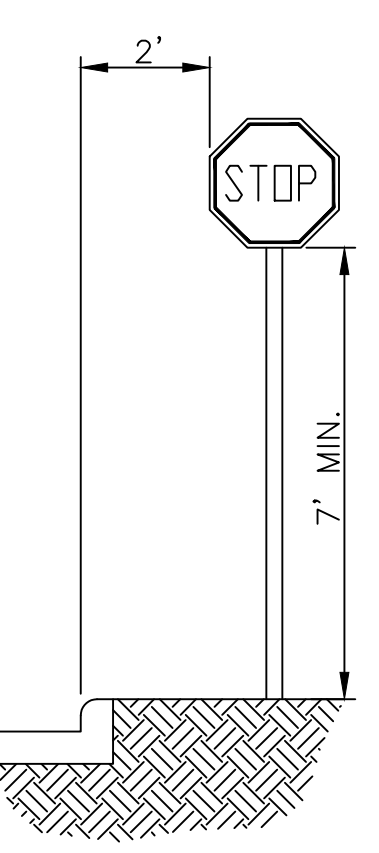
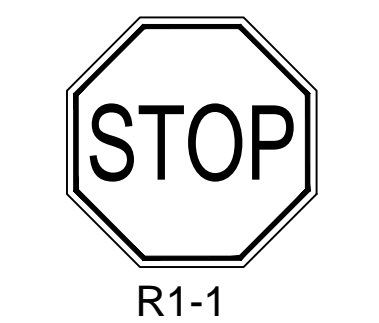


- NOTES:
1. ALL DIMENSIONS ARE SCALED AND SUBJECT TO CHANGE ON THE FINAL PLAN.
 2. A 10' DRAINAGE, UTILITY AND CONSTRUCTION EASEMENT EXISTS INSIDE ALL EXTERIOR LOT LINES AND ROAD LINES, 5' EACH SIDE OF INTERIOR ROAD LINES.
 3. A 15' UTILITY EASEMENT EXISTS 7.5' EACH SIDE OF CENTERLINE OF SANITARY SEWER AS INSTALLED.
 4. THIS PROPERTY CONTAINS APPROXIMATELY 5.8 ACRES OF 36 DWELLING UNITS.
 5. THIS PROPERTY IS ZONED RN-3
 6. ALL ROAD PROFILES ARE BASED ON KNOXVILLE/KNOX COUNTY GIS CONTOURS.
 7. UTILITIES:
WATER: KNOXVILLE UTILITIES BOARD
SEWER: KNOXVILLE UTILITIES BOARD
ELECTRIC: KNOXVILLE UTILITIES BOARD
GAS: KNOXVILLE UTILITIES BOARD
TELEPHONE: BELLSOUTH
 8. BOUNDARY SURVEY BY OTHERS.
 9. GEOTECHNICAL ENGINEER SHALL CERTIFY THE SLOPE STABILITY ON ALL FILL SLOPES.
 10. TOTAL SITE AREA OF THIS PROPERTY IS 5.76 ACRES. THE PROPOSED IMPERVIOUS AREA IS 2.45 ACRES. THE TOTAL DISTURBED AREA IS 4.30 ACRES.
 11. THE HILLSIDE PROTECTION AREA WITHIN THE DISTURBED AREA IS 1.81 ACRES.
 12. EACH NEW UNIT HAS ITS OWN PARKING. THIS CONSISTS OF 32 UNITS @ 2 SPACES PER UNIT = 64 SPACES. THERE ARE 16 ADDITIONAL PARKING SPACES, 3 ADA PARKING SPACES, AND ONE BIKE RACK.



TYPICAL STOP SIGN LOCATION

3-H-20-SU
Revised: 3/23/2020

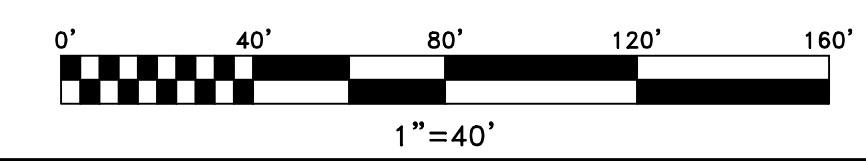


DEVELOPER
J.A. MURPHY GROUP, LLC
6514 DEANE HILL DR.
KNOXVILLE, TN 37919
PHONE: (865) 558-0577

BATSON, HIMES, NORVELL & POE
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE: (865) 588-6472
FAX: (865) 588-6473
email@bhn-p.com

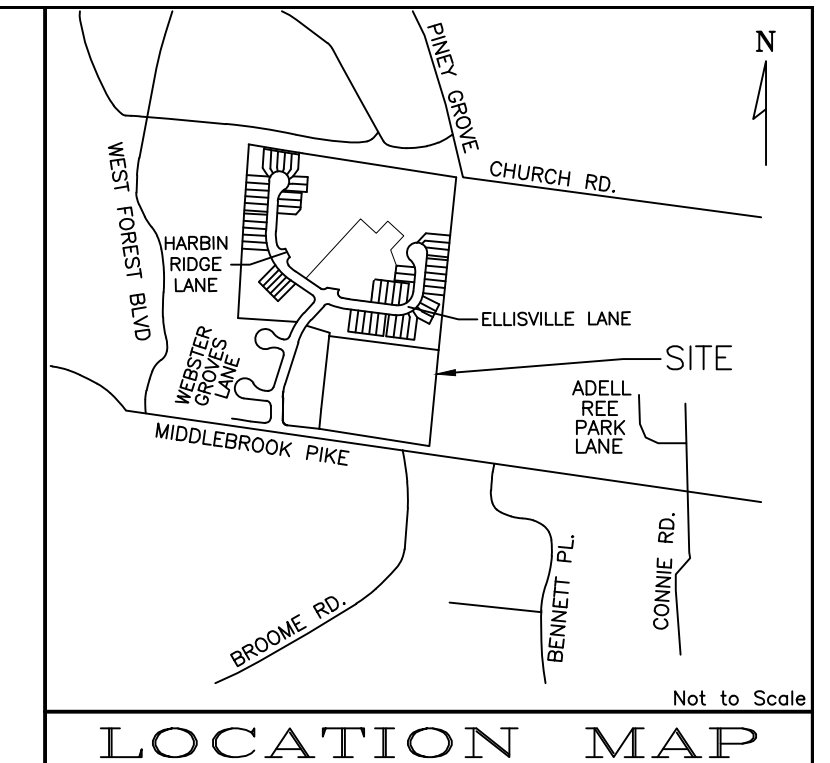
DESIGNED	DBH	DATE	REVISION	APPR.	NO.	DATE	REVISION	APPR.
DRAWN	EEG							
CHECKED	DBH	1/03/2020						

SCALE
1" = 40'
DATE
1/23/2020



SITE PLAN FOR
MURPHY GROUP—MIDDLEBROOK PIKE
TAX MAP 106JA, PARCEL 40
DISTRICT #6, KNOX COUNTY, TENNESSEE
CITY BLOCK 46730, 46TH WARD, CITY OF KNOXVILLE

25224-C
SHEET 1 OF 3 SHEET(S)
Q:\25224\25224.DWG



- NOTES:
- ALL DIMENSIONS ARE SCALED AND SUBJECT TO CHANGE ON THE FINAL PLAN.
 - A 10' DRAINAGE, UTILITY AND CONSTRUCTION EASEMENT EXISTS INSIDE ALL EXTERIOR LOT LINES AND ROAD LINES, 5' EACH SIDE OF INTERIOR ROAD LINES.
 - A 15' UTILITY EASEMENT EXISTS 7.5' EACH SIDE OF CENTERLINE OF SANITARY SEWER AS INSTALLED.
 - THIS PROPERTY CONTAINS APPROXIMATELY 5.8 ACRES OF 36 DWELLING UNITS.
 - THIS PROPERTY IS ZONED RN-3
 - ALL ROAD PROFILES ARE BASED ON KNOXVILLE/KNOX COUNTY GIS CONTOURS.
 - UTILITIES:
WATER: KNOXVILLE UTILITIES BOARD
SEWER: KNOXVILLE UTILITIES BOARD
ELECTRIC: KNOXVILLE UTILITIES BOARD
GAS: KNOXVILLE UTILITIES BOARD
TELEPHONE: BELLSOUTH
 - BOUNDARY SURVEY BY OTHERS.
 - GEOTECHNICAL ENGINEER SHALL CERTIFY THE SLOPE STABILITY ON ALL FILL SLOPES.
 - TOTAL SITE AREA OF THIS PROPERTY IS 5.76 ACRES. THE PROPOSED IMPERVIOUS AREA IS 2.45 ACRES. THE TOTAL DISTURBED AREA IS 4.30 ACRES.
 - THE HILLSIDE PROTECTION AREA CONSISTS OF 2.21 ACRES. THE AREA OF DISTURBANCE WITHIN THE HILLSIDE PROTECTION AREA IS 1.81 ACRES (82%).
 - EACH NEW UNIT HAS ITS OWN PARKING. THIS CONSISTS OF 32 UNITS @ 2 SPACES PER UNIT = 64 SPACES. THERE ARE 16 ADDITIONAL PARKING SPACES, 3 ADA PARKING SPACES, AND ONE BIKE RACK.

3-H-20-SU
Revised: 3/23/2020



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DESIGNED	DBH								
DRAWN	EEG								
CHECKED	DBH	1	03/12/20						
		NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE

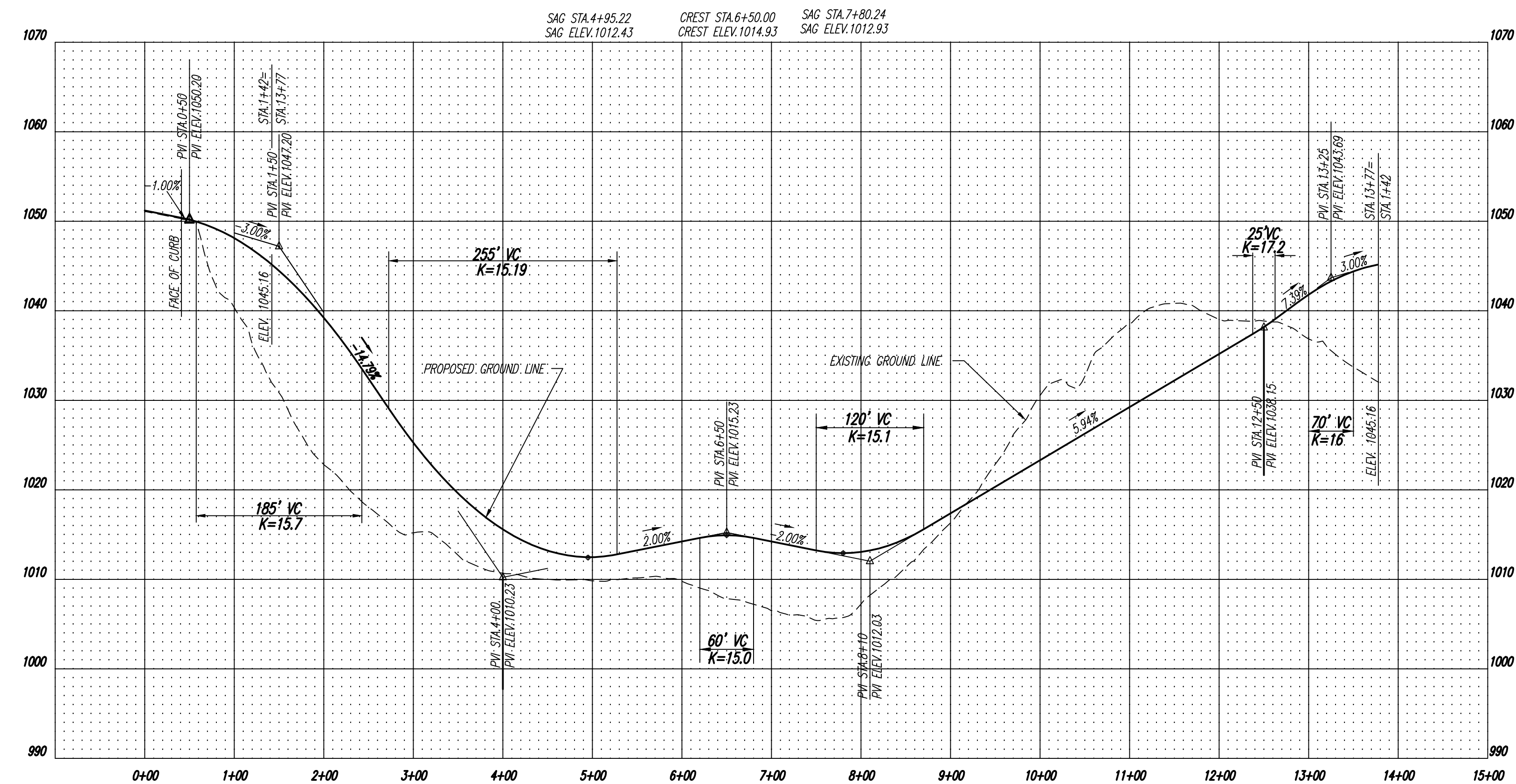
SCALE
HORIZONTAL: 1" = 30'
VERTICAL: 2" = INTERVAL

DATE
01/23/2020

0' 30' 60' 90' 120'
1" = 30'

GRADING & DRAINAGE PLAN FOR
MURPHY GROUP-MIDDLEBROOK PIKE
TAX MAP 106JA PARCEL 40
DISTRICT #6, KNOX COUNTY, TENNESSEE
CITY BLOCK 46730, 46TH WARD, CITY OF KNOXVILLE

25224-GP
SHEET 3 OF 3 SHEET(S)
Q:\25224\25224.DWG



DRIVEWAY PROFILE
 SCALE: 1"=100' HORIZ.
 1"=10' VERT.

3-H-20-SU
 Revised: 3/23/2020



DEVELOPER
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DESIGNED	DBH	NO.	DATE	REVISION	APPR.	NO.	DATE	REVISION	APPR.
DRAWN	EEG								
CHECKED	DBH	1	03/12/20	KKCP COMMENTS					
				REVISION					

SCALE
 HORIZONTAL: 1"= 100'
 VERTICAL: 1"=10'
 DATE
 1/23/20

ROAD PROFILE FOR
MURPHY GROUP-MIDDLEBROOK PIKE
 TAX MAP 106JA, PARCEL 40
 DISTRICT #6, KNOX COUNTY, TENNESSEE
 CITY BLOCK 46730, 46TH WARD, CITY OF KNOXVILLE

25224-RP
 SHEET 2 OF 3 SHEET(S)
 Q:\25224\25224.DWG