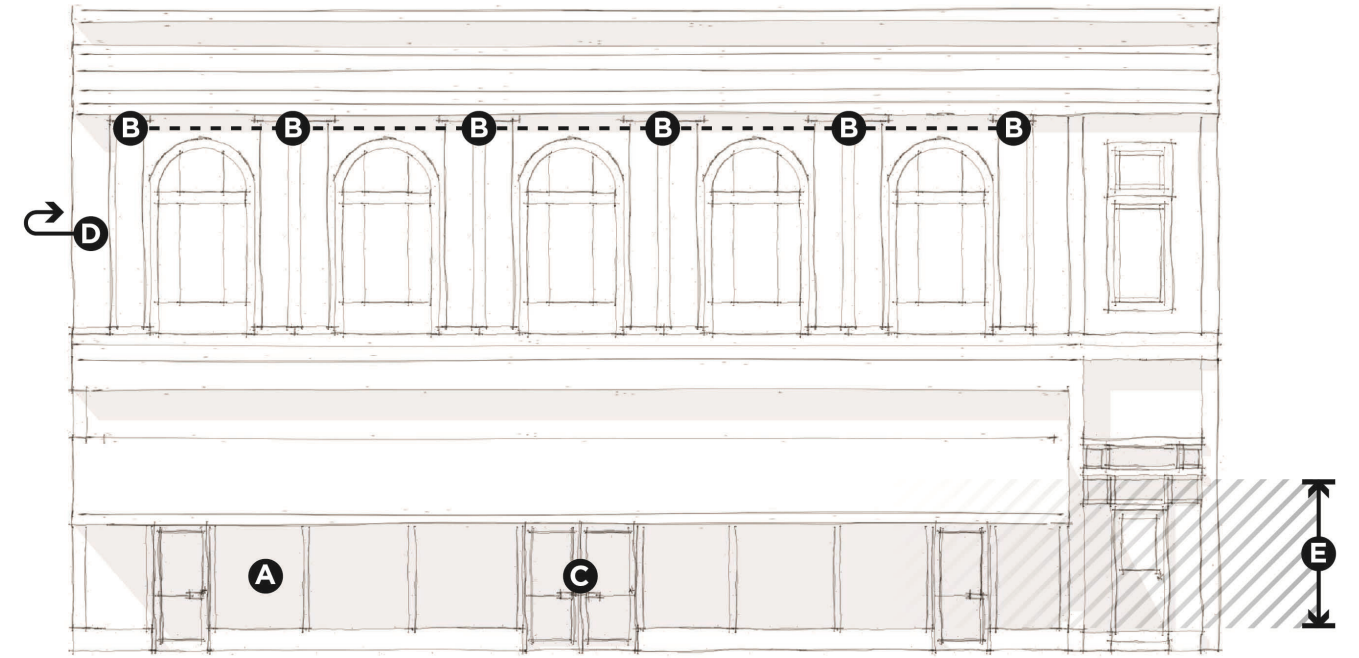


# SITE, ZONING & BUILDING CODE REQUIREMENTS

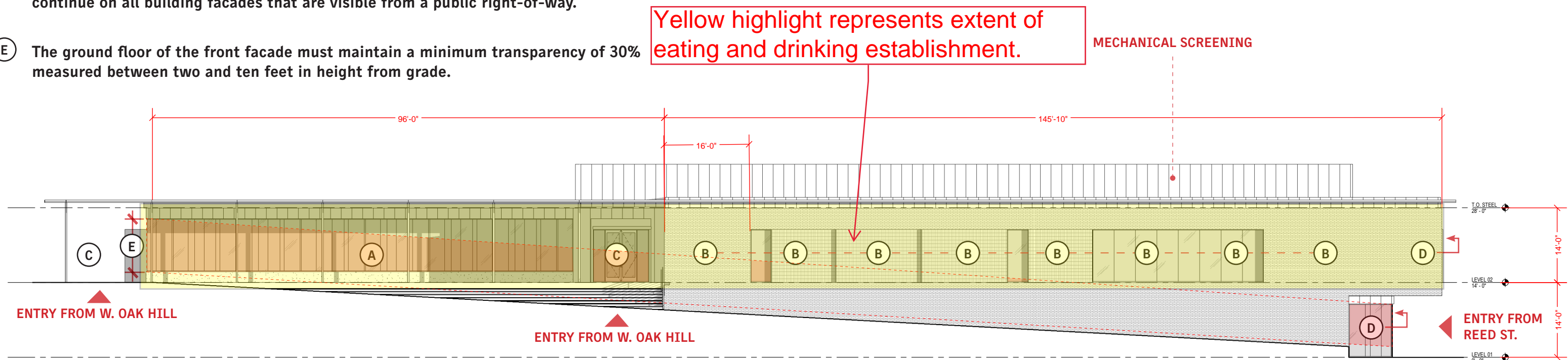
SCALE: N.T.S.

## C-N ZONING DESIGN STANDARDS

- Ⓐ Building facades that abut a public right-of-way must not contain blank wall areas that exceed 30 linear feet, measured per story parallel to the street.
- Ⓑ Building facades in excess of 100 linear feet that abut a public right-of-way must include a repeating pattern with no less that two of the following elements: texture change, material module, or a wall articulation change of no less than 2 feet in depth.
- Ⓒ All buildings must have a public entrance from the sidewalk along the primary building frontage. Public entrances must be visually distinctive from the remaining portions of the facade along which they are located.
- Ⓓ Building materials and visual elements used on the primary building frontage must continue on all building facades that are visible from a public right-of-way.
- Ⓔ The ground floor of the front facade must maintain a minimum transparency of 30% measured between two and ten feet in height from grade.



ARTICLE 5; 5.4B C-N DISTRICT DESIGN STANDARDS



NORTH ELEVATION AT W. OAK HILL AVE.

GROUND FLOOR MEASURED BETWEEN TWO AND TEN FEET IN HEIGHT FROM GRADE = 2,086 SF X .3 = 625 SF REQUIRED

TRANSPARENCY = 709.81 SF PROVIDED

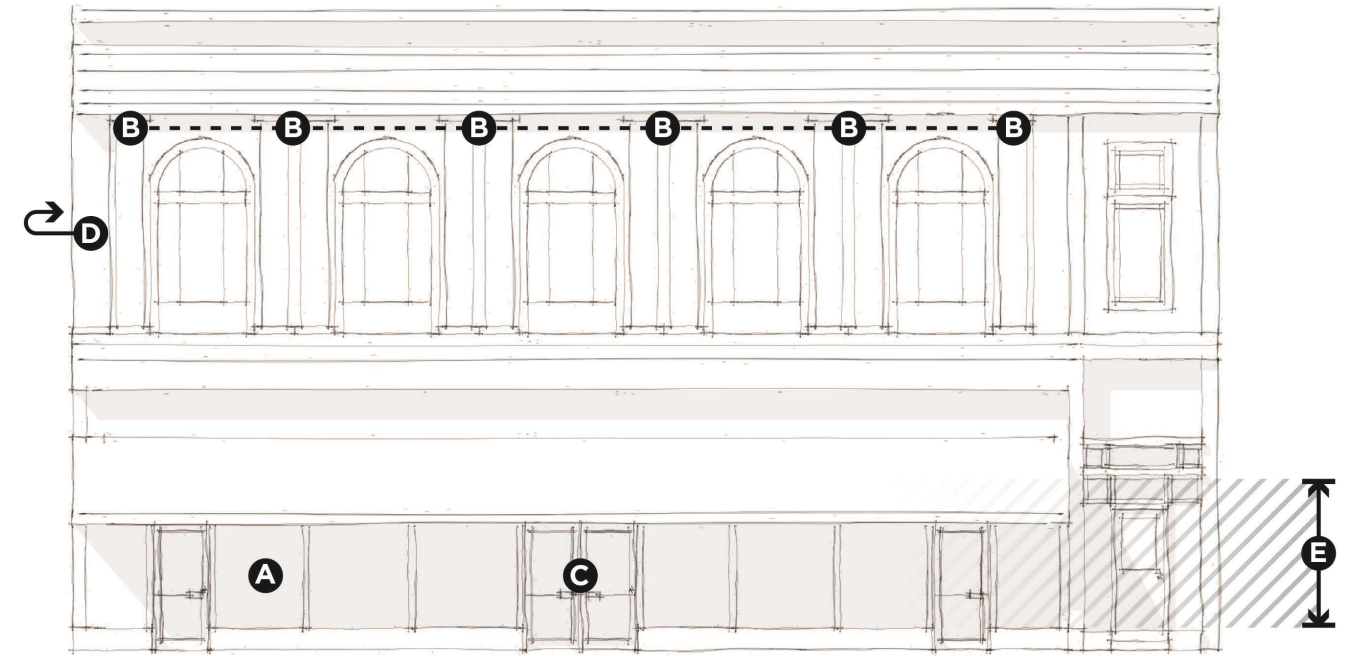
3-G-25-SU  
Revised: 2/19/2025

# SITE, ZONING & BUILDING CODE REQUIREMENTS

SCALE: N.T.S.

## C-N ZONING DESIGN STANDARDS

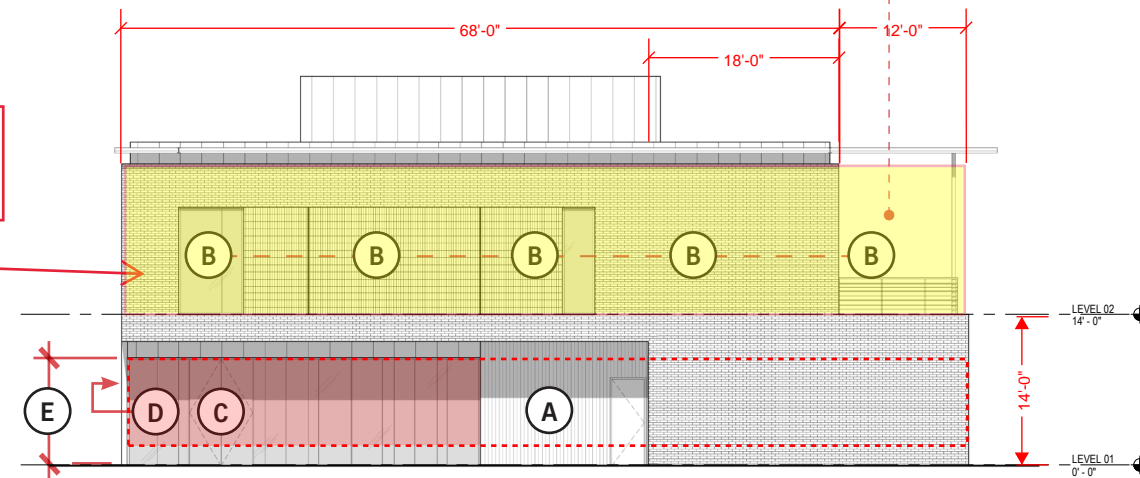
- (A) Building facades that abut a public right-of-way must not contain blank wall areas that exceed 30 linear feet, measured per story parallel to the street.
- (B) Building facades in excess of 100 linear feet that abut a public right-of-way must include a repeating pattern with no less that two of the following elements: texture change, material module, or a wall articulation change of no less than 2 feet in depth.
- (C) All buildings must have a public entrance from the sidewalk along the primary building frontage. Public entrances must be visually distinctive from the remaining portions of the facade along which they are located.
- (D) Building materials and visual elements used on the primary building frontage must continue on all building facades that are visible from a public right-of-way.
- (E) The ground floor of the front facade must maintain a minimum transparency of 30% measured between two and ten feet in height from grade.



ARTICLE 5; 5.4B C-N DISTRICT DESIGN STANDARDS

SECOND FLOOR COVERED TERRACE

Yellow highlight represents extent of eating and drinking establishment.



ENTRY FROM REED ST.

WEST ELEVATION AT REED STREET

GROUND FLOOR MEASURED BETWEEN TWO AND TEN FEET IN HEIGHT FROM GRADE =  $620.5 \text{ SF} \times .3 = 186.15 \text{ SF}$  REQUIRED

TRANSPARENCY = 258.4 SF PROVIDED

3-G-25-SU  
Revised: 2/19/2025

- PROVIDE FIRE TREATED WOOD BLOCKING AND UTILITIES NECESSARY FOR ITEMS NOT IN CONTRACT (N.I.C.). COORDINATE WITH OWNER FOR EXACT LOCATIONS OF OWNER-FURNISHED ITEMS.
- PROVIDE BLOCKING AS REQ'D FOR ALL CASEWORK AND EQUIPMENT.
- DIMENSIONS ARE FROM FACE OF STUD, CENTERLINE OF STRUCTURAL STEEL, AND FACE OF CMU BLOCK/CONCRETE, U.N.O.
- THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. (WALLS WHICH SUPPORT JOISTS, RAFTERS, ETC., AND ARE LATERALLY SUPPORTED BY SAME SHALL BE BRACED UNTIL ALL CONSTRUCTION IS COMPLETED.)
- AT PENETRATIONS BY DUCTWORK, PIPING, OR OTHER OPENINGS PROVIDE APPROPRIATE LOAD-CARRYING LINTELS OR HEADERS INSTALLED OVER THE OPENINGS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY.
- THE CONTRACTOR SHALL COORDINATE THE ARCHITECTURAL, MECHANICAL, ELECTRICAL WITH THE STRUCTURAL DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE THE PLACEMENT OF THE FOOTINGS, COLUMNS, SLABS, WALLS, SHAFTS, ETC. WITH ALL SUBCONTRACTORS INVOLVED.
- THE CONTRACTOR SHALL COORDINATE TOP OF FOOTING ELEVATIONS WITH PLUMBING, MECHANICAL, ELECTRICAL, ETC.
- SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF CONTROL JOINTS IN FLOOR SLABS.
- PROVIDE ACOUSTIC INSULATION BATTS IN WALLS WHERE INDICATED ON PLAN. PROVIDE ACOUSTIC INSULATION BATTS AROUND ALL MECHANICAL ROOMS AND BATHROOMS.
- HANDLE AND DISPOSE OF DEBRIS, MATERIALS AND TRASH IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS AND REGULATIONS.
- SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS.
- CONTRACTOR SHALL COMPLETE ALL INSULATION WORK AND CONTACT ARCHITECT TO RECEIVE FIELD APPROVAL PRIOR TO INSTALLATION OF INTERIOR FINISHES.
- REFER TO SCHEDULES AND SPECIFICATIONS FOR ALL INTERIOR FINISHES.
- ALL DIMENSIONS MARKED "V.I.F." SHALL BE VERIFIED WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK. REPORT ALL DISCREPANCIES TO ARCHITECT.
- CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION WITH OTHER TRADES. FAILURE TO FAMILIARIZE THEMSELVES WITH OTHER TRADES IN THE CONTRACT DOCUMENTS SHALL RESULT IN CORRECTING AND/OR PROVIDING THESE SERVICES AT NO ADDITIONAL COST TO THE OWNER.
- IN CASE OF DIMENSIONAL DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS, ARCHITECTURAL DIMENSIONS SHALL GOVERN.
- ALL DOORS TO BE HINGED 4" FROM ANY ADJOINING WALL U.N.O.
- CONTRACTOR SHALL NOT SCALE THIS OR ANY OTHER DRAWING IN CONTRACT DOCUMENTS. DIMENSIONS SHALL ALWAYS BE USED FOR REFERENCE. CONTACT ARCHITECT FOR ADDITIONAL DIMENSIONAL INFORMATION OR FOR CLARIFICATION CONCERNING ANY DISCREPANCIES.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS CONCERNING FIXTURE AND EQUIPMENT LOCATIONS ON-SITE. IN THE EVENT DIMENSIONS ARE IN QUESTION OR IF ANY DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL LIMIT DISTURBANCE TO EXISTING LANDSCAPING THROUGHOUT CONSTRUCTION.
- SOUND WRAP ALL SOILINES AND DOWNSPOUTS IN OCCUPIED SPACES.
- PROVIDE MOISTURE RESISTANT GWB @ ALL WET AREAS.
- ALL WOOD IN CONTACT WITH, OR EXPOSED TO, SOIL, WEATHER, CONCRETE, OR MASONRY SHALL BE PRESSURE TREATED.
- PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS AS REQ'D BY LOCAL CODES AND REGULATIONS. COORDINATE LOCATIONS W/ ARCHITECT.
- FIRESTOP ALL OPENINGS AND PENETRATIONS AROUND PIPES, CONDUITS, AND FLOORS WITH APPROVED NON-COMBUSTIBLE MATERIALS. INSTALLED MATERIAL SHALL PREVENT THE PASSAGE OF FLAMES AND HOT GASES WHEN SUBJECTED TO ASTM E-199 TIME-TEMPERATURE FIRE CONDITIONS.
- FLASH ALL OPENINGS TO ACCEPTABLE INDUSTRY STANDARDS.
- AT ALL FIRE-RATED WALLS, PROVIDE LABELS ABOVE CEILING LINES AND IN CONCEALED SPACES AT APPROX. 20" O.C. IN 3" MIN. HIGH RED LETTERS, THE FOLLOWING: "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS"
- EXTEND GYPSUM BOARD ON BOTH SIDES OF WALLS AND PARTITIONS UP TO TOP PLATE/RUNNER TO PROVIDE FIRE STOP. FIRESTOP ALL PENETRATIONS.
- PROVIDE SMOKE-TIGHT AND FIRE-RATED CONSTRUCTION AS NOTED ON DRAWINGS.
- PROVIDE FIRE EXTINGUISHERS (SIZE & NUMBER) AS REQUIRED BY A.H.J. COORDINATE LOCATIONS W/ ARCH. PROVIDE RECESSED CABINETS U.N.O.
- PROVIDE EXTERIOR GRADE SEALANT ON EXTERIOR AT THE INTERSECTION OF ALL DISSIMILAR MATERIALS. COLOR TO MATCH THE COLOR OF THE PRIMARY ADJACENT SURFACE.
- PROVIDE ISOLATION COATING BETWEEN ALL DISSIMILAR METALS (I.E. AL TO STL)

**CKC CODE-REQUIRED OFF-STREET PARKING (KNOXVILLE MUNICODIC ARTICLE 11.4)**

**MINIMUM REQUIRED OFF-STREET PARKING:**

MIXED-USE MULTI-TENANT STRUCTURE:  
 MINIMUM PARKING: 3 PER 1,000 SF  
 MAXIMUM PARKING: 9 PER 1,000 SF

24,414 SF / 1000 = 24.414  
 24,414 X 3 = 73,242

74 SPACES X (60%) = 44.4 = 45 SPACES REQUIRED

SUBTOTAL = 74 PARKING SPACES x 0.6" = 44.4 = 45 PARKING SPACES REQUIRED

**MINIMUM REQUIRED ACCESSIBLE PARKING SPACES:**

26-50 PARKING SPACES: TOTAL (VAN + CAR) = 2 SPACES

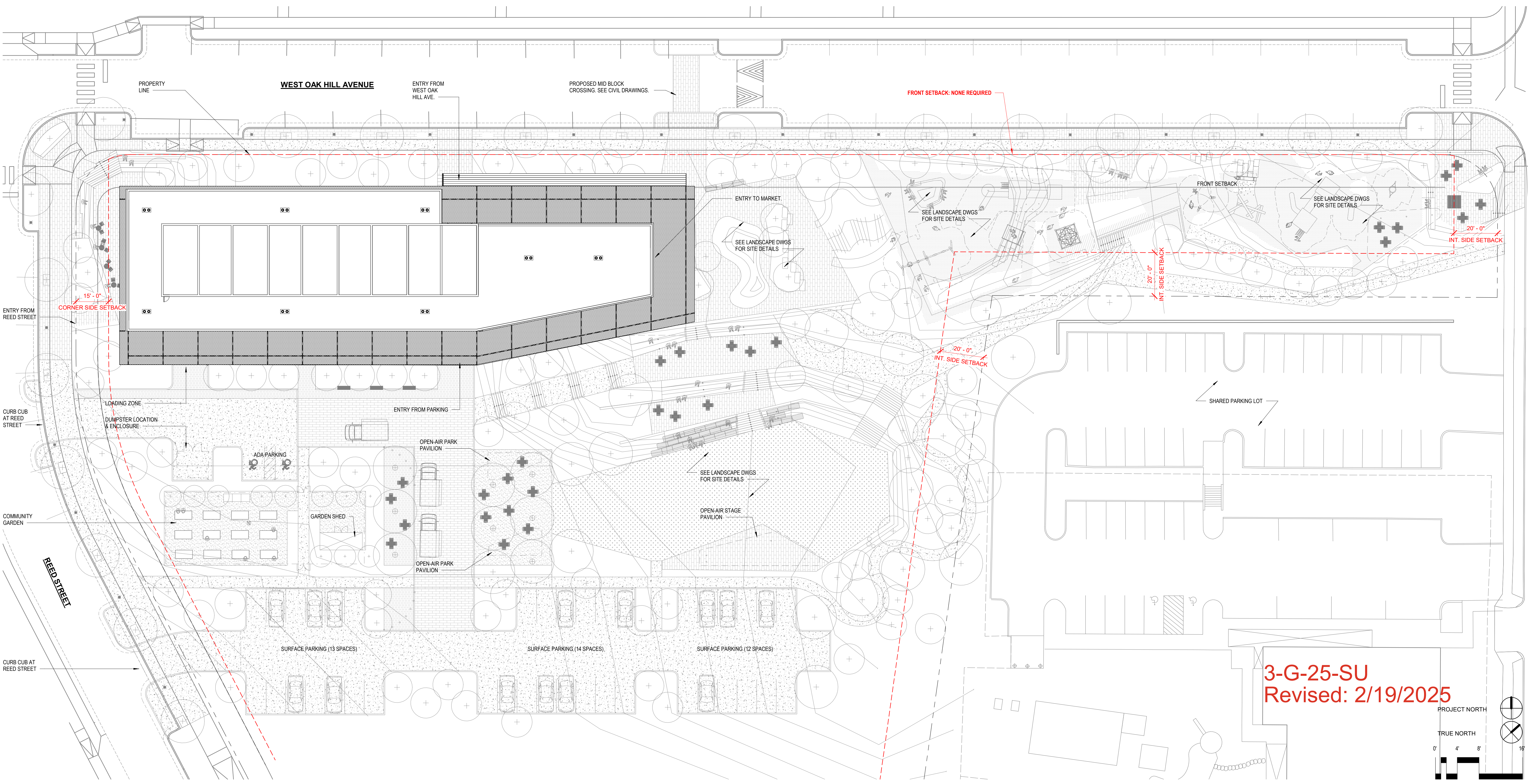
**MINIMUM REQUIRED BICYCLE PARKING:**

MIN. REQUIRED MOTOR VEHICLE PARKING <50: 4 BICYCLE PARKING SPACES REQUIRED (XX PROVIDED)

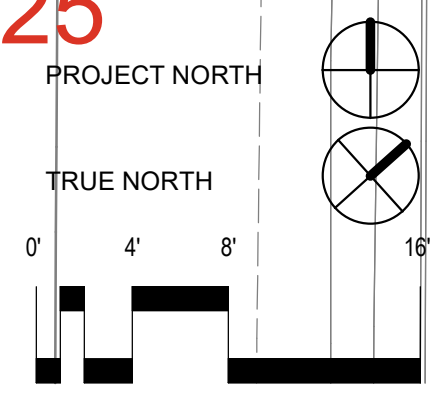
\*ARTICLE 11.4, B, 2A. REQUIRED MINIMUM VEHICLE PARKING MAY BE REDUCED BY 40% IN THE C-N DISTRICT

L1 GENERAL NOTES  
N.T.S.

L14 PARKING REQUIREMENTS  
N.T.S.



3-G-25-SU  
Revised: 2/19/2025



CONSTRUCTION DOCUMENTS OF  
**ANCHOR BUILDING & DESTINATION PARK**  
 ADDRESS TBD  
 KNOXVILLE, TN 37921  
 SPA PROJECT # 2346



THESE DOCUMENTS ARE INVALID WITHOUT A SIGNED STAMP BY PROFESSIONAL

THIS DRAWING SET HAS BEEN ISSUED FOR:  
 INFORMATION ONLY  
 PRICING/BIDDING DOCUMENTS  
 CONSTRUCTION DOCUMENTS  
 ISSUE DATE: 01/06/2025

OWNER REPRESENTATIVE:  
**KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION**  
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 KNOXVILLE, TN 37917  
 T (865) 403-1100  
 C JAMES HATFIELD  
 E jhatfield@kcdc.org

CIVIL ENGINEER:  
**CIVIL AND ENVIRONMENTAL CONSULTANTS**  
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 KNOXVILLE, TN 37920  
 T (865) 977-9997  
 C JAMES SMITH, P.E.  
 E jsmith@cecinc.com

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 T (412) 254-6040  
 C NINA CHASE, PLA, ASLA  
 E nina@merrittchase.com

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**HAINES STRUCTURAL GROUP**  
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 C BOBBY HAINES, P.E., S.E.  
 E bhaines@haines-sg.com

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**SANDERS PACE ARCHITECTURE**  
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 KNOXVILLE, TN 37902  
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 C BRANDON PACE, FAIA  
 E bpace@sanderspace.com

FIRE PROTECTION / PLUMBING / MECHANICAL:  
**I. C. THOMASSON ASSOCIATES**  
 800 S GAY STREET  
 SUITE 2021  
 KNOXVILLE, TN 37929  
 T (865) 346-3400  
 C MICHAEL NEWTON, P.E.  
 E mnewton@icthomasson.com

ELECTRICAL ENGINEER:  
**I. C. THOMASSON ASSOCIATES**  
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 SUITE 2021  
 KNOXVILLE, TN 37929  
 T (865) 346-3400  
 C STEPHANIE MCKENZIE, P.E.  
 E smckenzie@icthomasson.com

REVISIONS:

NO.	DESCRIPTION	DATE

SITE PLAN  
**A001**  
 © 2025 SANDERS PACE ARCHITECTURE

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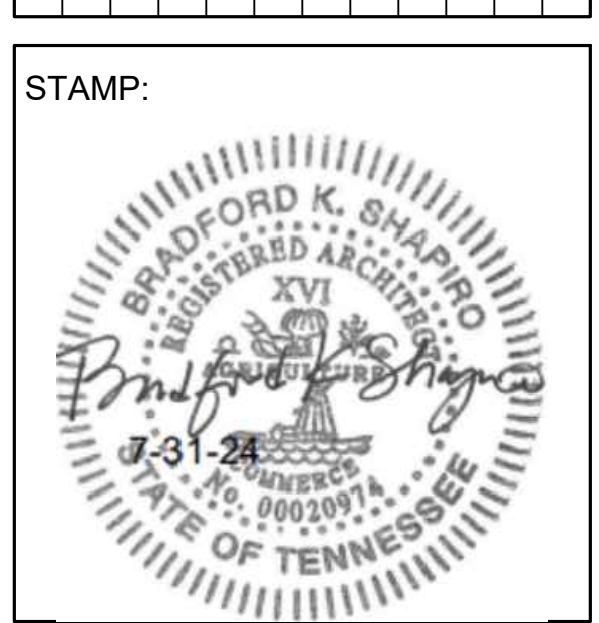
**Shapiro & Company Architects**  
 435 Madison Avenue Suite 200  
 Memphis, TN 38103  
 901.685.9001  
 www.shapiroandco.com

CONSULTANT NAME  
**Shapiro & Company Architects**

DEVELOPER NAME  
**KCDC**  
 Knoxville's Community Development Corporation  
**BRINSHORE**  
 Brinshore Development, LLC | www.brinshore.com

PROJECT NAME  
**Western Heights**  
 Knoxville, TN

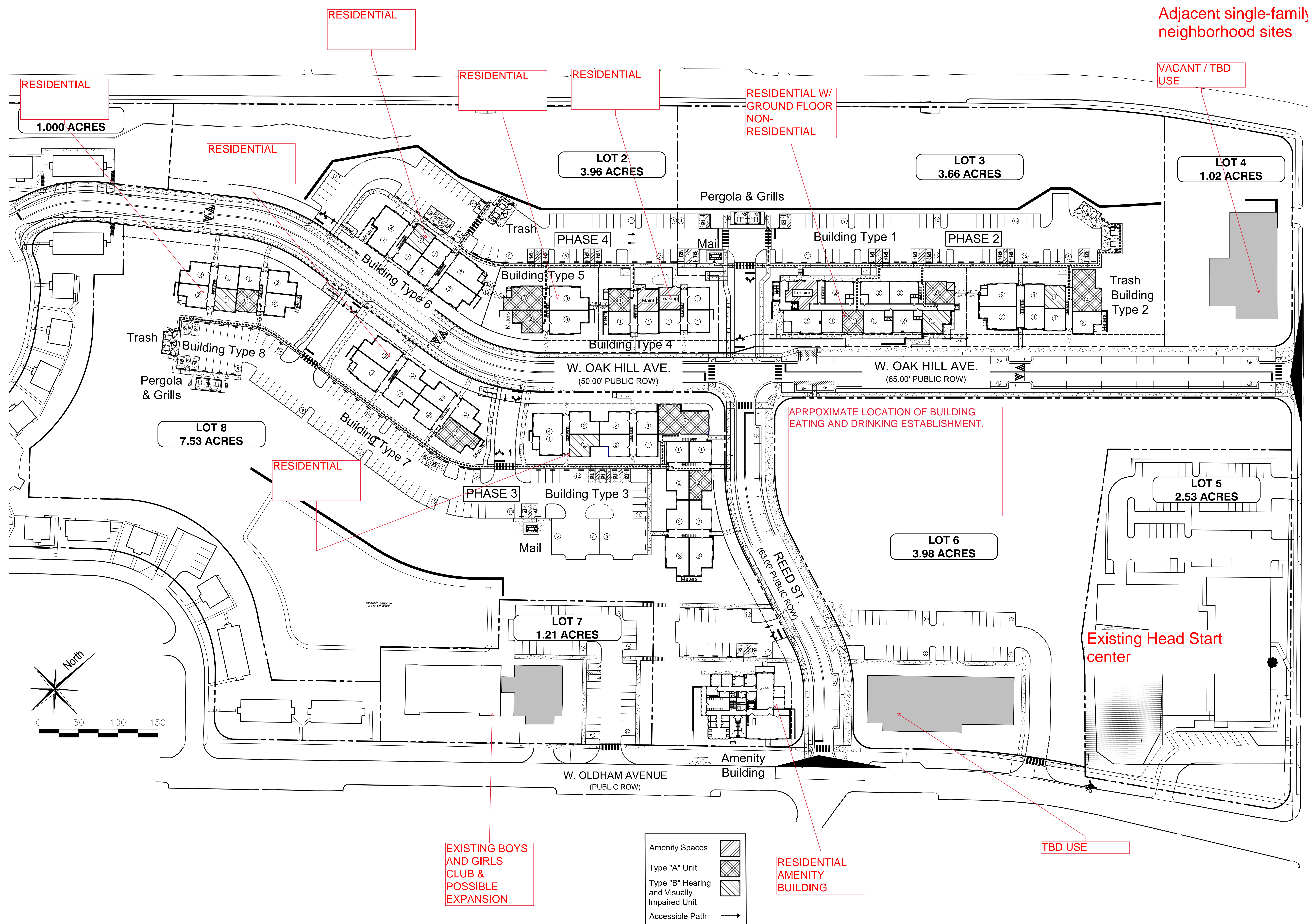
NO.	DESCRIPTION / REVISIONS	DATE
1	100% Design Development	05/29/2024
2	85% Construction Documents / Permit Set	07/10/2024
3	85% Construction Documents / Permit Set	07/10/2024
4	HUD Review Comments / Permit Resubmittal	10/18/2024
5	Permit Resubmittal	11/21/2024
6		
7		
8		
9		
10		



PROJECT NUMBER: 23068  
 DATE: 05/29/2024

SHEET TITLE:  
 Architectural Site Plan

SHEET NUMBER:  
**A-100**



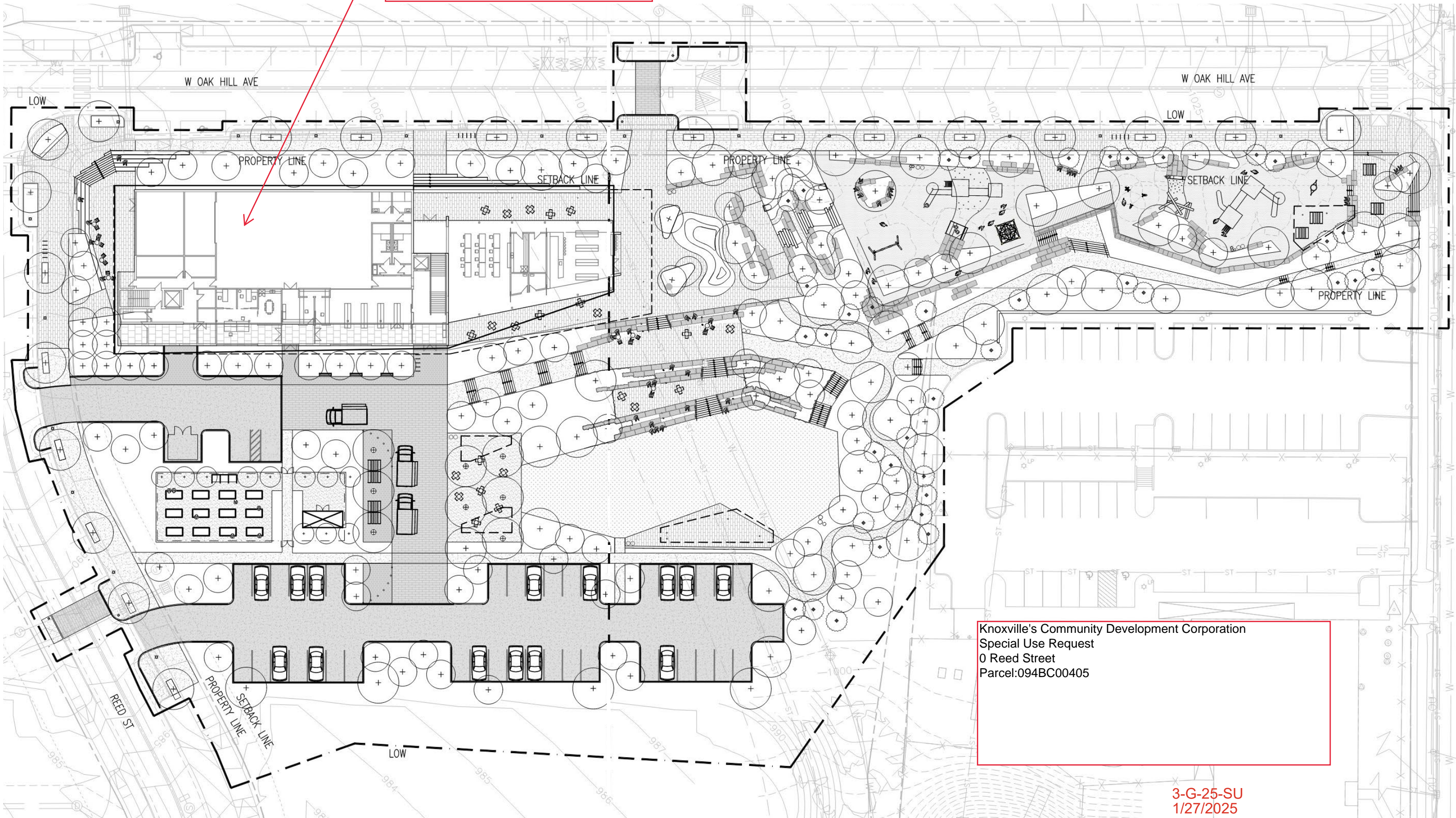
**1 Site Plan**  
 Scale: 1" = 40'-0"

3-G-25-SU  
 Revised: 2/19/2025

# OVERALL SITE PLAN:

SCHEMATIC DESIGN

2nd Floor of this Building Proposed Eating and Drinking Establishment



Knoxville's Community Development Corporation  
Special Use Request  
0 Reed Street  
Parcel:094BC00405

3-G-25-SU  
1/27/2025