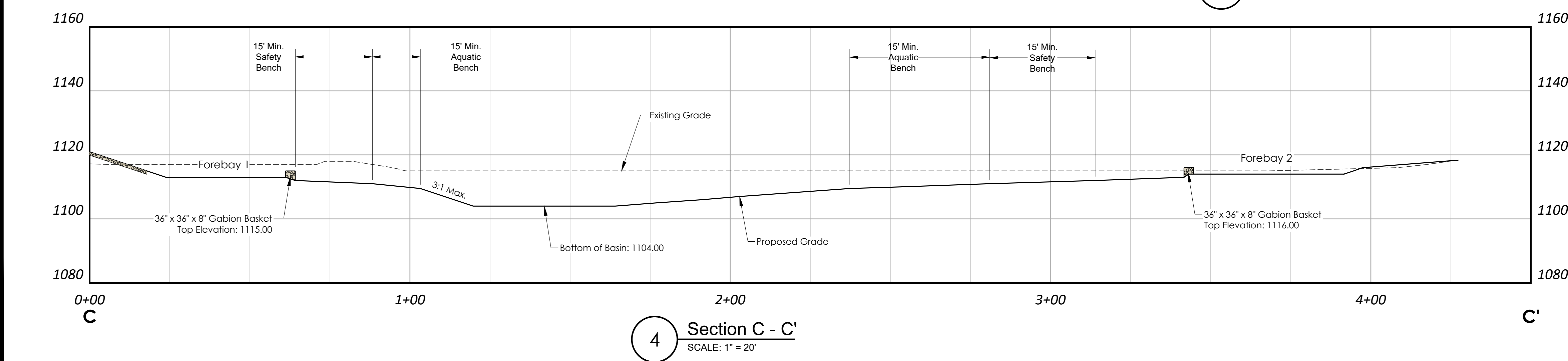
HEADWALL DIMENSIONS

D	T	H	J	G	EF	EB	WR	KR	WL	KL	Y
18"	4"	1'-0"	1'-0"	2'-0"	2'-10"	2'-11"	2'-6"	2'-11"	2'-6"	5'-0"	
36"	11'-0"	2'-0"	1'-0"	2'-0"	4'-10"	4'-10"	5'-5"	5'-0"	5'-5"	10'-0"	

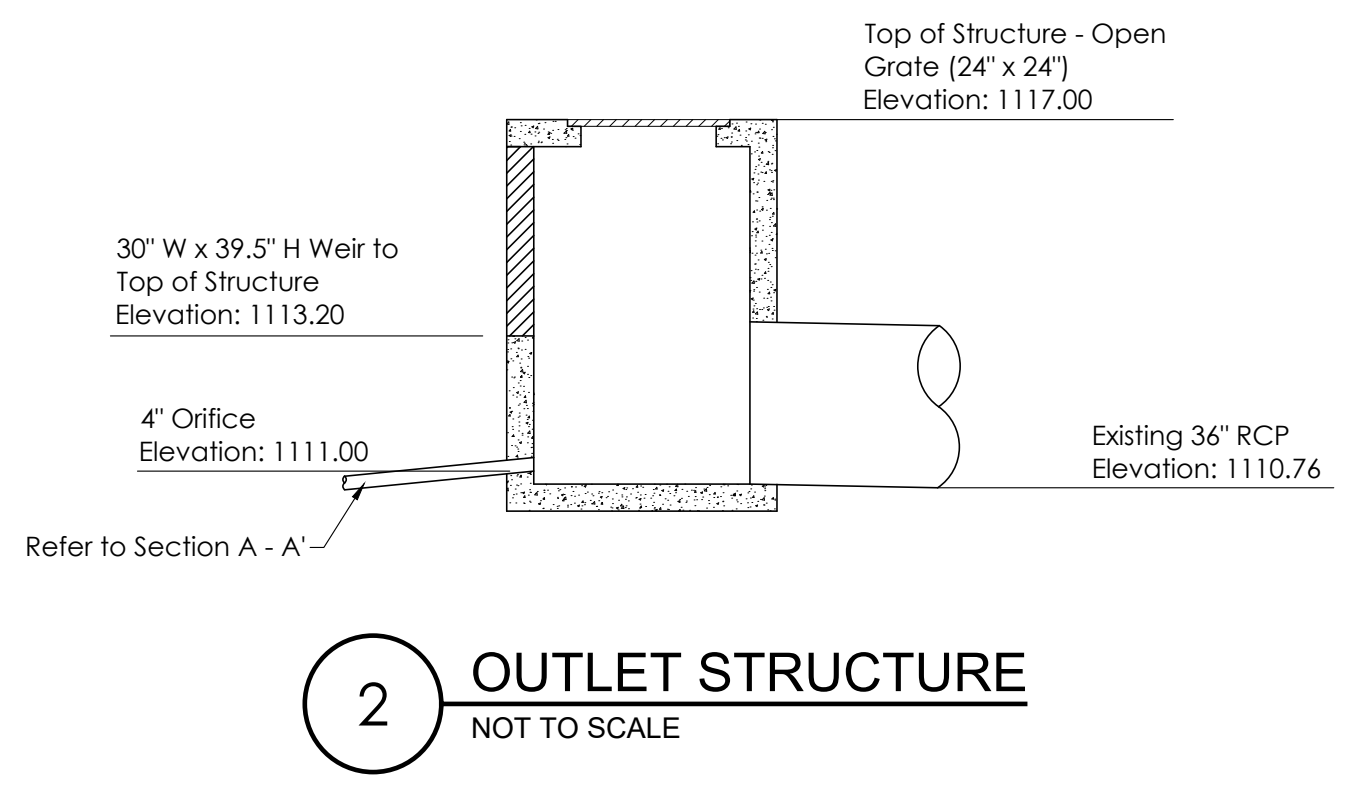
BILL OF STEEL

PIPE	BARS F		BARS FB		BARS FC		BARS WXL		BARS WXS		SERIES BARS WYL		SERIES BARS WYS		SERIES BARS WL		SERIES BARS WS		SERIES BARS WCA		SERIES BARS WSA		SERIES BARS FA		BARS FD		W		T		FA											
	T.L.	N.R.	T.L.	N.R.	T.L.	N.R.	T.L.	N.R.	T.L.	N.R.	T.L.	N.R.	T.L.	N.R.	T.L.	N.R.	T.L.	N.R.	T.L.	N.R.	T.L.	N.R.	T.L.	N.R.	T.L.	N.R.	(4 BARS)	(2 BARS)	A	B	T.L.											
18"	2-9"	4	2-9"	4	2-5"	6	2-9"	4	2-9"	4	1'-5"	1'-5"	0'	1	1'-5"	2-7"	1-7"	6"	3	8'-3"	2-7"	1-7"	6"	3	8'-3"	2-7"	1-7"	6"	3	6'-3"	2-7"	1-7"	6"	4	22'-0"	3-9"	4	6'-0"	8'-11"	2-9"	2'-0"	9'-11"
36"	5'-8"	4	5-9"	4	2-5"	13	5-3"	6	5-3"	6	3'-10"	3'-10"	0'	1	3'-10"	2'-11"	4'-11"	4'-11"	6"	22'-11"	2'-11"	4'-11"	4	7	22'-5"	2'-11"	4'-11"	6"	5	19'-7"	8'-8"	6'-2"	10"	4	29'-8"	3-9"	6	7'-11"	13'-7"	5-9"	4'-0"	17'-1"

Refer to Tennessee Department of Transportation Drawings D-PE-R, A, B, C, D, E, F



6-SA-20-C
6-A-20-UR
Revised: 5/26/2020



DATE

REVISIONS

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DATE ISSUED: April 20, 2020
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CHECKED: CG

NOTES:

Basin Information

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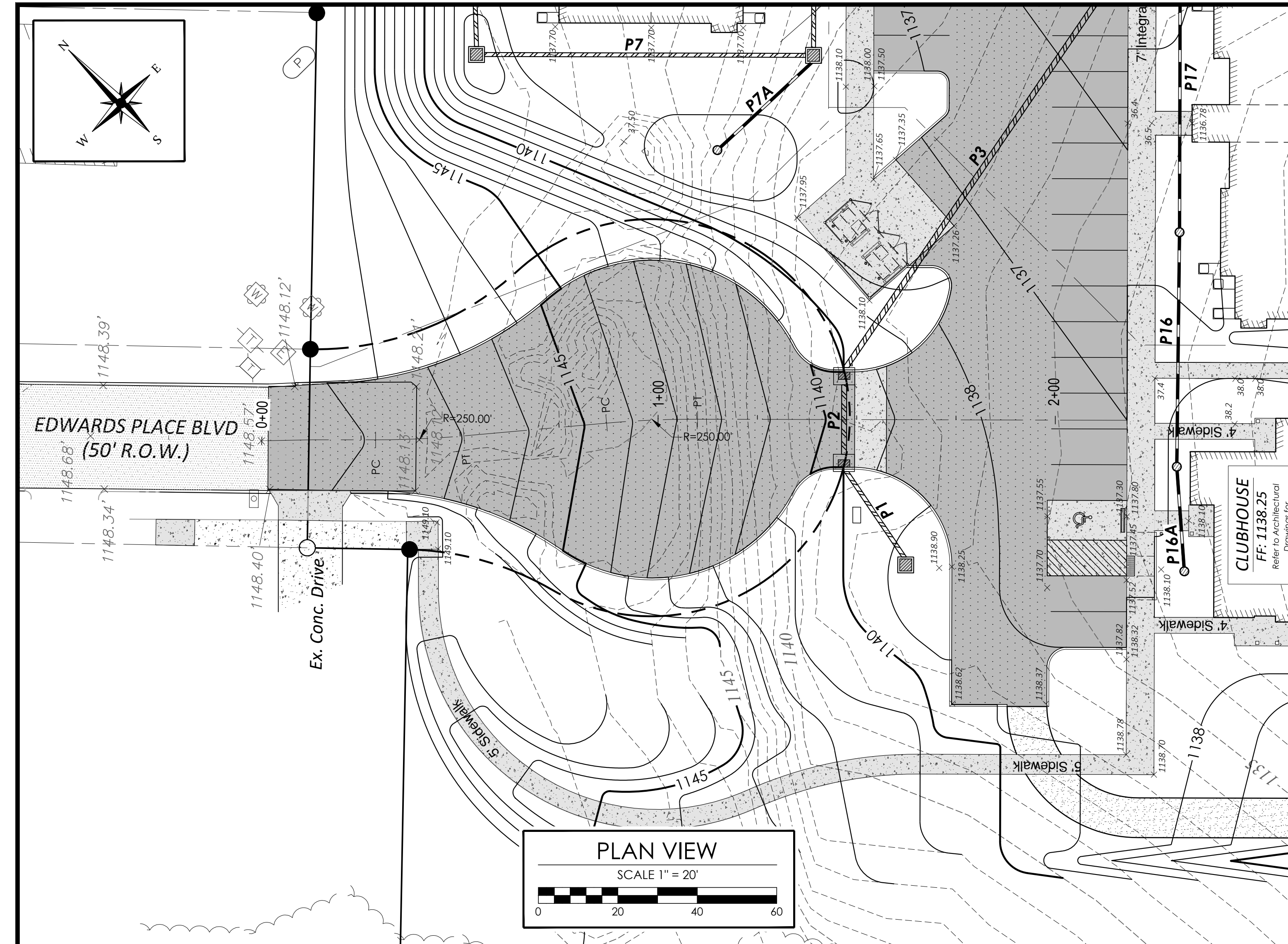
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Attn: Conner Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

WOODBURY CROSSING APARTMENTS

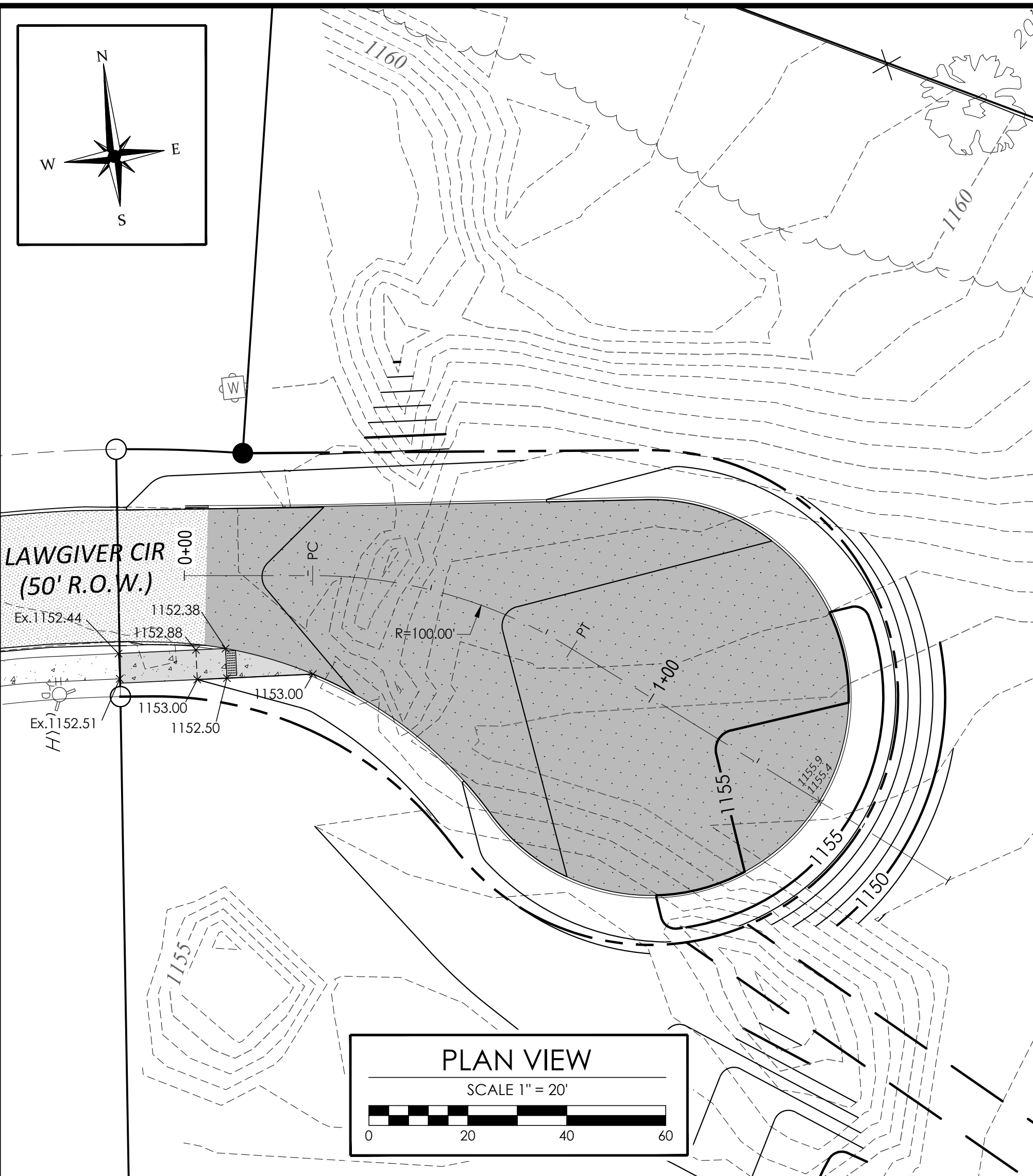
Edwards Place Boulevard
Corryton, Knox County, Tennessee

DATE	REVISIONS

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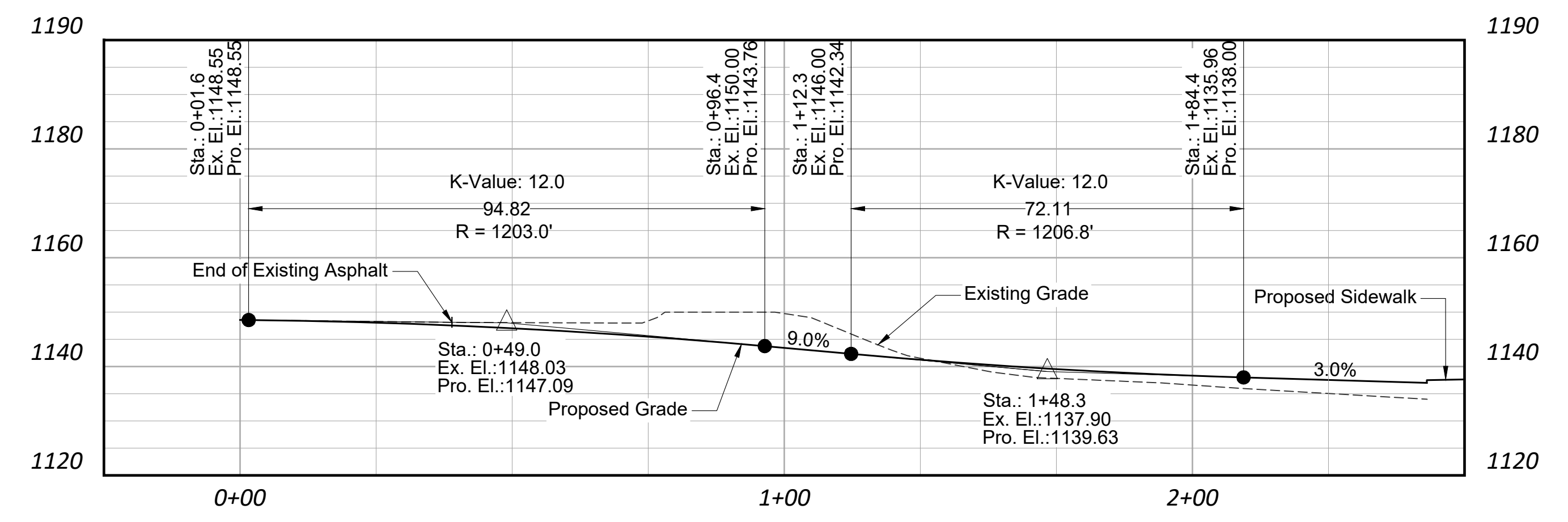


PLAN VIEW
SCALE 1" = 20'

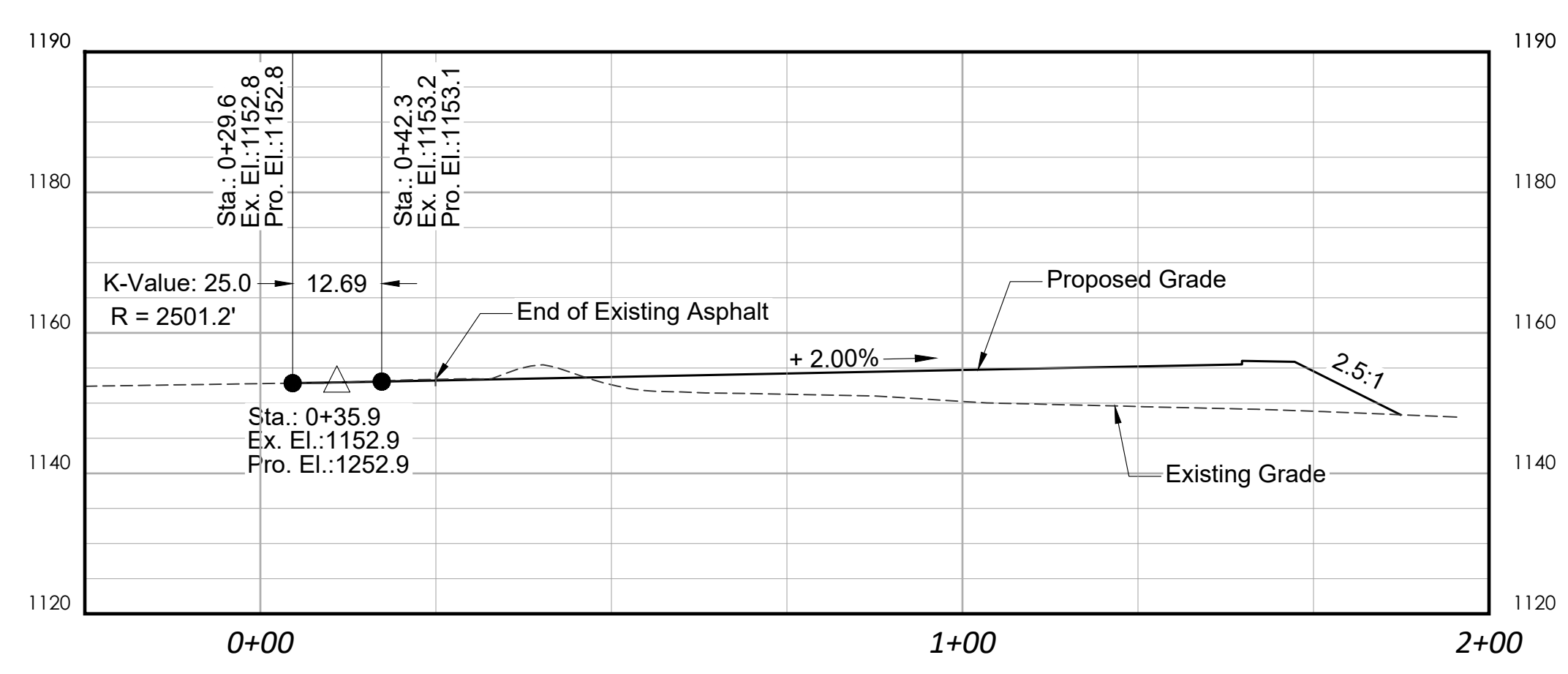


PLAN VIEW
SCALE 1" = 20'

- #### LEGEND
- ● Property Markers
 - Property Boundary Line
 - - - - - Existing Grade Contour (Index)
 - - - - - Existing Grade Contour (Intermediate)
 - 916.40 Existing Grade Spot Elevation
 - Existing Fresh Water Feature
 - - - Existing Fence
 - ✕ Existing Mailbox
 - ⊕ Existing Utility Pole
 - ← Existing Guy
 - ⊕ Existing Gas Utility Feature
 - - - Existing Overhead Electric
 - ⊕ Existing Electric Feature
 - - - Existing Sanitary Sewer
 - ⊕ Existing Sanitary Manhole
 - ⊕ Existing Sanitary Lift Station
 - - - Existing Storm Sewer Pipe
 - ⊕ Existing Storm Sewer Structures
 - ⊕ Existing Sign
 - ⊕ Existing Telephone Box
 - ⊕ Existing Water Meter
 - Existing Asphalt Surface
 - Existing Concrete Surface
 - Existing Aggregate Surface
 - - - Proposed Grade Contour (Index)
 - - - Proposed Grade Contour (Intermediate)
 - 916.40 Proposed Grade Spot Elevation
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 - Proposed Concrete Surface
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 - Proposed Roof Drain Collector
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 - Proposed Rock Riprap Outlet Protection



1 Road Profile
SCALE: 1" = 20'



2 Road Profile
SCALE: 1" = 20'

6-SA-20-C
6-A-20-UR
Revised: 5/26/2020

Road Profiles

C203

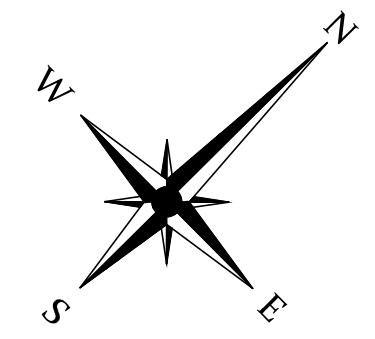
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Attn: Conner Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

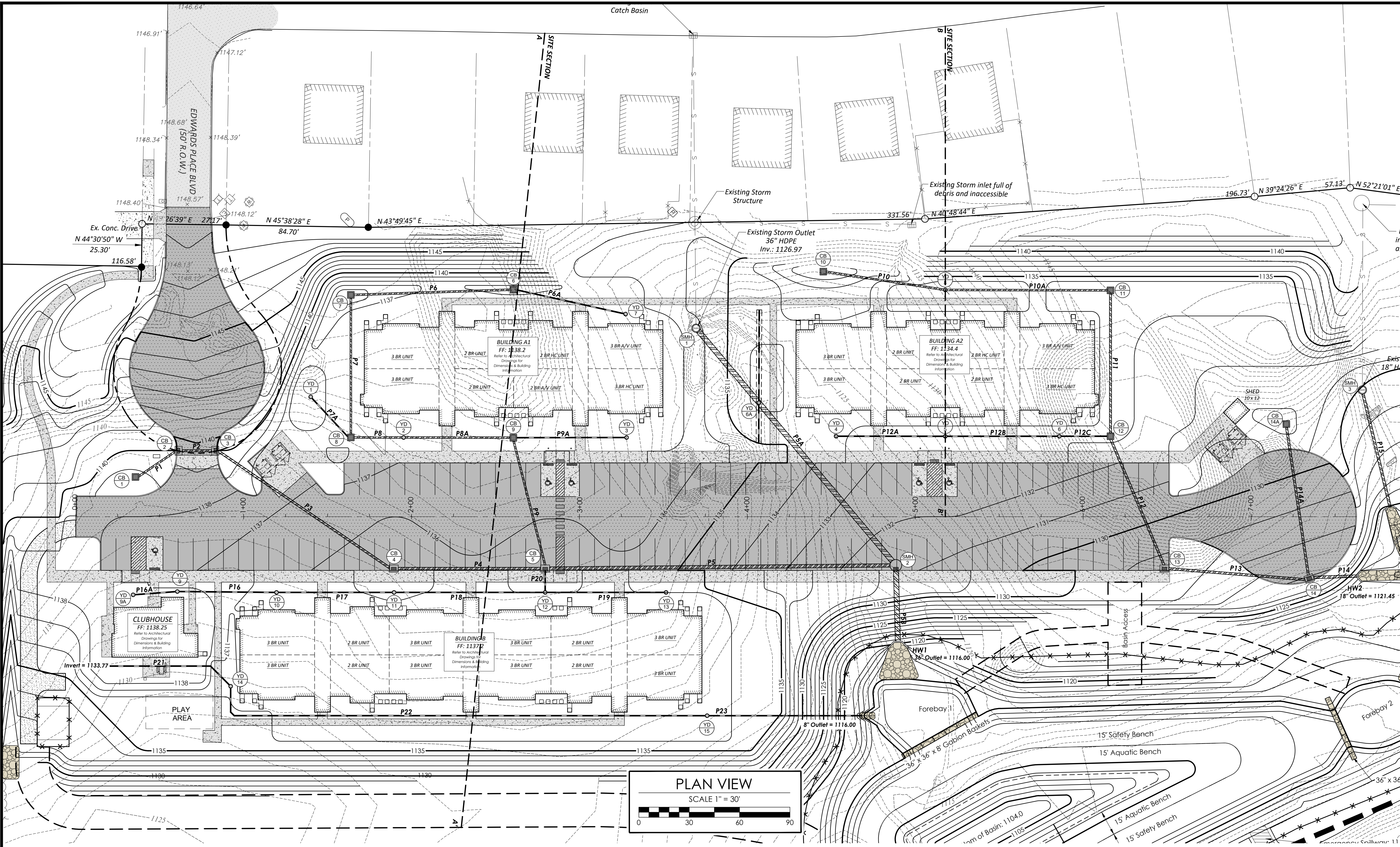
WOODBURY CROSSING APARTMENTS

Edwards Place Boulevard
Corryton, Knox County, Tennessee

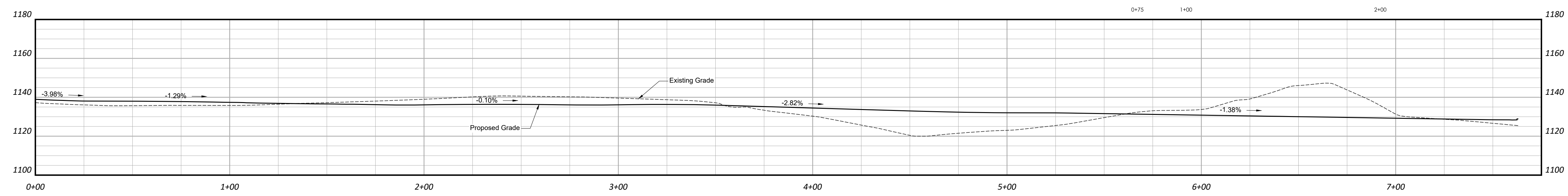


LEGEND

- Property Markers
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PLAN VIEW
SCALE 1" = 30'



AISLE PROFILE
SCALE 1" = 30'

6-SA-20-C
6-A-20-UR
Revised: 5/26/2020

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Site Profile

C204

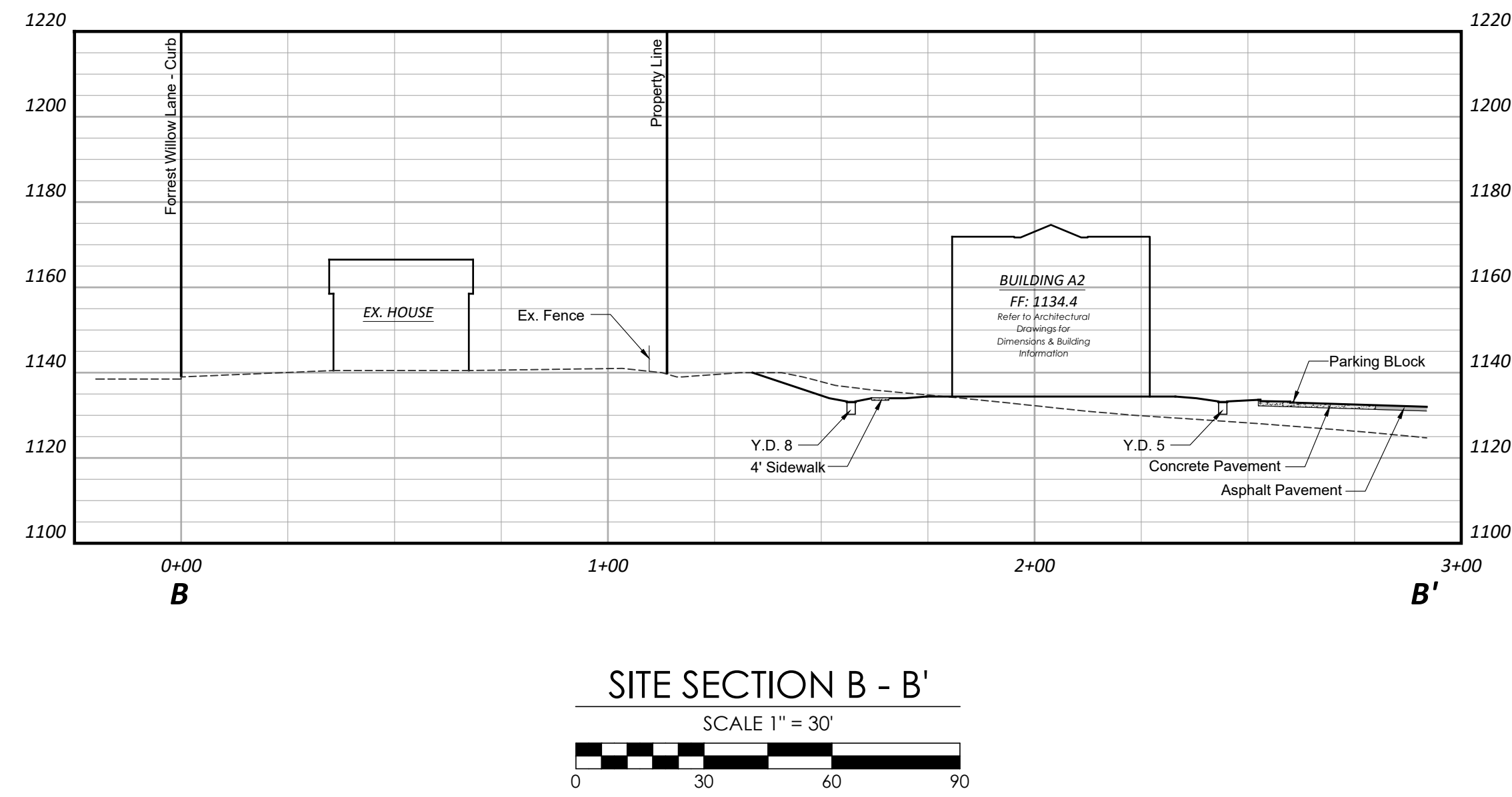
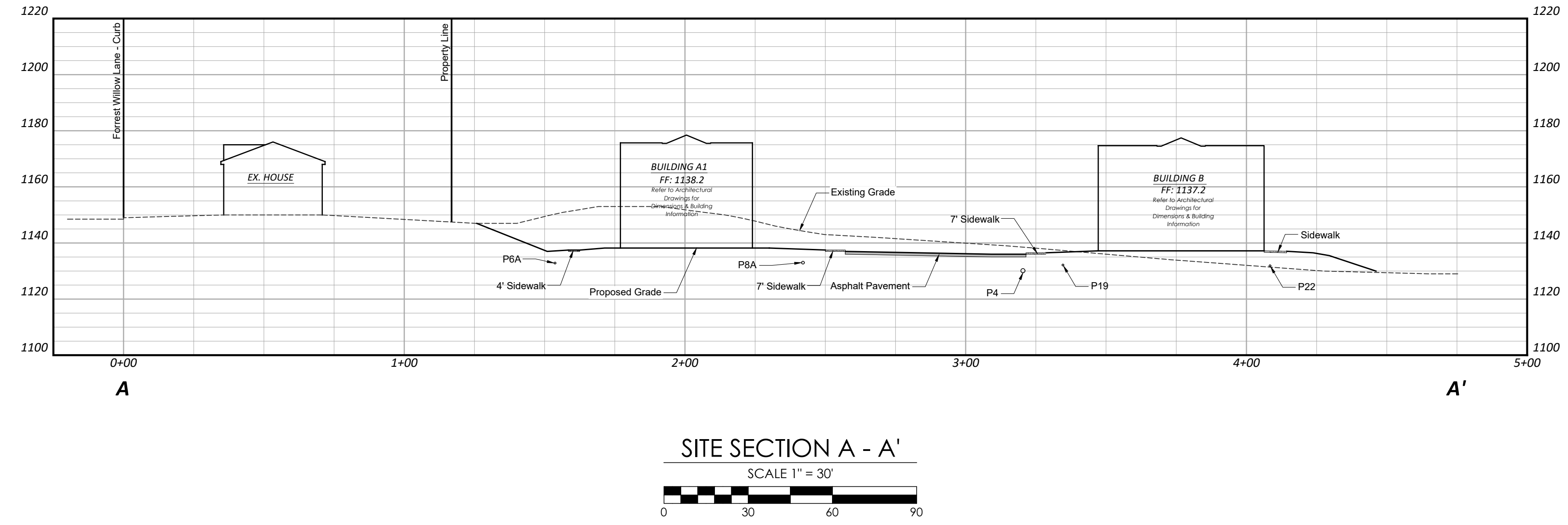
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500 S. Front Street, 10th Floor
Columbus, OH 43215
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WOODBURY CROSSING APARTMENTS

Edwards Place Boulevard
Corryton, Knox County, Tennessee



6-SA-20-C
6-A-20-UR
Revised: 5/26/2020

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