

BUILDING DATA:

OCCUPANCY: R-3/U
TYPE OF CONSTRUCTION: V-B
STORIES: 2
OCCUPANCY LOAD: 10
REQUIRED EXITS: 1

WORK SCOPE:

CONSTRUCTION OF A NEW 3-UNIT
2-STORY TRIPLEX BUILDING TO
INCLUDE ELECTRICAL, HVAC, AND
PLUMBING.


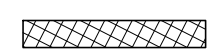

CODE DATA:

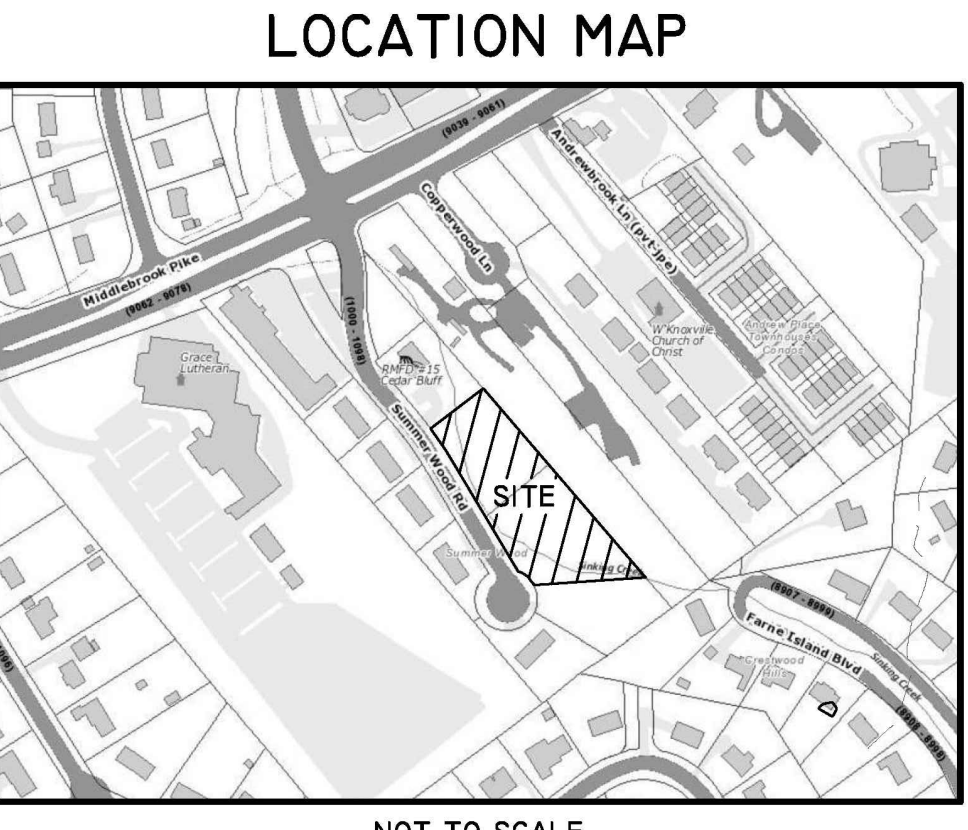
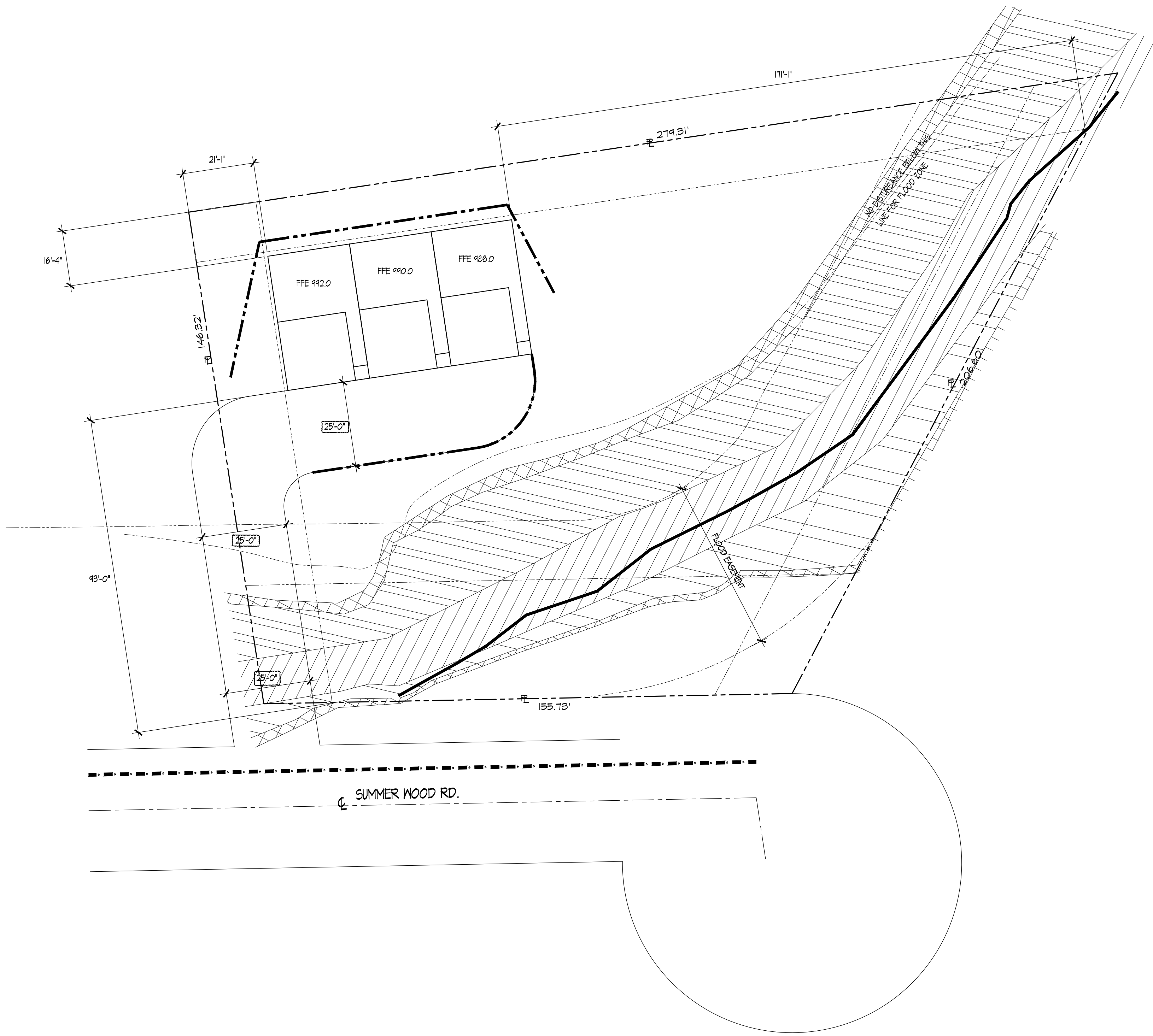
THIS PROJECT SHALL COMPLY WITH
THE LOCAL ORDINANCE AND THE
2018 INTERNATIONAL RESIDENTIAL
CODE.

LEGAL DESCRIPTION:

REFERENCE PLAT: 695-48
SUMMER WOOD ROAD IN THE SIXTH
CIVIL DISTRICT OF KNOX COUNTY
KNOXVILLE, TN 37923

FLOOD LEGEND

-  ZONE AE 100 YEAR FLOOD
-  ZONE X 500 YEAR FLOOD
-  FLOODWAY SINKING CREEK



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- A-1.0 SITE PLAN
- A-2.1 LOWER FLOOR PLAN
- A-2.2 UPPER FLOOR PLAN
- A-3.1 MECHANICAL/ELECTRICAL PLAN - LOWER LEVEL
- A-3.2 MECHANICAL/ELECTRICAL PLAN - UPPER LEVEL
- A-4.0 SCHEDULES
- A-5.1 ELEVATIONS
- A-5.2 ELEVATIONS, CONTD.
- A-5.3 ROOF PLAN
- A-6.1 SECTIONS
- A-6.2 SECTIONS, CONTD.
- A-7.1 DIMENSIONED SLAB EDGE PLAN
- A-7.2 FOUNDATION PLAN
- A-7.3 FOUNDATION PLAN DETAILS
- A-8.1 FLOOR FRAMING PLAN
- A-8.1 FLOOR FRAMING PLAN
- A-9.1 ROOF FRAMING PLAN

GENERAL NOTES:

1. THESE NOTES SHALL BE USED IN CONJUNCTION WITH THE PLANS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE OWNER AND/OR ARCHITECT WHOSE SIGNATURE APPEARS HEREON.
2. THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL CHECK ALL DIMENSIONS, FRAMING CONDITIONS, AND ON-SITE CONDITIONS PRIOR TO STARTING ANY WORK. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTOR. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES, ERRORS OR OMISSIONS.
3. DIMENSIONS, AS INDICATED ARE THE DIMENSIONS THAT SHALL BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS. NOTES & DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES. ALL DIMENSIONS ARE TAKEN TO THE ROUGH (U.O.N. ON PLANS). THE DRAWINGS & SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE CONTRACTOR AND/OR SUB-CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS HE SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE AFOREMENTIONED MATERIALS.
5. GRADING & DRAINAGE: ALL PAVING, FLAT WORK AND PLANTERS NEXT TO THE BUILDING SHALL BE PROPERLY GRADED TO CARRY WATER AWAY FROM THE BUILDING.
6. OBSERVATION VISITS TO THE JOB SITE BY THE ARCHITECT DO NOT INCLUDE INSPECTION OF CONSTRUCTION PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS AND FOR SAFETY CONDITIONS AT THE WORK SITE. THESE VISITS SHALL NOT BE CONSIDERED AS CONTINUOUS AND DETAILED INSPECTIONS.

GENERAL REQUIREMENTS:

1. **SCOPE:** ALL TRADERS SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND PERFORM ALL WORK NECESSARY, INDICATED, REASONABLY INFERRED, OR REQUIRED BY ANY CODE WITH JURISDICTION, TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB. ALL WORK SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (APPLICABLE EDITION) AND LOCAL GOVERNING AGENCIES.
2. **PERMITS:** THE GENERAL BUILDING PERMIT & PLAN CHECK FEES SHALL BE SECURED AND PAID FOR BY THE SUB-CONTRACTOR DIRECTLY RESPONSIBLE.
3. **INTENTION:** THE INTENTION OF THIS DOCUMENT IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND TRANSPORTATION NECESSARY FOR A COMPLETE AND PROPER EXECUTION OF THE WORK DESCRIBED.
4. **CHANGES:** THE OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK. THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY.
5. **CUTTING & PATCHING:** ALL TRADERS SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT TO RECEIVE OR BE RECEIVED BY THE WORK OF OTHER TRADES.
6. **CLEANUP:** ALL TRADES SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK.
7. **GENERAL:**
 - A. ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO CURRENT BIC CODES AS NOTED ON COVER SHEET OF PLANS.
 - B. DESIGN MATERIALS, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED BELOW OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE, PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE OWNER, ARCHITECT AND APPLICABLE GOVERNING AGENCIES. REFERENCES TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAILS OR DRAWINGS.
 - C. THE ARCHITECT SHALL IN NO WAY BE RESPONSIBLE FOR HOW THE FIELD WORK IS PERFORMED, SAFETY IN, OR ABOUT THE JOB SITE METHODS OF PERFORMANCE OR TIMELINESS IN THE PERFORMANCE OF THE CONTRACTOR OR SUBCONTRACTOR'S WORK.

12" sewer pipe required, coordinating with WKUD for GPS points on location.

- NOTE: AREA OF DISTURBANCE 0.58 ACRES
- NOTE: MINIMUM FLOOR ELEVATIONS SHALL BE 986.5 MFE
- NOTE: PLANNING COMMISSION FILE NUMBER 3-L-25-DP.

Revisions:
INITIAL SUBMITTAL
12/04/24
FIELD REVISION
02/07/25
BUILDING DEPT. REV.
2/25/2025
DM

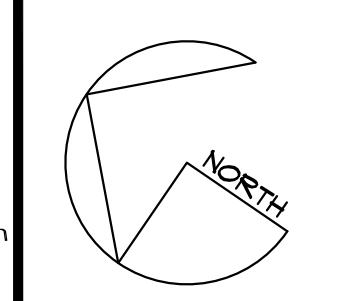
DMA
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 3795 PARKER HARRISON WAY, KNOXVILLE TN, 37924

Project and Location:
EGM PROPERTIES TRIPLEX
 SUMMER WOOD RD.
 KNOXVILLE, TN 37923

Drawn by SP
 Checked by
 Date 11/10/24
 Job No. TN24-033



Scale:
 1" = 20'-0"



Sheet Number
A-1
 Of Sheets

ALL SETBACKS, ETC. ARE UNLESS OTHERWISE SPECIFIED OR INDICATED BY THE DRAWINGS AND SHOWN BY THE PROPERTY OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE GOVERNING AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE GOVERNING AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE GOVERNING AGENCIES.

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UNIT 1 SQUARE FOOTAGE:

LOWER FLOOR PLAN:	
LIVING:	522 SQ.FT.
GARAGE:	423 SQ.FT.
UPPER FLOOR PLAN:	
LIVING:	864 SQ.FT.
TOTAL LIVING:	1386 SQ.FT.

UNIT 2 SQUARE FOOTAGE:

LOWER FLOOR PLAN:	
LIVING:	522 SQ.FT.
GARAGE:	423 SQ.FT.
UPPER FLOOR PLAN:	
LIVING:	864 SQ.FT.
TOTAL LIVING:	1386 SQ.FT.

UNIT 3 SQUARE FOOTAGE:

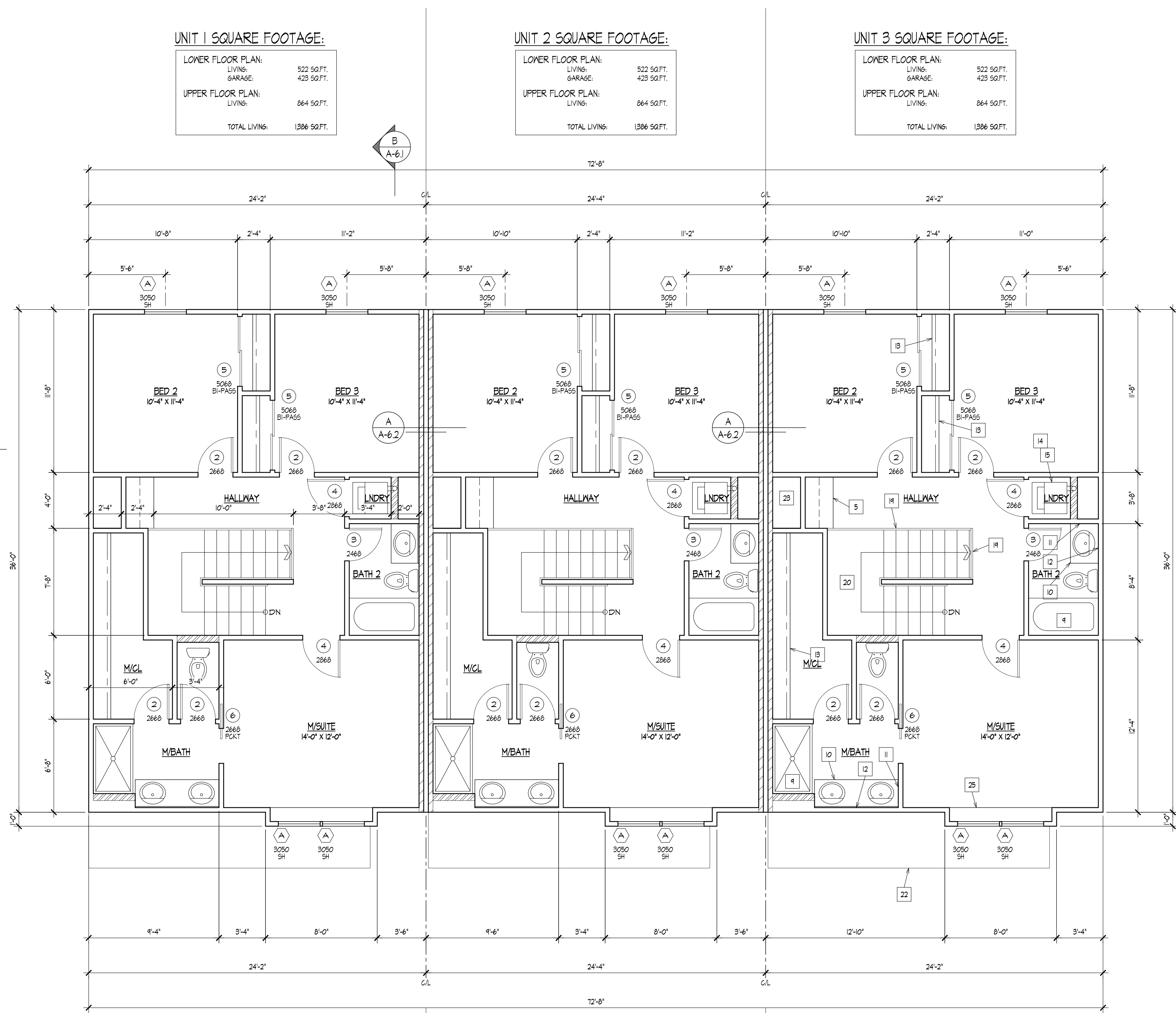
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FLOOR PLAN NOTES

- CONTRACTOR AND/OR SUBCONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, DATA, DIMENSIONS, SPEC. S. AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK. REPORT ANY ONCE TO THE ARCHITECT ANY ERROR INCONSISTENCY OR OMISSION THAT IS DISCOVERED.
- CONTRACTOR SHALL VERIFY OWNER ALL FINISHES & MATERIALS PRIOR TO PURCHASE AND/OR INSTALLATION.
- CONTRACTOR SHALL NOT MAKE ANY CHANGES OR DEVIATE FROM THESE PLANS WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ARCHITECT. IF OWNER AUTHORIZES ANY CHANGES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- ALL DIMENSIONS ARE TAKEN TO FACE OF STUD (UNO.) IN CASE OF CONFLICT, NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE DRAWINGS. (DO NOT SCALE DRAWINGS!)

FLOOR PLAN SCHEDULE

- INDICATES NOTES APPLICABLE TO THIS PLAN ONLY
UNO. = UNLESS NOTED OTHERWISE, TYPICAL ALL UNITS.
1. DOUBLE SINK W/ GARBAGE DISPOSAL. PROVIDE REQUIRED ELECTRIC AND WASTE.
 2. BUILT-IN DISHWASHER. VERIFY DIMENSIONS WITH MFG.
 3. SLIDE-IN RANGE W/ EYE LEVEL MICROWAVE OR 2ND OVEN W/ VENT TO OUTSIDE AIR. SEE MECH/ELEG PLAN FOR ADDITIONAL INFO.
 4. 3" CLEAR REFRIGERATOR/FREEZER SPACE. VERIFY DIMENSIONS WITH MFG. STUB-OUT COLD WATER FOR ICE MAKER. VERIFY W/ MFG.
 5. CABINETS @ 24" AFF. W/ CABINETS ABOVE. VERIFY W/ OWNER. CABINETS ABOVE.
 6. ISLAND CABINETS @ 36" AFF. W/ TILE TOP. VERIFY W/ OWNER. MIRROR FIXED TO WALL ABOVE FLASH W/ TOP @ 12" AFF.
 7. SHELF W/ POLE AND METAL BRACKETS.
 8. DRYER SPACE. SEE MECH/ELEG PLAN FOR ADDITIONAL INFO.
 9. WASHER SPACE. SEE MECH/ELEG PLAN FOR ADDITIONAL INFO.
 10. FAUJ ON 18" HIGH PLYWOOD PLATFORM. SEE MECH/ELEG PLAN FOR ADDITIONAL INFORMATION.
 11. WATER HEATER ON 18" W/ WOOD FRAMED PLATFORM USE NON-RIGID CONNECTIONS AND STRAP FOR LATERAL SUPPORT W/ "SIMPSON" C56 TOP AND BOTTOM. SEE MECH/ELEG PLANS FOR ADD. INFO.
 12. SOFFIT.
 13. GUARDRAIL @ 42" AFF.
 14. STAIRS SHALL MEET THE FOLLOWING REQUIREMENTS PER IBC:
 - a. MAX. RISER HEIGHT (RISE) = 7.75"
 - b. MIN. TREAD (RUN) = 10". MIN. TREAD DEPTH AT WALK LINE = 10" MIN. AND 6" MIN. AT NARROWEST EDGE. FOR TREADS LESS THAN 11" THE NOSING SHALL BE .75" MIN. AND 1.25" MAX.
 - c. MIN. WIDTH = 3'-0"
 - d. MIN. HEAD ROOM = 6'-8"
 - e. PROVIDE CONTINUOUS HANDRAIL FOR STAIRS W/ 4 OR MORE RISERS.
 - f. HANDRAILS SHALL BE 34" MIN. TO 38" MAX. ABOVE NOSING.
 - g. INTERMEDIATE BALUSTERS SHALL BE 4375" O.C. MAX. ON OPEN SIDE.
 - h. HANDRAIL GRIP, CIRCULAR = 1.25" MIN. DIA. 2" MAX. DIA. NON-CIRCULAR = 4" MIN. 6.25" MAX. PERIMETER DIM. W/ 2.25" MAX. CROSS-SECTIONAL DIMENSION. RADIUS EDGES = 0.20" MIN.
 - i. HANDRAILS SHALL RETURN TO WELVEL OR POSTS.
 - j. HANDRAILS AND GUARDRAILS SHALL BE INSTALLED TO RESIST A SINGLE CONCENTRATED LOAD OF 200 LBS. PER EC.
 - k. ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS SHALL HAVE 0.5" MIN. GYPSUM BOARD AND ONE-HOUR FIRE-RESISTIVE CONSTRUCTION.
 15. WALL ABOVE.
 16. WALL BELOW.
 17. DUCT CHASE.
 18. POST PER PLANS.
 19. SHELF.
 20. SEE FOUNDATION PLAN FOR CMU WALL DETAIL & MORE INFO.



TOTAL SQUARE FOOTAGE:

LOWER FLOOR PLAN:	
LIVING:	1566 SQ.FT.
GARAGE:	1264 SQ.FT.
UPPER FLOOR PLAN:	
LIVING:	2542 SQ.FT.
TOTAL LIVING:	4108 SQ.FT.

WALL LEGEND

	2x4 WALLS
	2x6 PLUMBING WALLS
	2x4 DEMISING WALLS, SEE PROVIDED DETAIL

Revisions:
 INITIAL SUBMITTAL 12/04/24 SP
 FIELD REVISION 02/07/25 SP

DMA
 DAVE MADDEN ARCHITECTURE
 Phone 865-710-4466 • E-Mail: dave@davedma.com
 3795 PARKER HARRISON WAY, KNOXVILLE TN, 37924

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Drawn by SP
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A-2.2
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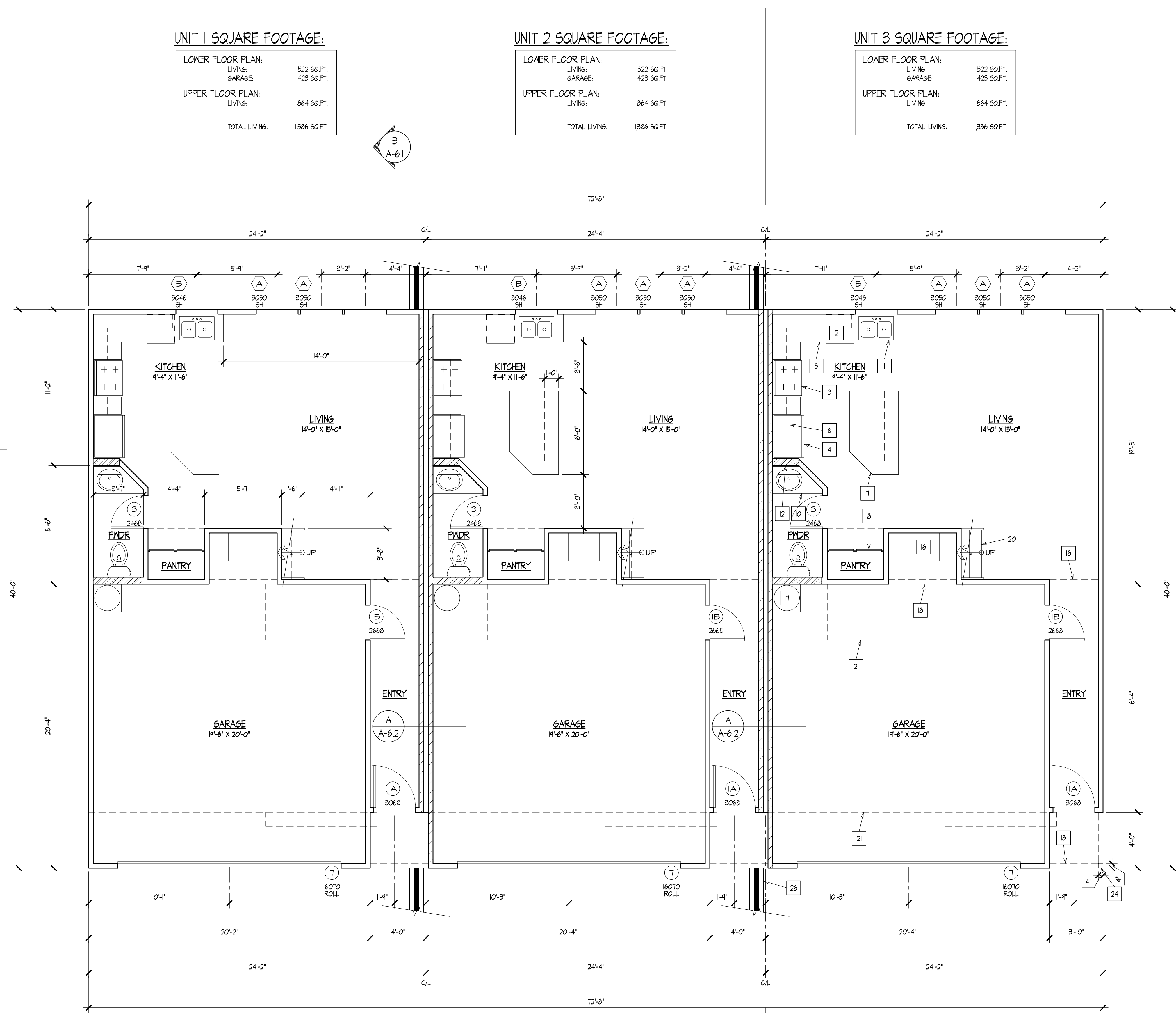
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 - CABINETS @ 36" AFF. W/ CABINETS ABOVE. VERIFY W/ OWNER. CABINETS ABOVE.
 - ISLAND CABINETS @ 36" AFF. IN TILE TOP. VERIFY W/ OWNER.
 - FACE FRAME PANTRY CABINET W/ SHELVES IS HIGH.
 - (1) PIECE FIBERGLASS TUB/SHOWER W/ TEMP GLASS ENCLOSURE. BUILT-IN VANITY W/ DRAWER.
 - RECESSED MIRROR CABINET W/ TOP TO ALIGN WITH MIRROR. MIRROR FIXED TO WALL ABOVE FLASH W/ TOP @ 12" A.F.F.
 - SHelf W/ POLE AND METAL BRACKETS.
 - DRYER SPACE. SEE MECH/ELEG PLAN FOR ADDITIONAL INFO.
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 - e. PROVIDE CONTINUOUS HANDRAIL FOR STAIRS W/ 4 OR MORE RISERS.
 - f. HANDRAILS SHALL BE 34" MIN. TO 38" MAX. ABOVE NOSING.
 - g. INTERMEDIATE BALUSTERS SHALL BE 43.75" O.C. MAX. ON OPEN SIDE.
 - h. HANDRAIL GRIP, CIRCULAR = 1.25" MIN. DIA. 2" MAX. DIA. NON-CIRCULAR = 4" MIN. 6.25" MAX. PERIMETER DIM. W/ 2.25" MAX. CROSS-SECTIONAL DIMENSION. RADIUS EDGES = 0.20" MIN.
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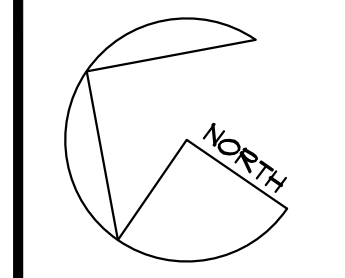
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3795 PARKER HARRISON WAY, KNOXVILLE TN, 37924

FLOOR PLAN - LOWER LEVEL

FGM PROPERTIES TRIPLEX
SUMMER WOOD RD.
KNOXVILLE, TN 37923



Drawn by SP
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