

NO.	REVISIONS

699 DALLAS ROAD
CHATTANOOGA, TN 37405
(423) 265-3272
FAX (423) 266-5602

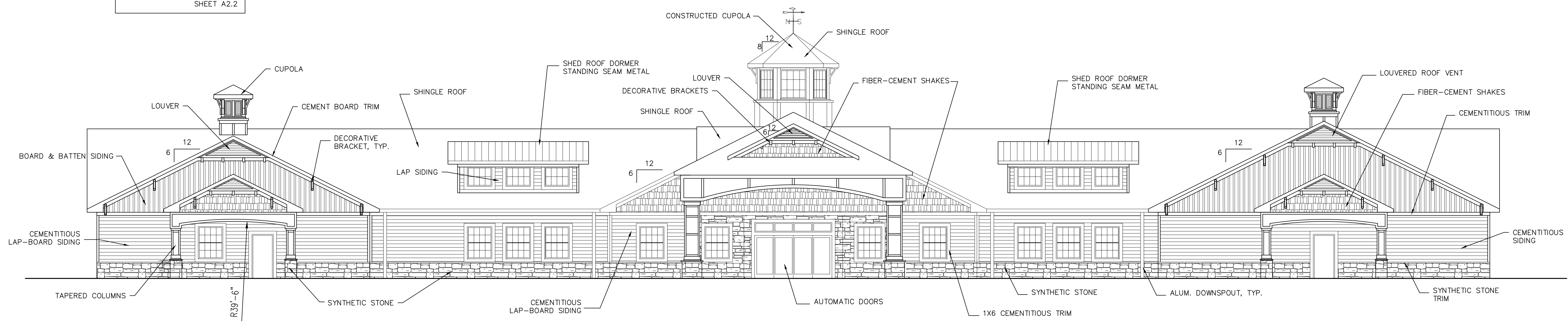
NEUHOFF
TAYLOR
ARCHITECTS

THE LANTERN AT MORNING POINTE
ALZHEIMER'S CENTER OF EXCELLENCE
POWELL, TENNESSEE

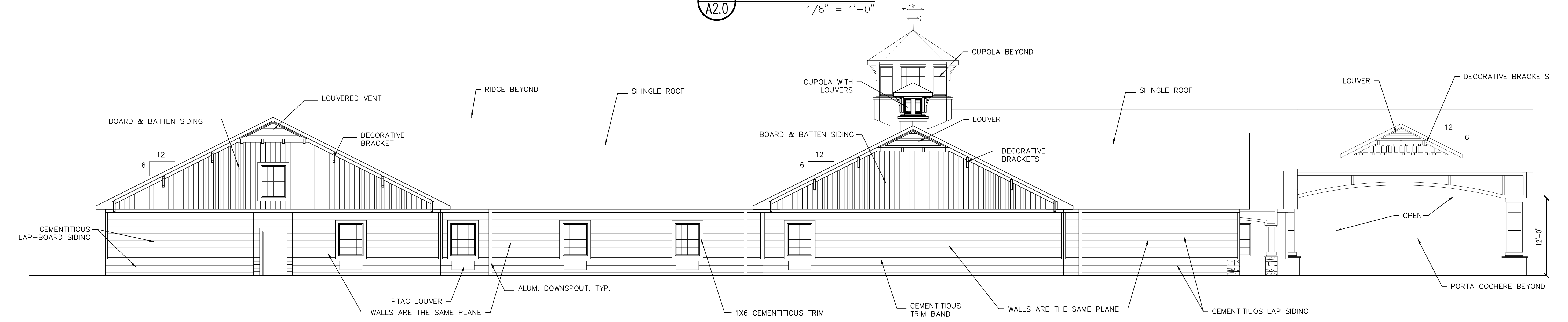
PROJECT #
19-64
DATE
DRAWING NAME
EXTERIOR ELEVATIONS
SHEET #

A2.0

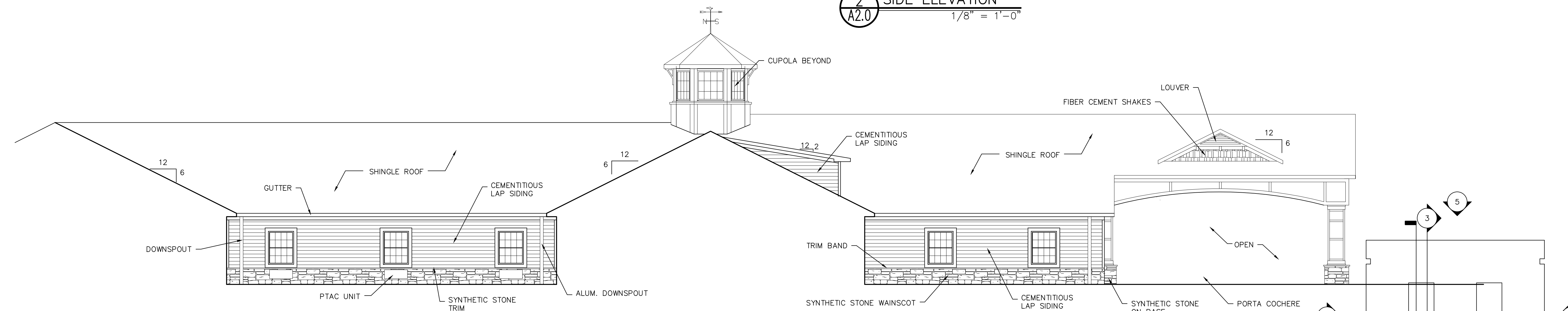
NOTE: SEE GENERAL NOTES ON SHEET A2.2



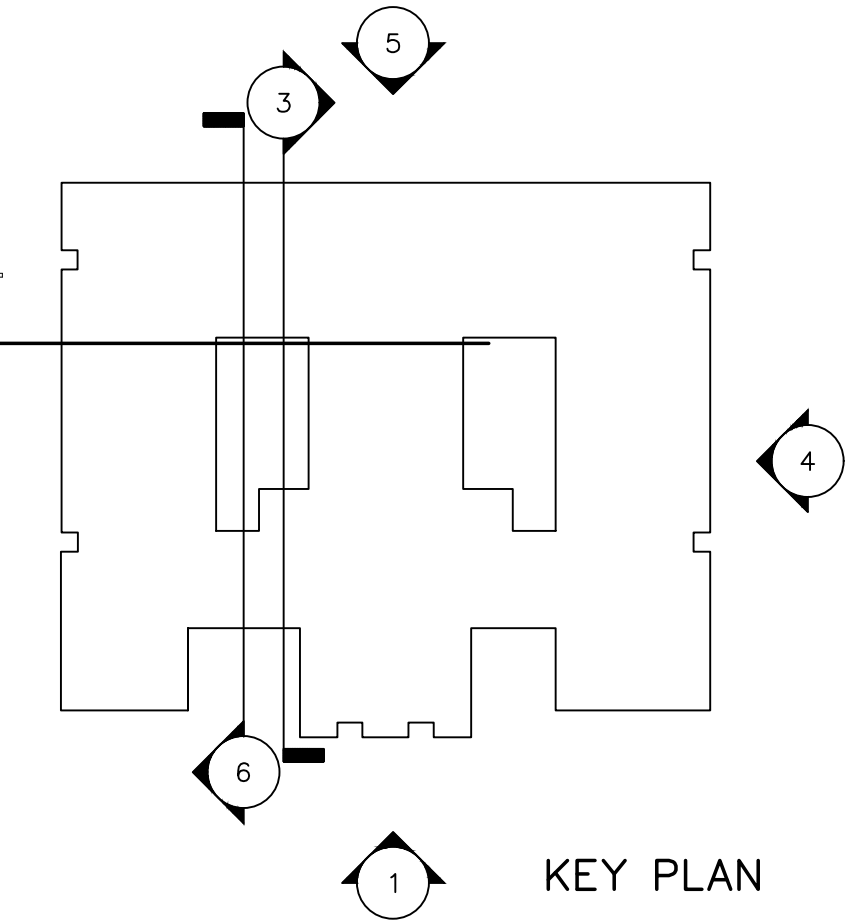
1 FRONT ELEVATION
A2.0 1/8" = 1'-0"



2 SIDE ELEVATION
A2.0 1/8" = 1'-0"

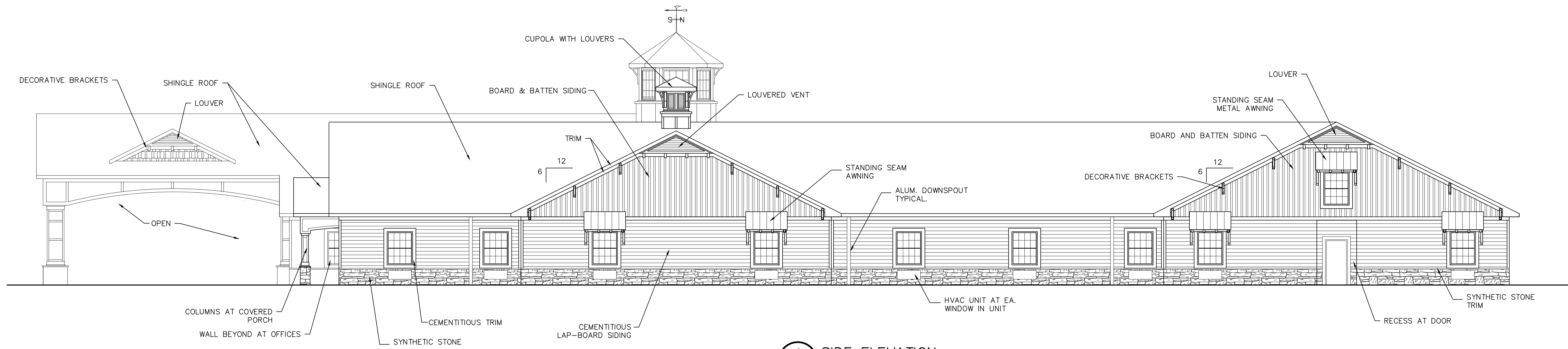


3 COURTYARD ELEVATION
A2.0 1/8" = 1'-0"

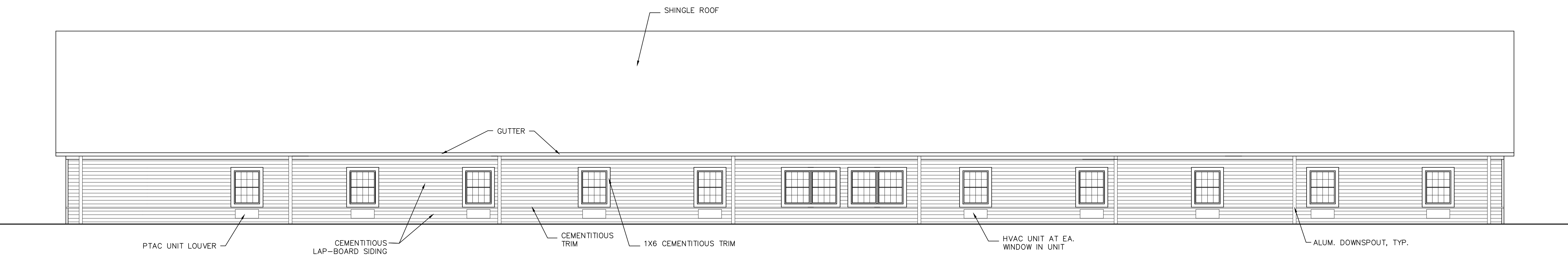


5-K-20-UR
3/30/2020

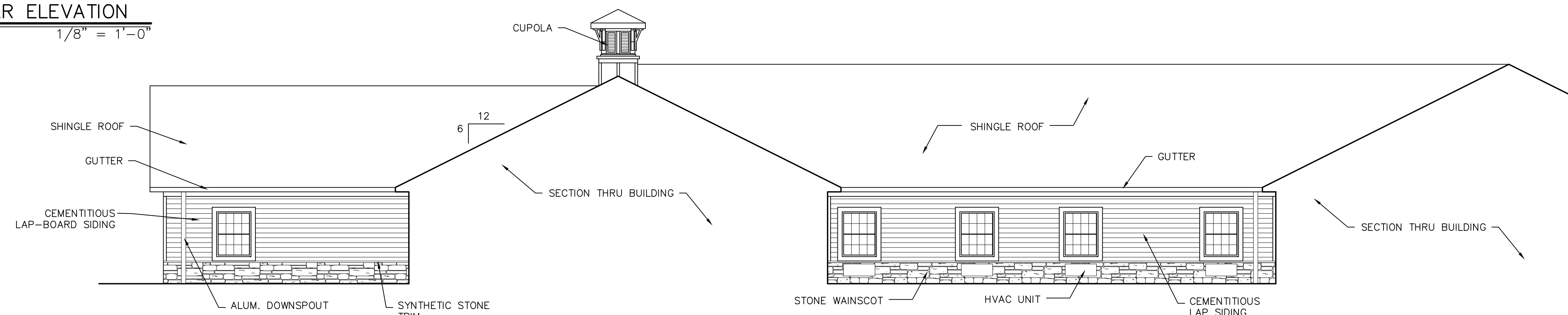
KEY PLAN



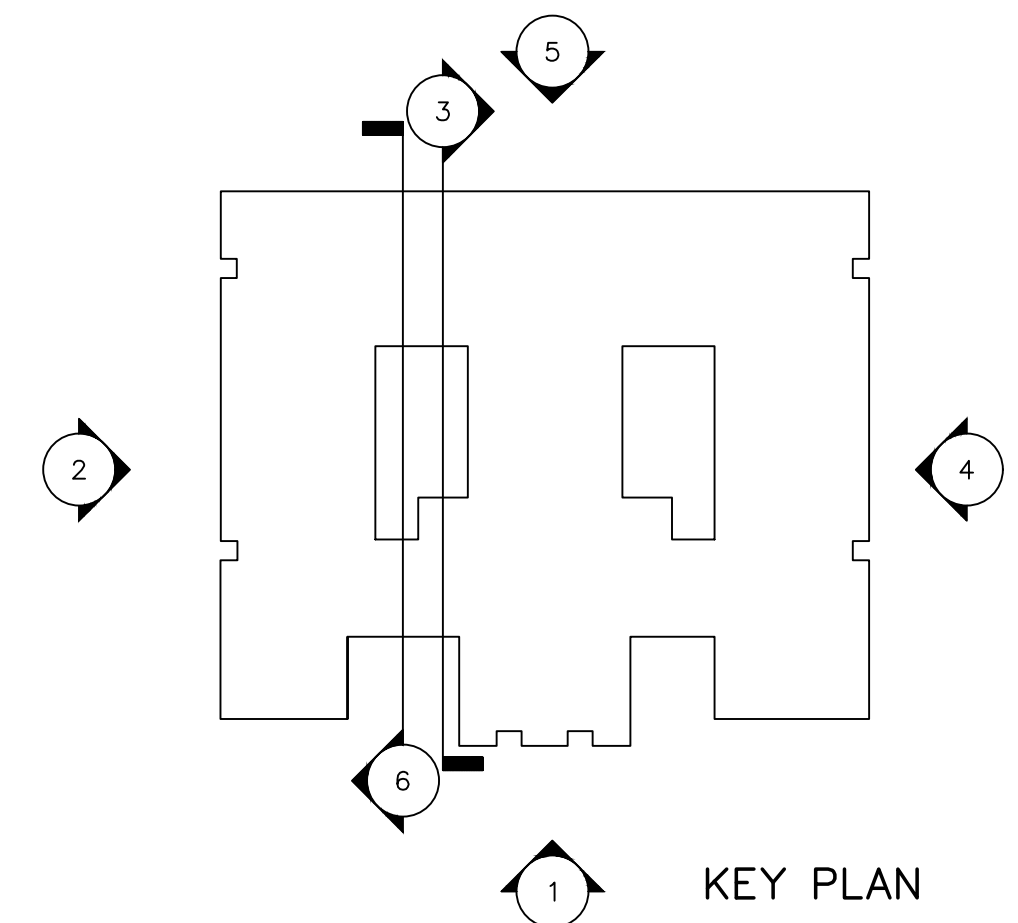
4 SIDE ELEVATION
A2.1 1/8" = 1'-0"



5 REAR ELEVATION
A2.1 1/8" = 1'-0"



6 COURTYARD ELEVATION
A2.1 1/8" = 1'-0"



5-K-20-UR
3/30/2020

REVISIONS	

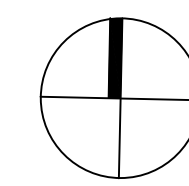
699 DALLAS ROAD
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NEUHOFF
TAYLOR
ARCHITECTS

THE LANTERN AT MORNING POINTE
ALZHEIMER'S CENTER OF EXCELLENCE
POWELL, TENNESSEE

PROJECT #
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SHEET #

A2.1



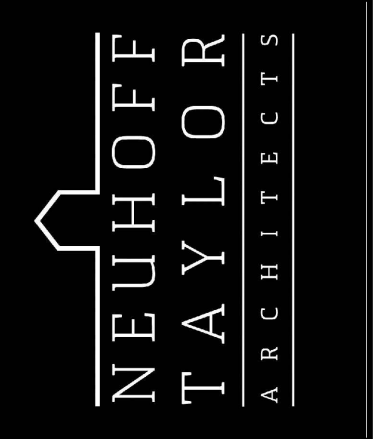
OVERALL FLOOR PLAN

3/32" = 1'-0"

5-K-20-UR
3/30/2020

NO.	DATE	DESCRIPTION

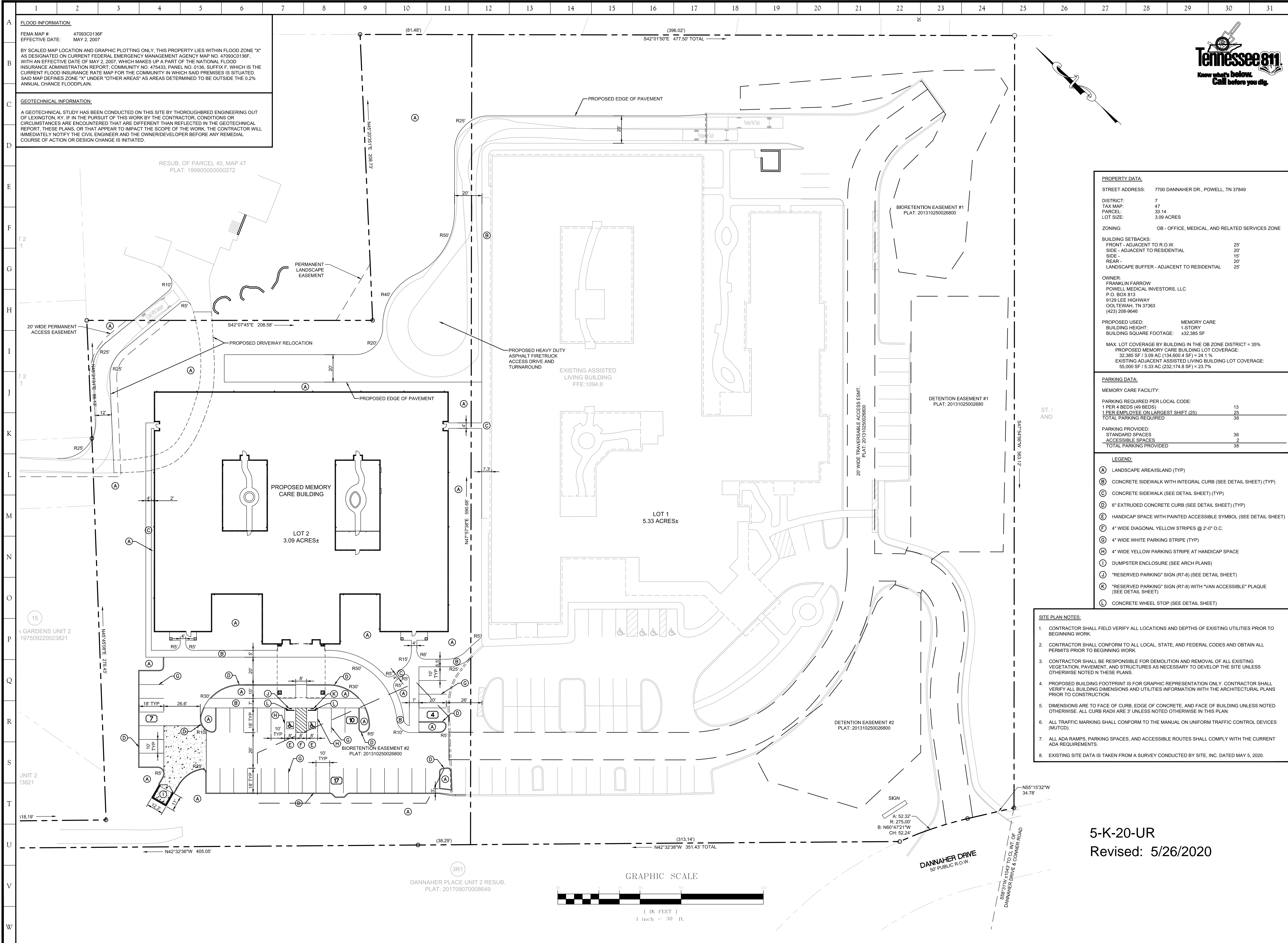
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FAX (423)266-5502



THE LANTERN AT MORNING POINTE
ALZHEIMER'S CENTER OF EXCELLENCE
POWELL, TENNESSEE

PROJECT #
19-64
DATE
-
DRAWING NAME
OVERALL PLAN
SHEET #

A1.0



FLOOD INFORMATION:
 FEMA MAP #: 47093C0136F
 EFFECTIVE DATE: MAY 2, 2007

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47093C0136F, WITH AN EFFECTIVE DATE OF MAY 2, 2007, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 475433, PANEL NO. 0136, SUFFIX F, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

GEOTECHNICAL INFORMATION:
 A GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE BY THOROUGHBRID ENGINEERING OUT OF LEXINGTON, KY, IF IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THE GEOTECHNICAL REPORT, THESE PLANS, OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED.

PROPERTY DATA:
 STREET ADDRESS: 7700 DANNAHER DR., POWELL, TN 37849
 DISTRICT: 7
 TAX MAP: 47
 PARCEL: 33.14
 LOT SIZE: 3.09 ACRES
 ZONING: OB - OFFICE, MEDICAL, AND RELATED SERVICES ZONE

BUILDING SETBACKS:
 FRONT - ADJACENT TO R.O.W. 25'
 SIDE - ADJACENT TO RESIDENTIAL 20'
 SIDE - 15'
 REAR - 20'
 LANDSCAPE BUFFER - ADJACENT TO RESIDENTIAL 25'

OWNER:
 FRANKLIN FARROW
 POWELL MEDICAL INVESTORS, LLC
 P.O. BOX 813
 9129 LEE HIGHWAY
 OOLTEWAH, TN 37363
 (423) 208-9646

PROPOSED USED: MEMORY CARE
BUILDING HEIGHT: 1-STORY
BUILDING SQUARE FOOTAGE: 432,385 SF

MAX. LOT COVERAGE BY BUILDING IN THE OB ZONE DISTRICT = 35%
 PROPOSED MEMORY CARE BUILDING LOT COVERAGE:
 32,385 SF / 3.09 AC (134,800.4 SF) = 24.1%
 EXISTING ADJACENT ASSISTED LIVING BUILDING LOT COVERAGE:
 55,000 SF / 5.33 AC (232,174.8 SF) = 23.7%

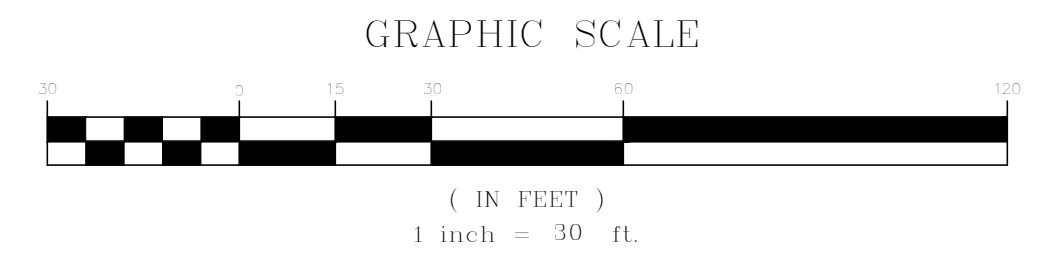
PARKING DATA:
MEMORY CARE FACILITY:
 PARKING REQUIRED PER LOCAL CODE:
 1 PER 4 BEDS (49 BEDS) 13
 1 PER EMPLOYEE ON LARGEST SHIFT (25) 26
 TOTAL PARKING REQUIRED 38

PARKING PROVIDED:
 STANDARD SPACES 36
 ACCESSIBLE SPACES 2
 TOTAL PARKING PROVIDED 38

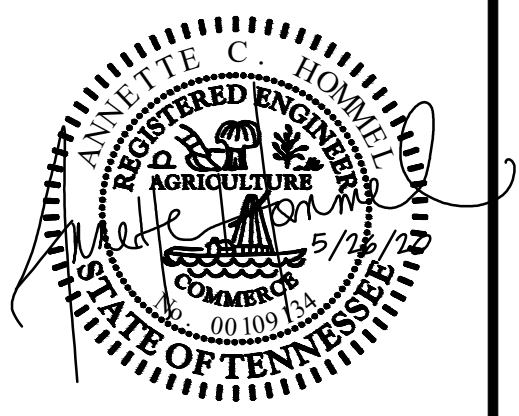
- LEGEND:**
- (A) LANDSCAPE AREA/ISLAND (TYP)
 - (B) CONCRETE SIDEWALK WITH INTEGRAL CURB (SEE DETAIL SHEET) (TYP)
 - (C) CONCRETE SIDEWALK (SEE DETAIL SHEET) (TYP)
 - (D) 6" EXTRUDED CONCRETE CURB (SEE DETAIL SHEET) (TYP)
 - (E) HANDICAP SPACE WITH PAINTED ACCESSIBLE SYMBOL (SEE DETAIL SHEET)
 - (F) 4" WIDE DIAGONAL YELLOW STRIPES @ 2'-0" O.C.
 - (G) 4" WIDE WHITE PARKING STRIPE (TYP)
 - (H) 4" WIDE YELLOW PARKING STRIPE AT HANDICAP SPACE
 - (I) DUMPSTER ENCLOSURE (SEE ARCH PLANS)
 - (J) "RESERVED PARKING" SIGN (R7-8) (SEE DETAIL SHEET)
 - (K) "RESERVED PARKING" SIGN (R7-8) WITH "VAN ACCESSIBLE" PLAQUE (SEE DETAIL SHEET)
 - (L) CONCRETE WHEEL STOP (SEE DETAIL SHEET)

- SITE PLAN NOTES:**
- CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES PRIOR TO BEGINNING WORK.
 - CONTRACTOR SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING VEGETATION, PAVEMENT, AND STRUCTURES AS NECESSARY TO DEVELOP THE SITE UNLESS OTHERWISE NOTED IN THESE PLANS.
 - PROPOSED BUILDING FOOTPRINT IS FOR GRAPHIC REPRESENTATION ONLY. CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND UTILITIES INFORMATION WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
 - DIMENSIONS ARE TO FACE OF CURB, EDGE OF CONCRETE, AND FACE OF BUILDING UNLESS NOTED OTHERWISE. ALL CURB RADII ARE 3' UNLESS NOTED OTHERWISE IN THIS PLAN.
 - ALL TRAFFIC MARKING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - ALL ADA RAMPS, PARKING SPACES, AND ACCESSIBLE ROUTES SHALL COMPLY WITH THE CURRENT ADA REQUIREMENTS.
 - EXISTING SITE DATA IS TAKEN FROM A SURVEY CONDUCTED BY SITE, INC. DATED MAY 5, 2020.

5-K-20-UR
 Revised: 5/26/2020



SITE, INCORPORATED
 CIVIL ENGINEERS & SURVEYORS
 EST. 1997
 10215 Technology Drive, Suite 304
 Knoxville, TN 37932
 Phone: (865) 777-4160
 www.site-incorporated.com



Use on Review - Site Layout Plan

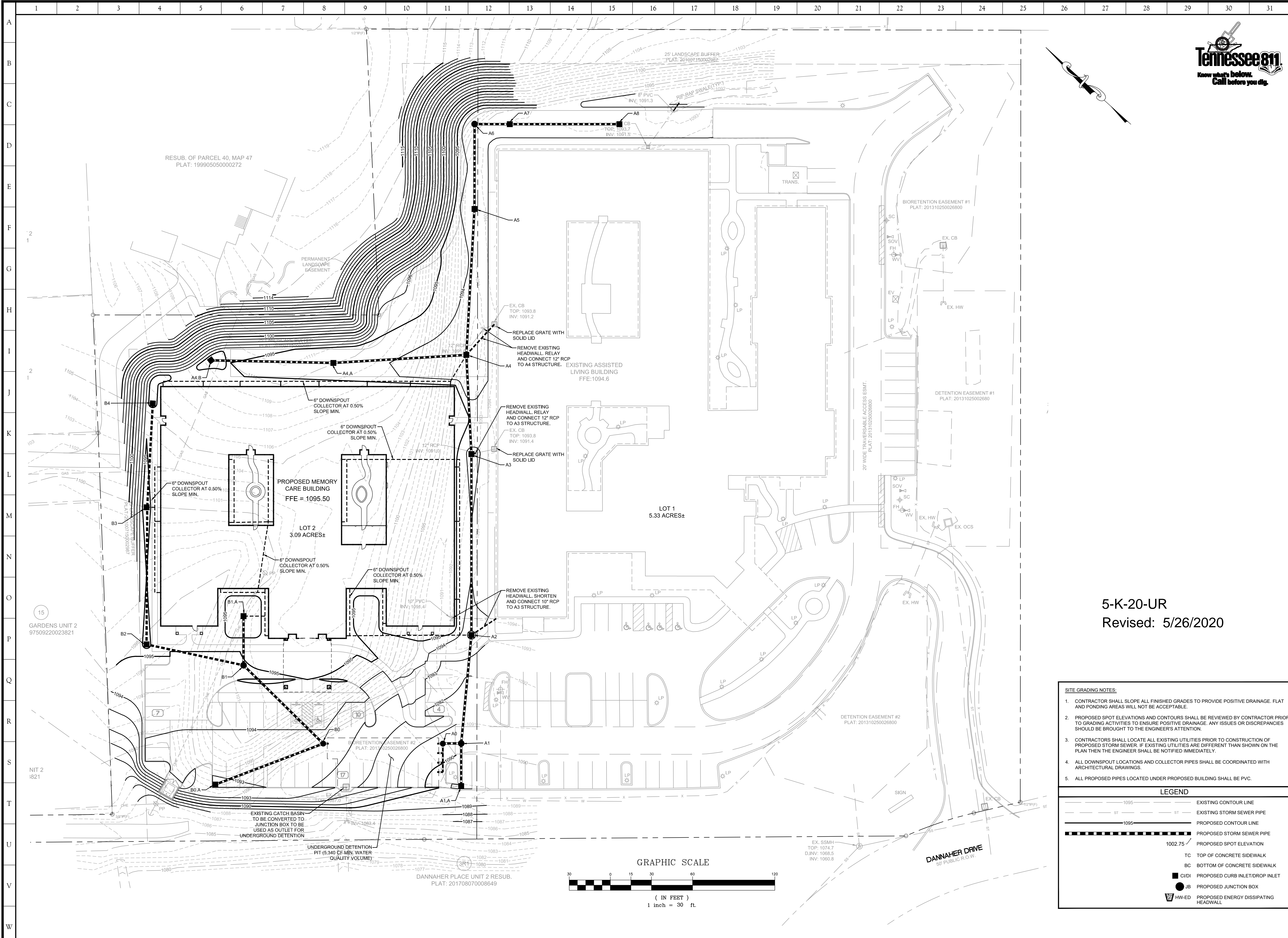
The Lantern of Powell

7700 Danner Drive
 Knox County, Tennessee 37849
 MPC Case No. 5-K-20-UR

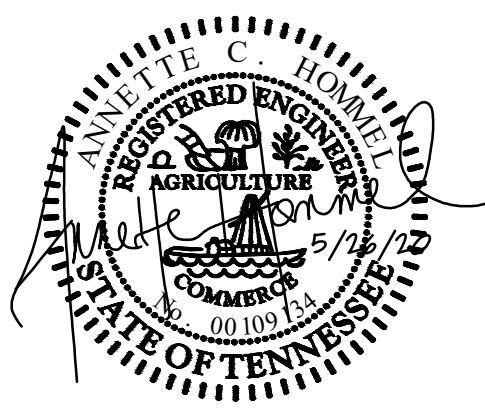
REVISIONS		
NO.	DATE	COMMENTS

ORIGINAL ISSUE: 05/26/20
 SITE PROJECT #: 2005
 FILE: 2005-Layout

C4.0



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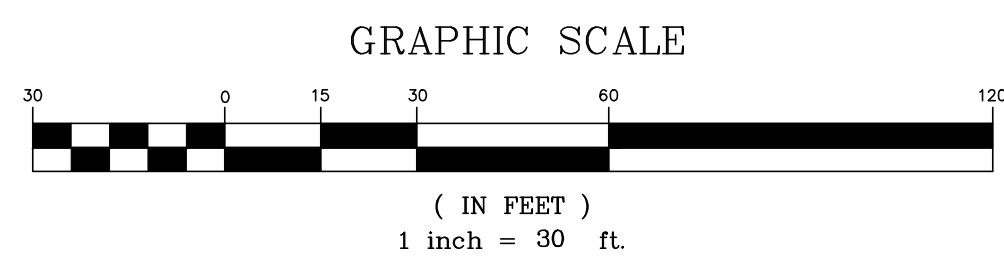
Use on Review - Site Grading and Drainage Plan

The Lantern of Powell
 7700 Dannaher Drive
 Knox County, Tennessee 37849
 MPC Case No. 5-K-20-UR

5-K-20-UR
 Revised: 5/26/2020

- SITE GRADING NOTES:**
1. CONTRACTOR SHALL SLOPE ALL FINISHED GRADES TO PROVIDE POSITIVE DRAINAGE. FLAT AND PONDING AREAS WILL NOT BE ACCEPTABLE.
 2. PROPOSED SPOT ELEVATIONS AND CONTOURS SHALL BE REVIEWED BY CONTRACTOR PRIOR TO GRADING ACTIVITIES TO ENSURE POSITIVE DRAINAGE. ANY ISSUES OR DISCREPANCIES SHOULD BE BROUGHT TO THE ENGINEER'S ATTENTION.
 3. CONTRACTORS SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION OF PROPOSED STORM SEWER. IF EXISTING UTILITIES ARE DIFFERENT THAN SHOWN ON THE PLAN THEN THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
 4. ALL DOWNSPOUT LOCATIONS AND COLLECTOR PIPES SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS.
 5. ALL PROPOSED PIPES LOCATED UNDER PROPOSED BUILDING SHALL BE PVC.

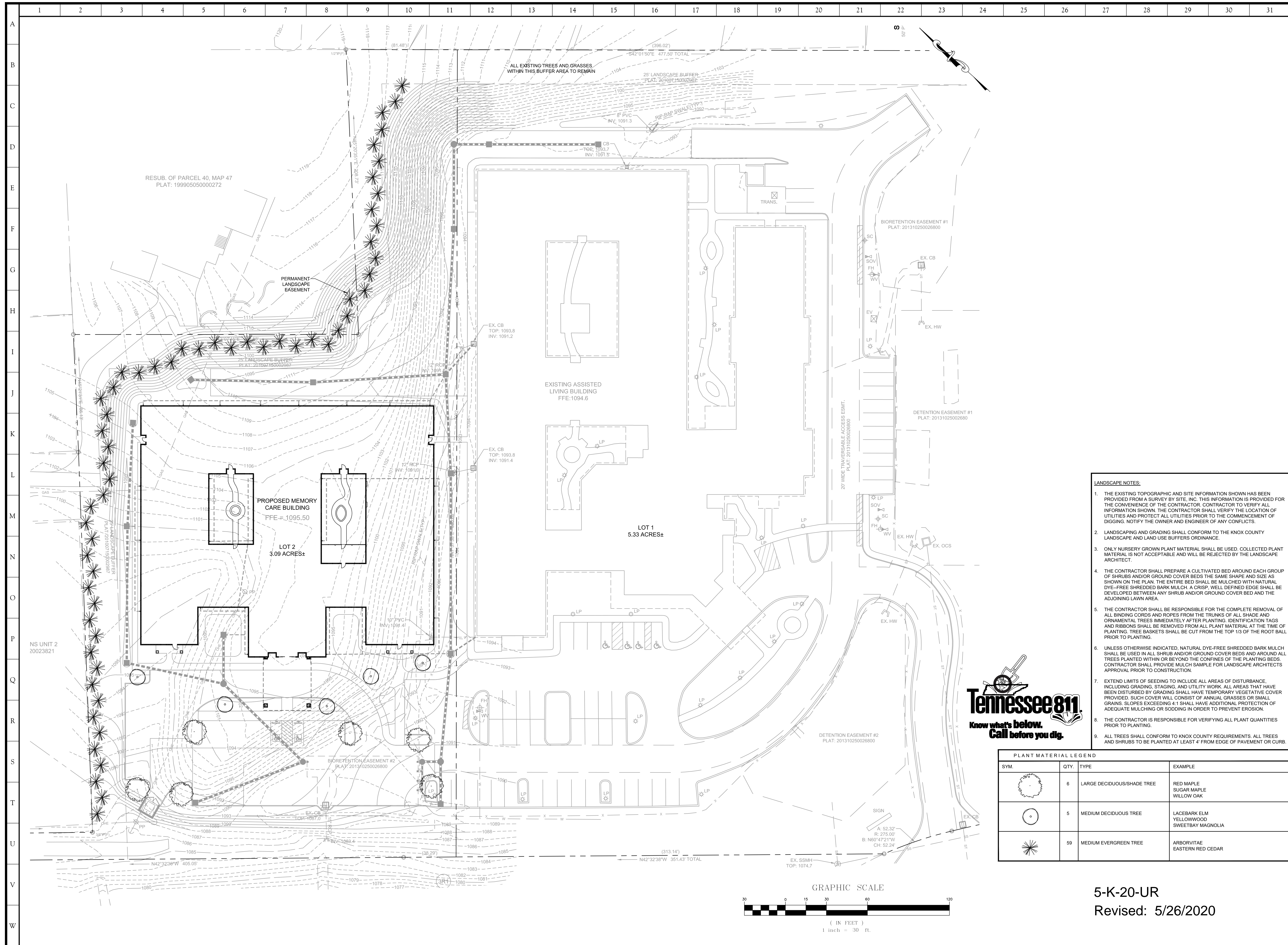
LEGEND	
	EXISTING CONTOUR LINE
	EXISTING STORM SEWER PIPE
	PROPOSED CONTOUR LINE
	PROPOSED STORM SEWER PIPE
	1002.75' PROPOSED SPOT ELEVATION
	TC TOP OF CONCRETE SIDEWALK
	BC BOTTOM OF CONCRETE SIDEWALK
	CIDI PROPOSED CURB INLET/DROP INLET
	JB PROPOSED JUNCTION BOX
	HW-ED PROPOSED ENERGY DISSIPATING HEADWALL



REVISIONS		
NO.	DATE	COMMENTS

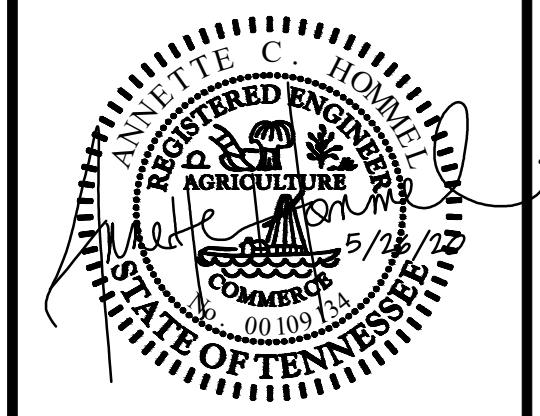
ORIGINAL ISSUE: 05/26/20
 SITE PROJECT #: 2005
 FILE: 2005-Grading

C3.0



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CIVIL ENGINEERS & SURVEYORS

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Use on Review - Landscape Plan

The Lantern of Powell

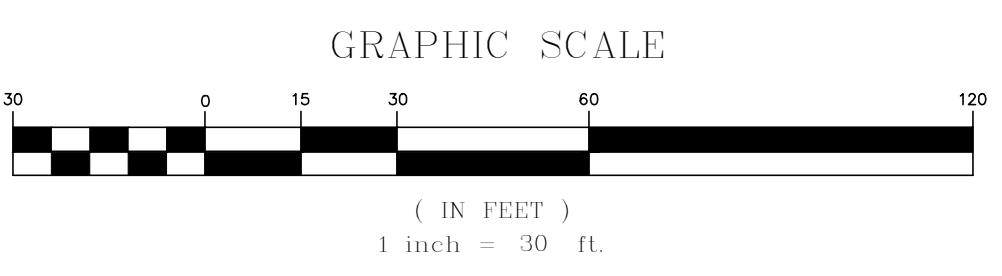
7700 Dannah Drive
Knox County, Tennessee 37849
MPC Case No. 5-K-20-UR

- LANDSCAPE NOTES:**
- THE EXISTING TOPOGRAPHIC AND SITE INFORMATION SHOWN HAS BEEN PROVIDED FROM A SURVEY BY SITE, INC. THIS INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR TO VERIFY ALL INFORMATION SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND PROTECT ALL UTILITIES PRIOR TO THE COMMENCEMENT OF DIGGING. NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
 - LANDSCAPING AND GRADING SHALL CONFORM TO THE KNOX COUNTY LANDSCAPE AND LAND USE BUFFERS ORDINANCE.
 - ONLY NURSERY GROWN PLANT MATERIAL SHALL BE USED. COLLECTED PLANT MATERIAL IS NOT ACCEPTABLE AND WILL BE REJECTED BY THE LANDSCAPE ARCHITECT.
 - THE CONTRACTOR SHALL PREPARE A CULTIVATED BED AROUND EACH GROUP OF SHRUBS AND/OR GROUND COVER BEDS THE SAME SHAPE AND SIZE AS SHOWN ON THE PLAN. THE ENTIRE BED SHALL BE MULCHED WITH NATURAL DYE-FREE SHREDDED BARK MULCH. A CRISP, WELL DEFINED EDGE SHALL BE DEVELOPED BETWEEN ANY SHRUB AND/OR GROUND COVER BED AND THE ADJOINING LAWN AREA.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMOVAL OF ALL BINDING CORDS AND ROPES FROM THE TRUNKS OF ALL SHADE AND ORNAMENTAL TREES IMMEDIATELY AFTER PLANTING. IDENTIFICATION TAGS AND RIBBONS SHALL BE REMOVED FROM ALL PLANT MATERIAL AT THE TIME OF PLANTING. TREE BASKETS SHALL BE CUT FROM THE TOP 1/3 OF THE ROOT BALL PRIOR TO PLANTING.
 - UNLESS OTHERWISE INDICATED, NATURAL DYE-FREE SHREDDED BARK MULCH SHALL BE USED IN ALL SHRUB AND/OR GROUND COVER BEDS AND AROUND ALL TREES PLANTED WITHIN OR BEYOND THE CONFINES OF THE PLANTING BEDS. CONTRACTOR SHALL PROVIDE MULCH SAMPLE FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO CONSTRUCTION.
 - EXTEND LIMITS OF SEEDING TO INCLUDE ALL AREAS OF DISTURBANCE, INCLUDING GRADING, STAGING, AND UTILITY WORK. ALL AREAS THAT HAVE BEEN DISTURBED BY GRADING SHALL HAVE TEMPORARY VEGETATIVE COVER PROVIDED. SUCH COVER WILL CONSIST OF ANNUAL GRASSES OR SMALL GRAINS. SLOPES EXCEEDING 4:1 SHALL HAVE ADDITIONAL PROTECTION OF ADEQUATE MULCHING OR SODDING IN ORDER TO PREVENT EROSION.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO PLANTING.
 - ALL TREES SHALL CONFORM TO KNOX COUNTY REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLANTED AT LEAST 4' FROM EDGE OF PAVEMENT OR CURB.



PLANT MATERIAL LEGEND

SYM.	QTY.	TYPE	EXAMPLE
	6	LARGE DECIDUOUS/SHADE TREE	RED MAPLE SUGAR MAPLE WILLOW OAK
	5	MEDIUM DECIDUOUS TREE	LACEBARK ELM YELLOWWOOD SWEETBAY MAGNOLIA
	59	MEDIUM EVERGREEN TREE	ARBORVITAE EASTERN RED CEDAR



REVISIONS

NO.	DATE	COMMENTS

ORIGINAL ISSUE: 05/26/20
 SITE PROJECT #: 2005
 FILE: 2005-Landscape

C7.0

5-K-20-UR
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