

1 Vicinity Map

Scale: 1" = 200'-0"

Two Buildings:

Building Number	Elevations Sides			
	Side Elevation Facing Building "1"	Street Side W. Oak Hill Ave.	Side Elevation Facing Building "2"	Parking Side Elevation
1	Unlimited % Openings	Unlimited % Openings	45% Allowable Openings 7% Openings Shown	Unlimited % Openings
2	45% Allowable Openings 10% Openings Shown	Unlimited % Openings	Unlimited % Openings	Unlimited % Openings

Building Number	Fenestration's	
	Street Side W. Oak Hill Ave.	Parking Side Virginia Ave.
1	Ground Floor 30% Min. Transparency 47% Transparency Shown	Upper Floor 15% Min. Transparency 31% Transparency Shown
2	Ground Floor 30% Min. Transparency 38% Transparency Shown	Upper Floor 15% Min. Transparency 28% Transparency Shown

- Weather Resistant Barrier Note:**
- The weather resistant barrier (WRB) should be continuous at all exterior wall locations until terminated at the foundation and roof areas, and intermediate location where required.
 - WRB system shall be continuous behind the balcony framing at the back-up wall.
 - A membrane transition flashing shall be provided at the base of wall sheathing and concrete foundation juncture to mitigate moisture intrusion under the sill plate.

- Flashing schedule:**
- 9" flexible membrane flashing at vinyl window sills and at the head of storefront, fin-less door frames, and HM frames.
 - 9" straight flashing at storefront jambs, fin-less door jambs, and HM frame jambs.
 - 6" straight flashing at vinyl window jambs and head.
 - 12" straight flashing at all inside and outside sheathing corners.
 - 6" straight flashing at all sheathing-to-foundation transitions.
 - 4" straight flashing at all metal flashing to the WRB.
 - QuickFlash flashing boots for wall penetrations.

Brck %	Brck	Siding	Tot	Brck %	Siding %	
	Oak Hill	6,988	4,627	11,615	60	40
	East	614	2,250	2,864	21	79
	North/Parking	5,577	3,509	9,086	61	39
	West	2,323	1,003	3,326	70	30
	Tot	15,502	11,389	26,891	58	42
	Oak Hill	3,116	2,762	5,878	53	47
	East	616	1,854	2,470	25	75
	North/Parking	403	4,029	4,432	9	91
	West	728	1,870	2,598	28	72
	Tot	4,865	10,545	15,410	32	68
	Phase 2 Total	20,367	21,934	42,301	48	52

- Exterior Finish Legend:**
- (A) Brick Veneer.
 - (B) Decorative Brick Rowlock course.
 - (C) Smooth-finish fiber cement panels with 1/2" reveal.
 - (D) Smooth-finish fiber cement lap siding with staggered reveals.
 - (E) Smooth-finish fiber cement panel.
 - (F) 3/4 x 8 Smooth finish fiber cement corner board.
 - (G) 3/4 x 4 Smooth finish fiber cement trim at windows and doors. Except at brick.
 - (H) 7/8" Wide smooth-finish fiber cement lap siding with 6" reveal.
 - (I) Precast Stone
 - (J) Precast Stone Rowlock



2 Building Type 1 North Elevation (Parking Lot Side)

Scale: 1/8" = 1'-0"

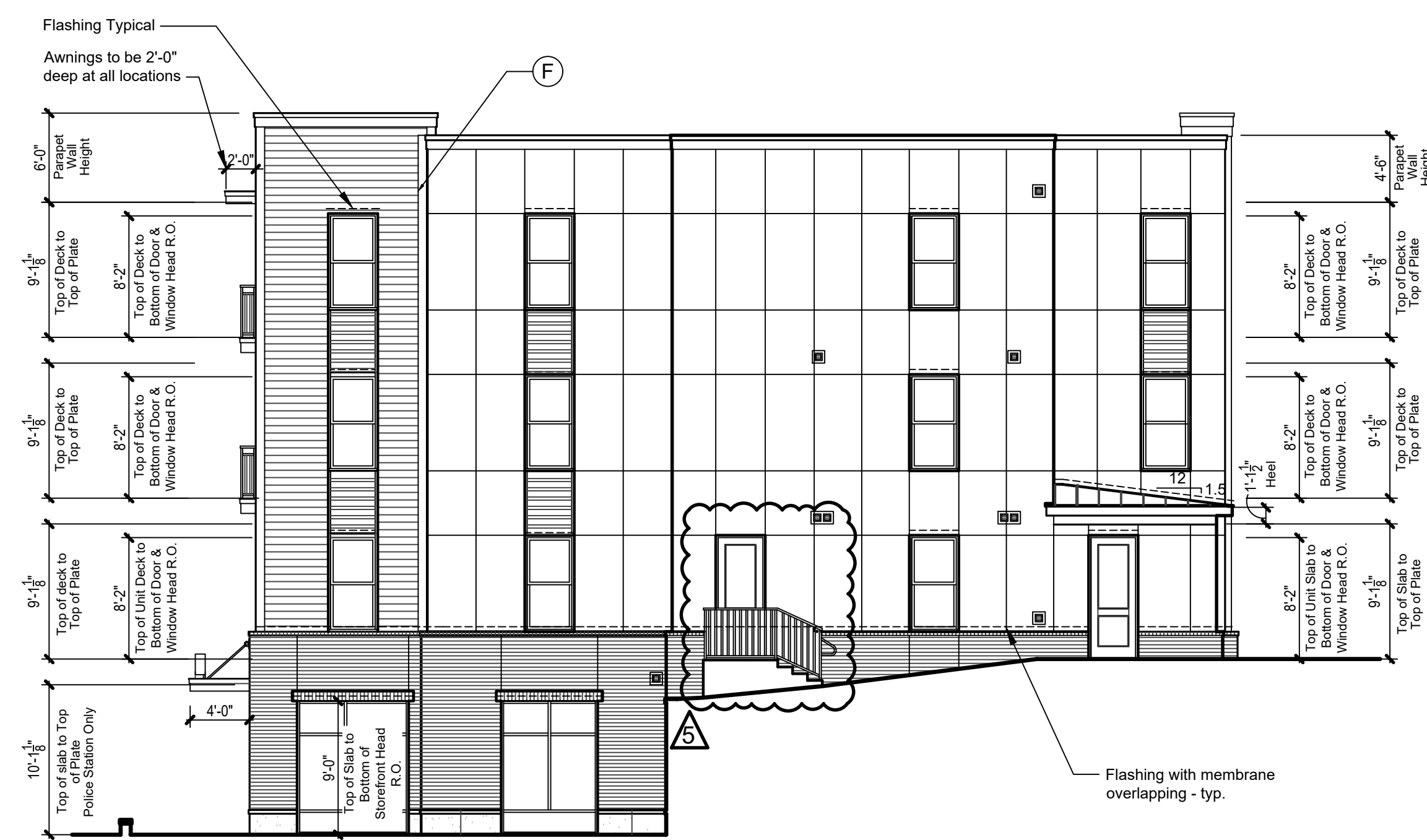
Type VA Construction
58% Brick



3 Building Type 1 West Elevation

Scale: 1/8" = 1'-0"

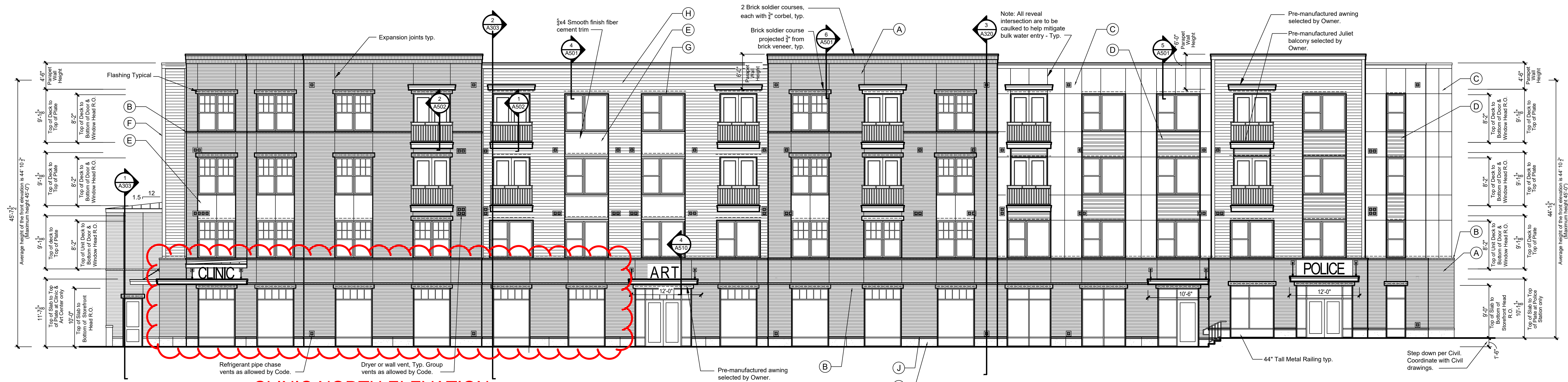
Type VA Construction
58% Brick



4 Building Type 1 East Elevation

Scale: 1/8" = 1'-0"

Type VA Construction
58% Brick



5 Building Type 1 West Oak Hill Avenue Elevation

Scale: 1/8" = 1'-0"

Type VA Construction
58% Brick

3-F-25-SU
Revised: 2/27/2025

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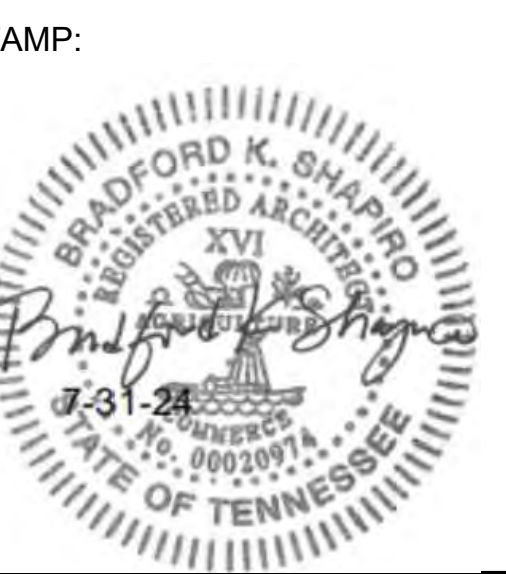
CONSULTANT NAME

DEVELOPER NAME
KCDC
Knoxville's Community Development Corporation
BRINSHORE
Brinshore Development, LLC
www.brinshore.com

Western Heights
Knoxville, TN

PROJECT NAME

NO.	DESCRIPTION / REVISIONS:	DATE:
1	100% Design Development	05/29/2024
2	50% Construction Documents / Permit Set	07/15/2024
3	85% Construction Documents / Permit Set	07/30/2024
4	90% Construction Documents / Permit Resubmittal	08/20/2024
5	Permit Resubmittal	11/21/2024
6		
7		
8		
9		
10		

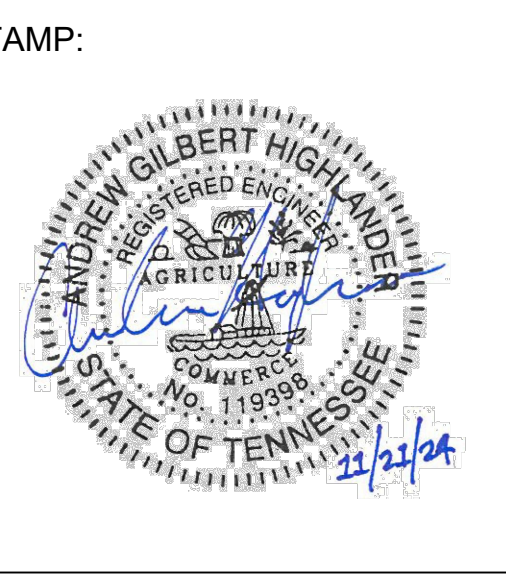


PROJECT NUMBER: 23058
DATE: 05/29/2024

SHEET TITLE:
Building Type 1 Elevations

SHEET NUMBER:
A-210

NO.	DESCRIPTION / REVISIONS:	DATE:
1	100% Design Development	05/29/2024
2	50% Construction Documents / Permit Set	07/15/2024
3	65% Construction Documents / Permit Set	07/30/2024
4	PKD Review Comments / Permit Resubmittal	10/19/2024
5	Permit Resubmittal	11/27/2024
6		
7		
8		
9		
10		

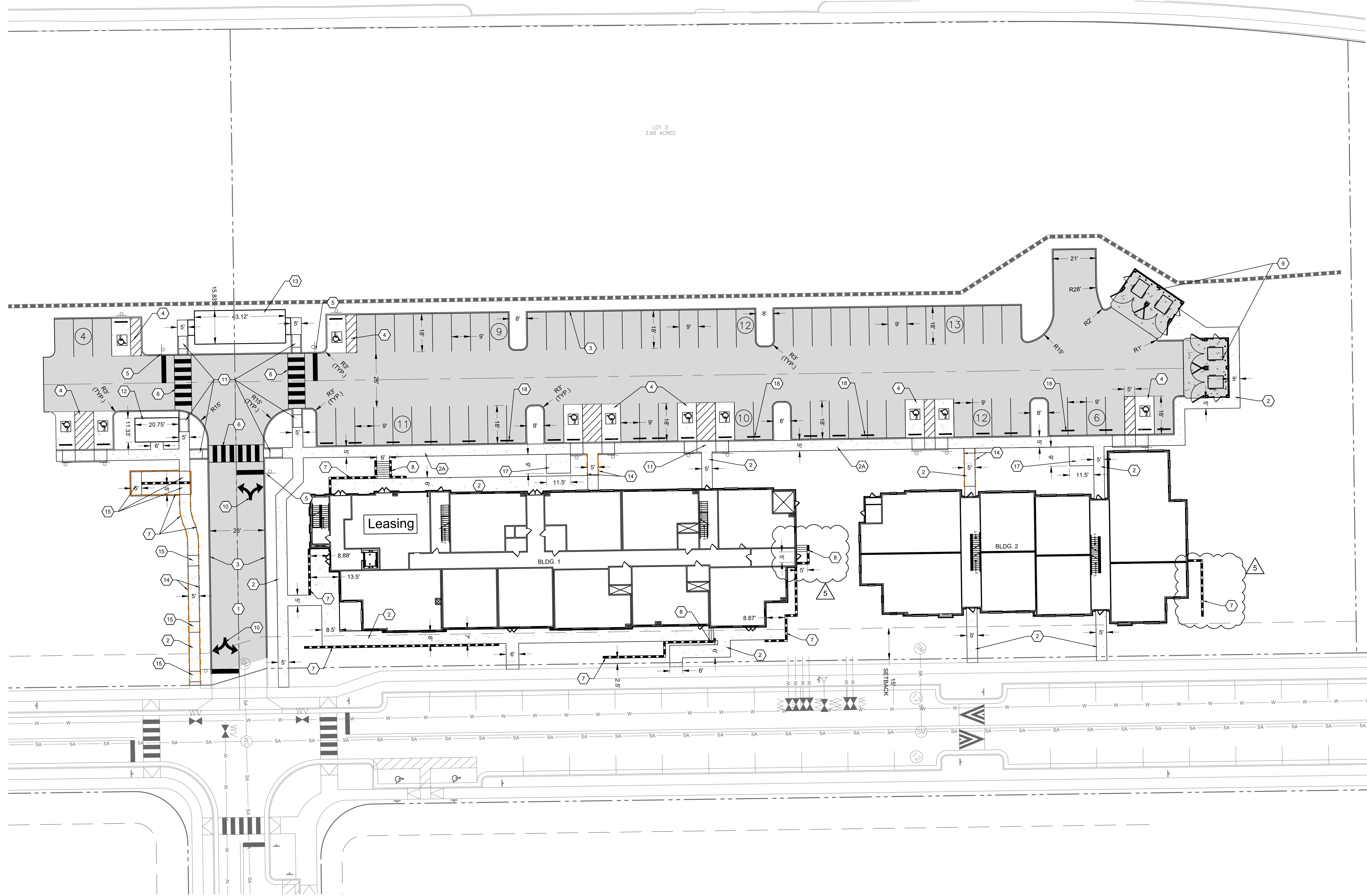


PROJECT NUMBER: 23058
 DATE: 05/29/2024

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C1.00

- GENERAL NOTES**
- CONTRACTOR TO REPLACE ANY PAVEMENT MARKINGS REMOVED DURING INSTALLATION OF SIDEWALK, CURB AND GUTTER, AND PAVEMENT.
 - SEE SHEET C03 FOR GENERAL NOTES.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIRING ROW ELEMENTS DAMAGED DURING CONSTRUCTION PER CITY OF KNOXVILLE STANDARDS.
 - CONTRACTOR TO PATCH ALL UTILITY TRENCHES IN ACCORDANCE WITH LOCAL PUBLIC WORKS STANDARD AND REPLACE ASPHALT STRIPING TO ORIGINAL CONDITION.
 - BUILDING OUTLINE SHOWN BASED ON ARCHITECTURAL PLANS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES PRIOR TO LAYOUT.



LEGEND

- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- 6" CONCRETE PAVEMENT
- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL
- PROPERTY LINE
- BUILDING SETBACK
- PARKING COUNT
- SIGN
- ADA HANDRAILS

KEYED NOTES:

- HEAVY DUTY ASPHALT
- CONCRETE SIDEWALK
- CONCRETE SIDEWALK W/ INTEGRAL CURB
- 6" DETACHED CONCRETE CURB
- ADA ACCESSIBLE PARKING SPACE
- STOP BAR & STOP SIGN
- CROSSWALK
- RETAINING WALL
- RETAINING WALL & CONCRETE STAIRS
- TRASH ENCLOSURE
- LANE USE ARROW
- ACCESSIBLE SIDEWALK WITH DETECTABLE WARNING SURFACE
- MAIL KIOSK
- PERGOLA & GRILLS
- ADA HANDRAILS
- ADA LANDING
- 6" CONCRETE PAVEMENT
- BICYCLE PARKING PAD
- CONCRETE WHEELSTOP

DETAIL/SHEET:

- 2/C7.01
- 3/C7.01
- 6/C7.01
- 7/C7.01
- 11/C7.02
- 385/C7.02
- 4/C7.02
- SEE STRUCTURAL PLANS
- SEE STRUCTURAL PLANS
- SEE STRUCTURAL PLANS
- 6/C7.02
- 889/C7.02
- SEE ARCHITECT PLANS
- SEE ARCHITECT PLANS
- 11/C7.03
- 5/C7.01
- SEE LS PLAN
- 7/C7.02

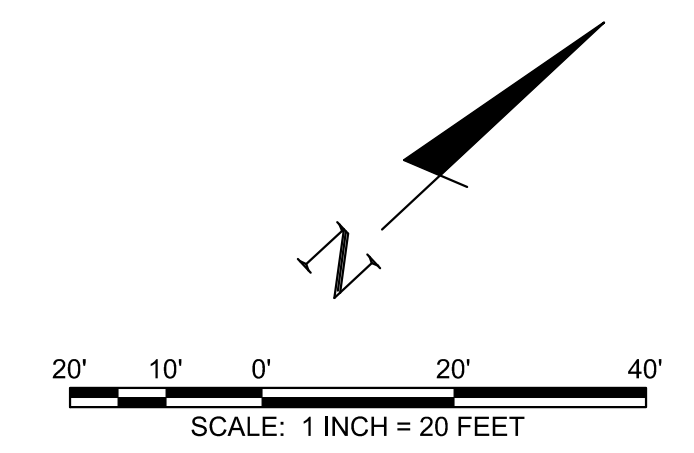
SITE DEVELOPMENT DATA

ZONING	C-N (COMMERCIAL NEIGHBORHOOD)
SITE AREA	179,100 SF (4.11 AC)
DISTURBED AREA:	103,815 SF (2.38 AC)
EXISTING IMPERVIOUS AREA:	0 SF
PROPOSED IMPERVIOUS AREA	
BLDG.	23,250 SF (0.53 AC)
VIA:	32,550 SF (0.75 AC)
OTHER:	11,380 SF (0.26 AC)
TOTAL:	66,980 SF (1.54 AC)
BUILDING SETBACK	
FRONT (MIN.)	0'
INTERIOR SIDE (MIN.)	0'
CORNER SIDE (MIN.)	15'
REAR (MIN.)	20'
BUILDING FOOTPRINTS	
BUILDING 1:	14,140 S.F.
BUILDING 2:	9,110 S.F.

BUILDING MATRIX

Building	1 Bedroom Units	2 Bedroom Units	3 Bedroom Units	4+ Bedroom Units	5 Bedroom Units	Unit type	Required Parking	# of Spaces
1	6	21	5	0	0	Apartment	3BR-1.2; 2BR-1.45; 3BR-1.7; 4BR-2.2	46
2	10	3	5	2	0	Apartment	3BR-1.2; 2BR-1.45; 3BR-1.7; 4BR-2.2	30
Total	16	24	10	2	0		Required	Provided
						Total	76	79
						40% Reduction	45	3
						ADA	1 Van	3
							3 Car	8
						BICYCLE	13	14

3-F-25-SU
 Revised: 2/27/2025



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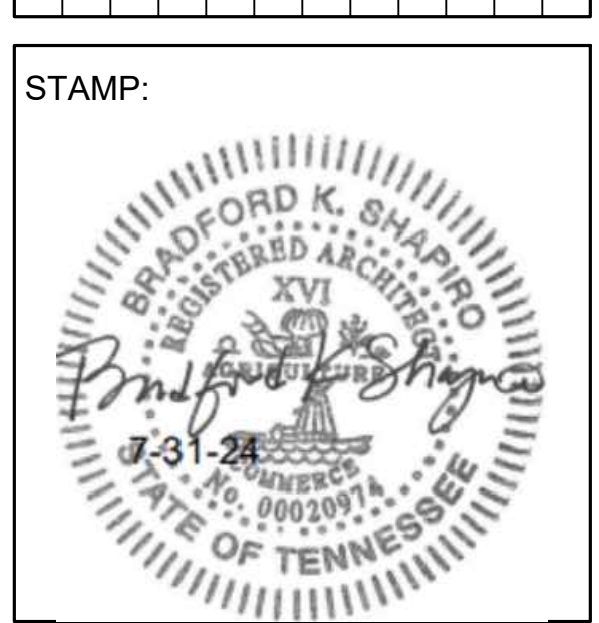
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CONSULTANT NAME

DEVELOPER NAME
KCDC
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 Brinshore Development, LLC | www.brinshore.com

PROJECT NAME
Western Heights
 Knoxville, TN

NO.	DESCRIPTION / REVISIONS	DATE
1	100% Design Development	05/29/2024
2	85% Construction Documents / Permit Set	07/10/2024
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4	HUD Review Comments / Permit Resubmittal	10/18/2024
5	Permit Resubmittal	11/21/2024
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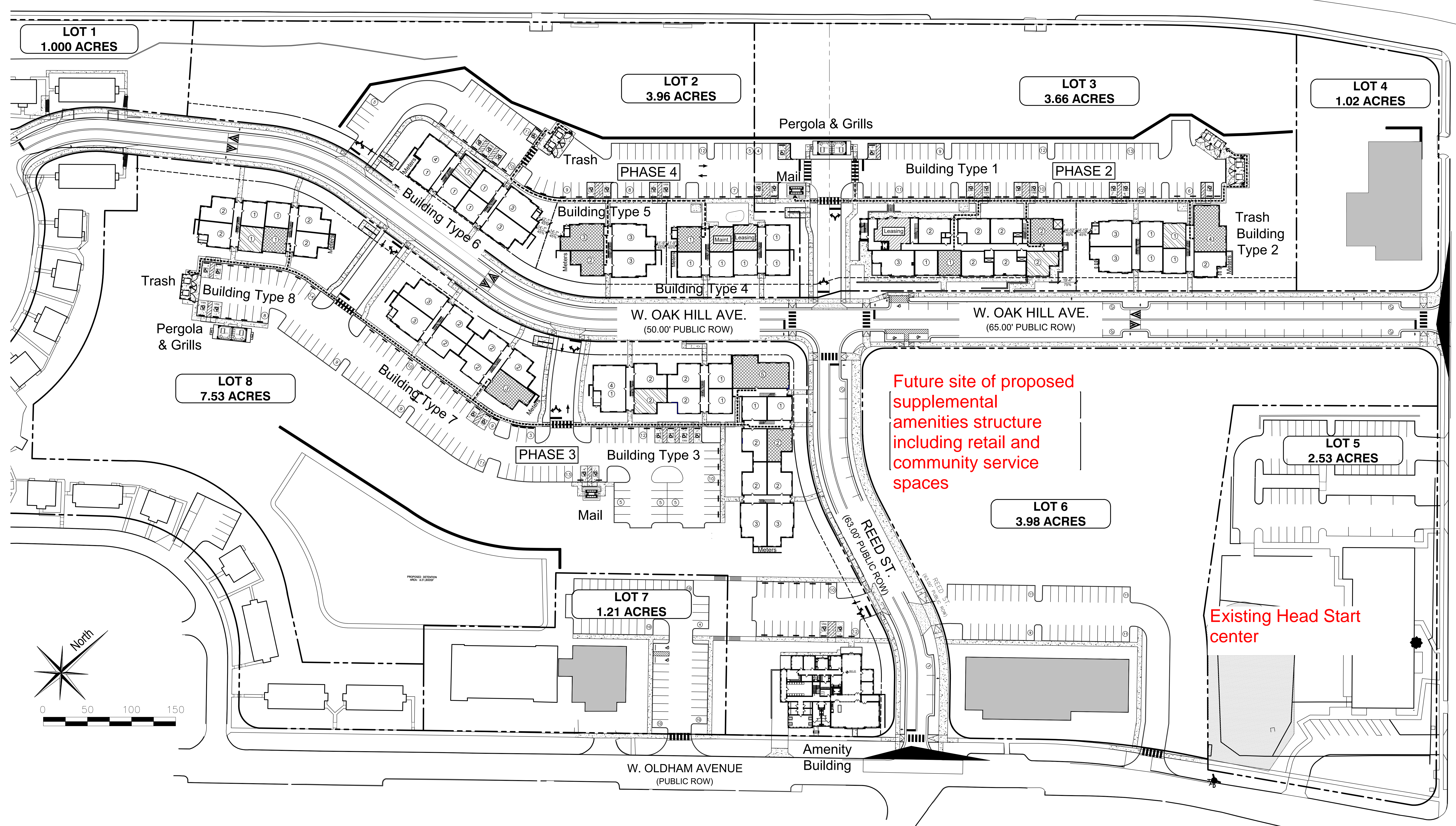
PROJECT NUMBER: 23068
 DATE: 05/29/2024

SHEET TITLE:
 Architectural Site Plan

SHEET NUMBER:

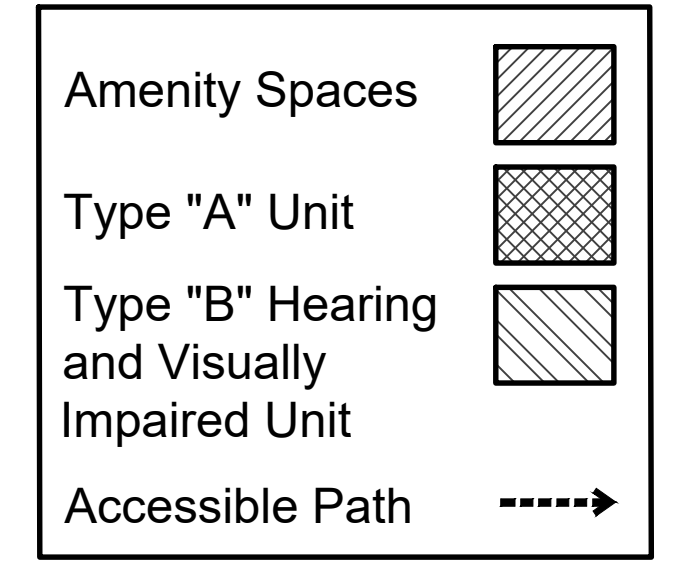
A-100

Adjacent single-family neighborhood sites

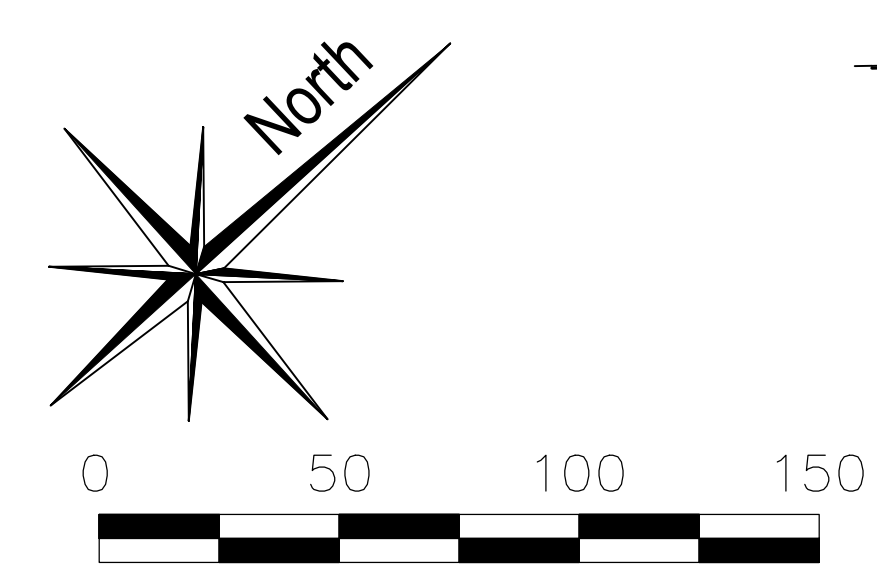


Future site of proposed supplemental amenities structure including retail and community service spaces

Existing Head Start center



3-F-25-SU
 Revised: 2/27/2025

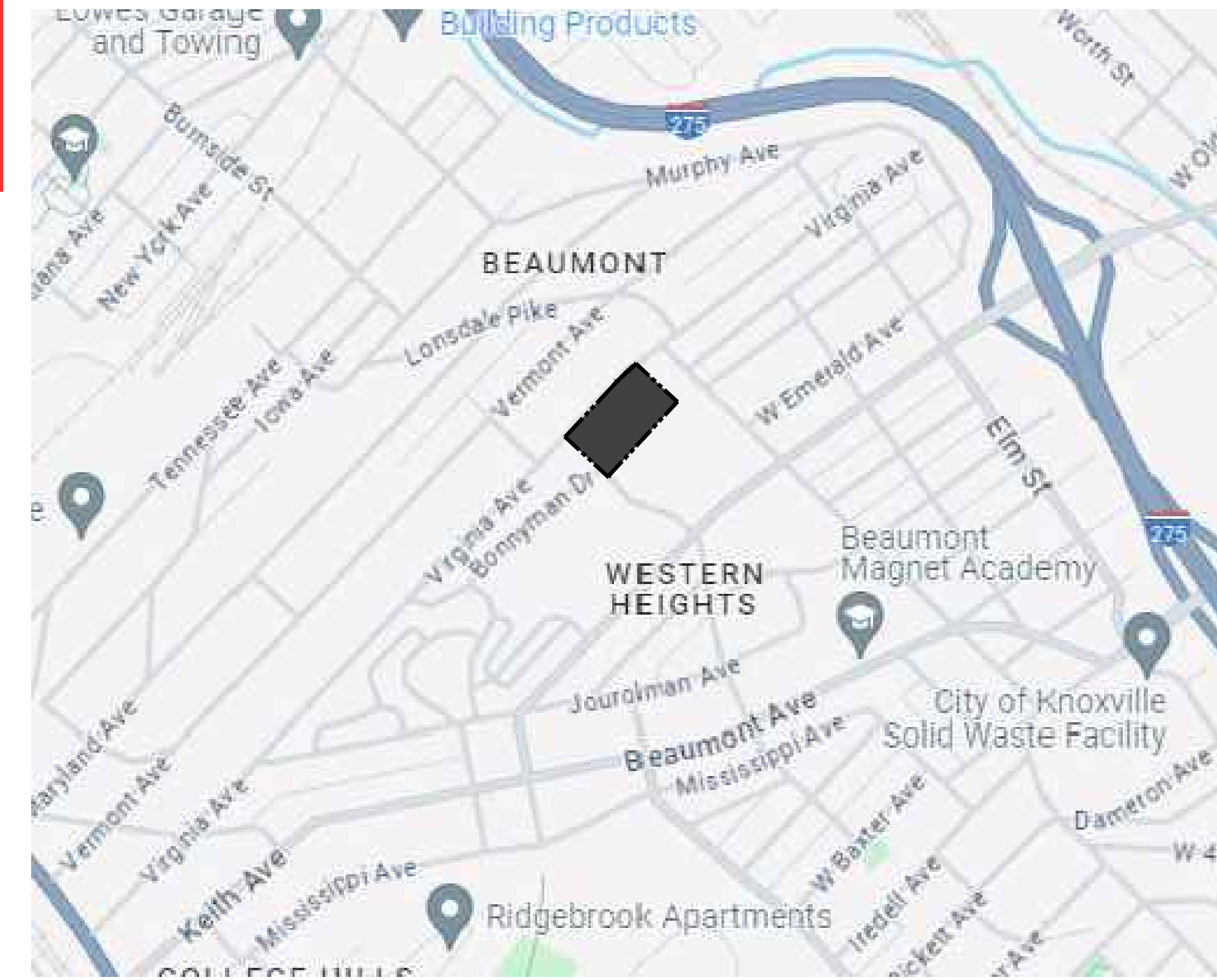


1 Site Plan
 Scale: 1" = 40'-0"

Western Heights Phase 2

W. Oak Hill Ave.
Knoxville, TN 37921

HUD Project #:
TN4J003CNG121



Vicinity Map

Area Calculations: Building 1		Individual Unit SF (auto-populated)				Total Unit SF (calculated)			
Unit Designation	# of Units	NET	GROSS	Patio/Balcony	Total Residential (Net + Patio)	NET (Unit # x Net)	GROSS (Unit # x Gross)	Patio/Balcony (Unit # x Patio)	Total Residential (Unit # x Total)
1-A, Type A	1	701	738	0	701	701	738	0	701
1-A, Type B	5	702	738	0	702	3,510	3,690	0	3,510
2-A, Type A	1	864	910	0	864	864	910	0	864
2-A, Type B	5	864	911	0	864	4,320	4,555	0	4,320
2-B, Type B	15	859	919	0	859	12,885	13,785	0	12,885
2-A, Type B	3	1,185	1,242	0	1,185	3,555	3,726	0	3,555
3-B, Type B	2	1,251	1,332	0	1,251	2,502	2,664	0	2,502
APARTMENT TOTALS	32					28,337	30,068	0	28,337

Area Calculations: Building 2		Individual Unit SF (auto-populated)				Total Unit SF (calculated)			
Unit Designation	# of Units	NET	GROSS	Patio/Balcony	Total Residential (Net + Patio)	NET (Unit # x Net)	GROSS (Unit # x Gross)	Patio/Balcony (Unit # x Patio)	Total Residential (Unit # x Total)
1-A, Type B	10	702	738	0	702	7,020	7,380	0	7,020
2-A, Type B	3	864	911	0	864	2,592	2,733	0	2,592
2-A, Type B	5	1,185	1,242	0	1,185	5,925	6,210	0	5,925
4-A, Type A	1	1,671	1,745	0	1,671	1,671	1,745	0	1,671
4-A, Type B	1	1,671	1,745	0	1,671	1,671	1,745	0	1,671
APARTMENT TOTALS	20					18,879	19,813	0	18,879

Area Calculations: Building 2		Individual Unit SF (auto-populated)				Total Unit SF (calculated)			
Unit Designation	# of Units	NET	GROSS	Patio/Balcony	Total Residential (Net + Patio)	NET (Unit # x Net)	GROSS (Unit # x Gross)	Patio/Balcony (Unit # x Patio)	Total Residential (Unit # x Total)
1-A, Type A	1	701	738	0	701	701	738	0	701
1-A, Type B	15	702	738	0	702	10,530	11,070	0	10,530
2-A, Type A	1	864	910	0	864	864	910	0	864
2-A, Type B	8	864	911	0	864	6,912	7,288	0	6,912
2-B, Type B	15	859	919	0	859	12,885	13,785	0	12,885
2-A, Type B	8	1,185	1,242	0	1,185	9,480	9,936	0	9,480
3-B, Type B	2	1,251	1,332	0	1,251	2,502	2,664	0	2,502
4-A, Type A	1	1,671	1,745	0	1,671	1,671	1,745	0	1,671
4-A, Type B	1	1,671	1,745	0	1,671	1,671	1,745	0	1,671
APARTMENT TOTALS	52					47,216	49,881	0	47,216

Area Calculations: Building 2		Individual Unit SF (auto-populated)				Total Unit SF (calculated)			
Unit Designation	# of Units	NET	GROSS	Patio/Balcony	Total Residential (Net + Patio)	NET (Unit # x Net)	GROSS (Unit # x Gross)	Patio/Balcony (Unit # x Patio)	Total Residential (Unit # x Total)
1-A, Type A	1	701	738	0	701	701	738	0	701
1-A, Type B	15	702	738	0	702	10,530	11,070	0	10,530
2-A, Type A	1	864	910	0	864	864	910	0	864
2-A, Type B	8	864	911	0	864	6,912	7,288	0	6,912
2-B, Type B	15	859	919	0	859	12,885	13,785	0	12,885
2-A, Type B	8	1,185	1,242	0	1,185	9,480	9,936	0	9,480
3-B, Type B	2	1,251	1,332	0	1,251	2,502	2,664	0	2,502
4-A, Type A	1	1,671	1,745	0	1,671	1,671	1,745	0	1,671
4-A, Type B	1	1,671	1,745	0	1,671	1,671	1,745	0	1,671
APARTMENT TOTALS	52					47,216	49,881	0	47,216

Phase 2 Area Calculations:		Individual Unit SF (auto-populated)				Total Unit SF (calculated)			
Unit Designation	# of Units	NET	GROSS	Patio/Balcony	Total Residential (Net + Patio)	NET (Unit # x Net)	GROSS (Unit # x Gross)	Patio/Balcony (Unit # x Patio)	Total Residential (Unit # x Total)
1-A, Type A	1	701	738	0	701	701	738	0	701
1-A, Type B	15	702	738	0	702	10,530	11,070	0	10,530
2-A, Type A	1	864	910	0	864	864	910	0	864
2-A, Type B	8	864	911	0	864	6,912	7,288	0	6,912
2-B, Type B	15	859	919	0	859	12,885	13,785	0	12,885
2-A, Type B	8	1,185	1,242	0	1,185	9,480	9,936	0	9,480
3-B, Type B	2	1,251	1,332	0	1,251	2,502	2,664	0	2,502
4-A, Type A	1	1,671	1,745	0	1,671	1,671	1,745	0	1,671
4-A, Type B	1	1,671	1,745	0	1,671	1,671	1,745	0	1,671
APARTMENT TOTALS	52					47,216	49,881	0	47,216

3-F-25-SU
Revised: 2/27/2025

Developer:
KCDC
Address:
901 N. Broadway St.
Knoxville, TN 37917
Phone:
(865) 403-1100
email:
jhatfield@kcdc.org

(Print name)

(Signature)

Contractor:
J.A. Fielden Co., Inc.
Address:
814 E. Woodland Ave,
Knoxville, TN 37917
Phone:
(865) 523-0508
email:
davidg@jafielden.com

(Print name)

(Signature)

Mortgage Company:
XXX
Address:
XXX
Phone:
XXX
email:
XXX

(Print name)

(Signature)

Bonding Company:
XXX
Address:
XXX
Phone:
XXX
email:
XXX

(Print name)

(Signature)

Developer:
Brinshore Development LLC
Address:
1603 Orrington Ave.
Suite 450
Evanston, IL 60201
Phone:
(224) 927-5078
email:
alibby@brinshore.com

(Print name)

(Signature)

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Address:
435 Madison Ave.
Suite 200
Memphis TN 38103
Phone:
(901) 685-9001
Email:
bshapiro@shapiroandco.com

(Print name)

(Signature)

(Seal)

Civil Engineer:
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Address:
520 W Summit Drive
Suite 1202
Knoxville, TN 37902
Phone:
(865) 637-2810

Landscaping:
Barge Design Solutions, INC.
Address:
1110 Market Street
Suite 200
Chattanooga, TN 37402
Phone:
(615) 252-4240

Accessibility:
Map Strategies, LLC
Address:
181 W Madison St.
Suite 3815
Chicago, IL 60602
Phone:
(312) 833-6749

Structural Engineer:
EFI Global Inc.
Address:
7975 Stage Hills Boulevard
Suite 1
Memphis, TN 38133
Phone:
(901) 377-9984

Mechanical Engineer:
Barham/Cain/Mynatt, INC.
Address:
1015 Cordova Station Road
Cordova, TN 38018
Phone:
(901) 685-2371

Plumbing Engineer:
Barham/Cain/Mynatt, INC.
Address:
1015 Cordova Station Road
Cordova, TN 38018
Phone:
(901) 685-2371

Fire Protection Engineer:
Barham/Cain/Mynatt, INC.
Address:
1015 Cordova Station Road
Cordova, TN 38018
Phone:
(901) 685-2371

Electrical Engineer:
Canup Engineering, Inc.
Address:
3100 Appling Road
Bartlett, TN 38133
Phone:
(901) 379-9762

Geotechnical Engineer:
UES
Address:
2561 Willow Point Way
Knoxville, TN 37931
Phone:
(865) 539-8242

Interior Designer:
Shapiro & Company Interiors
Address:
435 Madison Ave.
Suite 200
Memphis, TN 38103
Phone:
(901) 685-9001

Number of bedrooms per unit	Shown number of units	
1 Bedroom	16	30.8%
2 Bedroom	24	46.2%
3 Bedroom	10	19.2%
4 Bedroom	2	3.8%
Total Units	52	100.0%

Types of parking	Required number of parking spaces		Total Dwelling & Mixed Use	Shown number of parking spaces 1 1/3 space per unit and 24 spaces for Mixed-Use
	Dwelling - Multifamily	Mixed Use - Non Res. (13,571 SF) 3 space per 1,000 GSF		
1 Bedroom	19.2			
2 Bedroom	34.8			
3 Bedroom	17			
4 Bedroom	4.4			
Surface parking				79
Total Parking Spaces	75.4	40,713	116.1	79
Total w/ 40% Reduction per Article 11.4 - B 2.a.	45.2	24.4	70	79
Accessible Parking (2%)	2			7
Type A Units (1 per each)	3 (1 VAN Accessible)		3	3 (1 VAN Accessible)
Add. Accessible Parking for Public Amenities		1 (VAN Accessible)	1	1 (VAN Accessible)

2018 International Building Code
2017 National Electric Code w/ Local Amendments
2018 International Mechanical Code
2018 International Fuel Gas Code
2018 International Plumbing Code
2018 International Property Maintenance Code
2009 ICC ANSI 117.1 Accessibility Code
2018 International Fire Code w/ Local Amendments
2018 International Energy Conservation Code
2012 International Green Construction Code

Type "B" Units = 2009 ICC ANSI 117.1/Type "B" and Fair Housing Act, all first floor units
Type "A" Units = 2009 ICC ANSI 117.1/Type "A"

Formula	Required	Provided
Fully Accessible Units Type "A" 52 x .05 = 2.6	3	3

Formula	Required	Provided
Hearing and Visually Impaired Units 52 x .02 = 1.04	2	2

Shell Space 1, 2 & 3 and all other public accommodations = 117.1ANSI 2009; 2010 ADA Standards/Fair Housing Act

R-2 (Residential Group 2) - Apartment Buildings
B (Business) - Shell Space 1, 2 & 3.

Building 1 = Type VA Construction
Mixed Occupancy/ Separated Use
Sprinkler system: NFPA 13 @ 1st Floor Commercial
Building 2 = Type VA Construction
Sprinkler system: NFPA 13R

Property Size: 3.66 Acres
Number of Units: 52
Density per acre: 0.070 units max per acre.
Number of Occupants: 264 (See Life Safety Plans for # of occupants per building)
Number of Stories: Building 1: 3/4 split - Building 2: 2/3 split
Total required on-site parking spaces: 70
Total on-site parking spaces provided: 79
Surface Parking: 79
Attached Garages: 0
Total parking: 79

Brick %		Brick		Siding		Tot	
		Brick	Siding	Brick %	Siding %	Brick %	Siding %
Bldg 1	Oak Hill	6,988	4,627	11,615	60	40	
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Bldg 2	Oak Hill	3,116	2,782	5,898	53	47	
	East	618	1,864	2,482	25	75	
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Tot	4,865	10,545	15,410	32	68		
Phase 2 Total	20,367	21,934	42,301	48	52		

- General Notes:
- These drawings and notes indicate basic design, materials, and framing concepts. Contractor shall be responsible to ensure that all construction, materials, and methods provide structurally sound, long lasting, and weather tight construction. Contractor shall provide all caulking and weather barriers as required for weather tight construction.
 - Errors and omissions on any drawing does not relieve the Contractor from providing the work intended for the drawings.
 - Contractor shall ensure that all construction meets or exceeds all applicable codes or regulations having jurisdiction over the project.
 - Dimensions are noted from the outside face of stud to the outside face of stud unless noted otherwise. Exterior studs not dimensioned are 2x6 (5 1/2") unless noted otherwise. Interior studs not dimensioned are 2x4 (3 1/2") unless noted otherwise.
 - Contractor shall verify the exact dimensions required to install the mechanical equipment and water heaters with the manufacturers before framing any closet walls or any required fur downs.
 - Contractor shall verify the exact dimensions required for tubs and showers to be used and adjust framing as required.
 - Provide draftstopping in all attic spaces as required per local code requirements.
 - Exterior stud walls shall be sheathed with 5/8" exterior grade plywood or O.S.B. per Structural plans. Install the sheathing to span over all plate lines and headers. Nail as required for a complete structural diaphragm.
 - Window sizes noted on plans are based on sash sizes, not frame sizes.
 - Contractor shall coordinate with all disciplines to avoid any plumbing pipe routing problems.
 - Contractor shall align the mechanical system diffusers and grilles with the light fixtures in all ceilings and walls.
 - Fire resistant construction shall be maintained for all mechanical, plumbing, and electrical penetrations per the local code requirements.
 - Mechanical and plumbing vents shall be grouped (as allowed per code) to minimize the number of roof penetrations. Vents shall be located along the rear of the building or along the least visible area of the roof (i.e. not visible from the street). Paint the vents to match it's immediate surroundings.
 - Moisture resistant drywall shall be installed at all tub and shower, toilet, and vanity locations.
 - Install 5/8" type "x" fire rated drywall at all 1 hour rated locations unless noted otherwise.
 - Coordinate downspout outflow with Landscape Architect's drawings.
 - Drawings are intended to provide the basis for the proper completion of the work suitable for the intended use of the Owner. Anything not expressly set forth but which is reasonably implied or necessary for the proper performance of the project shall be included. Furnish and install, complete with all necessary accessories, ready for intended use, whether it is shown on the drawings or not.

NOTE: Owner to provide sign and located on site per Architects direction.

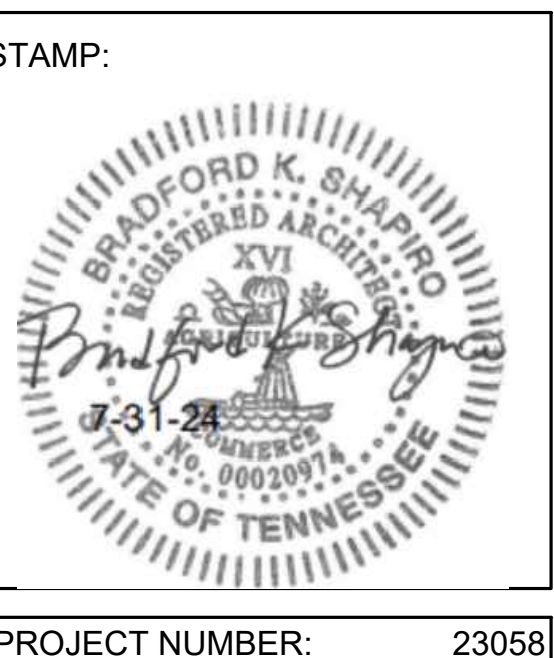
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CONSULTANT NAME:
KCDC
Knoxville's Community Development Corporation
DEVELOPER NAME:
BRINSHORE
Brinshore Development, LLC | www.brinshore.com

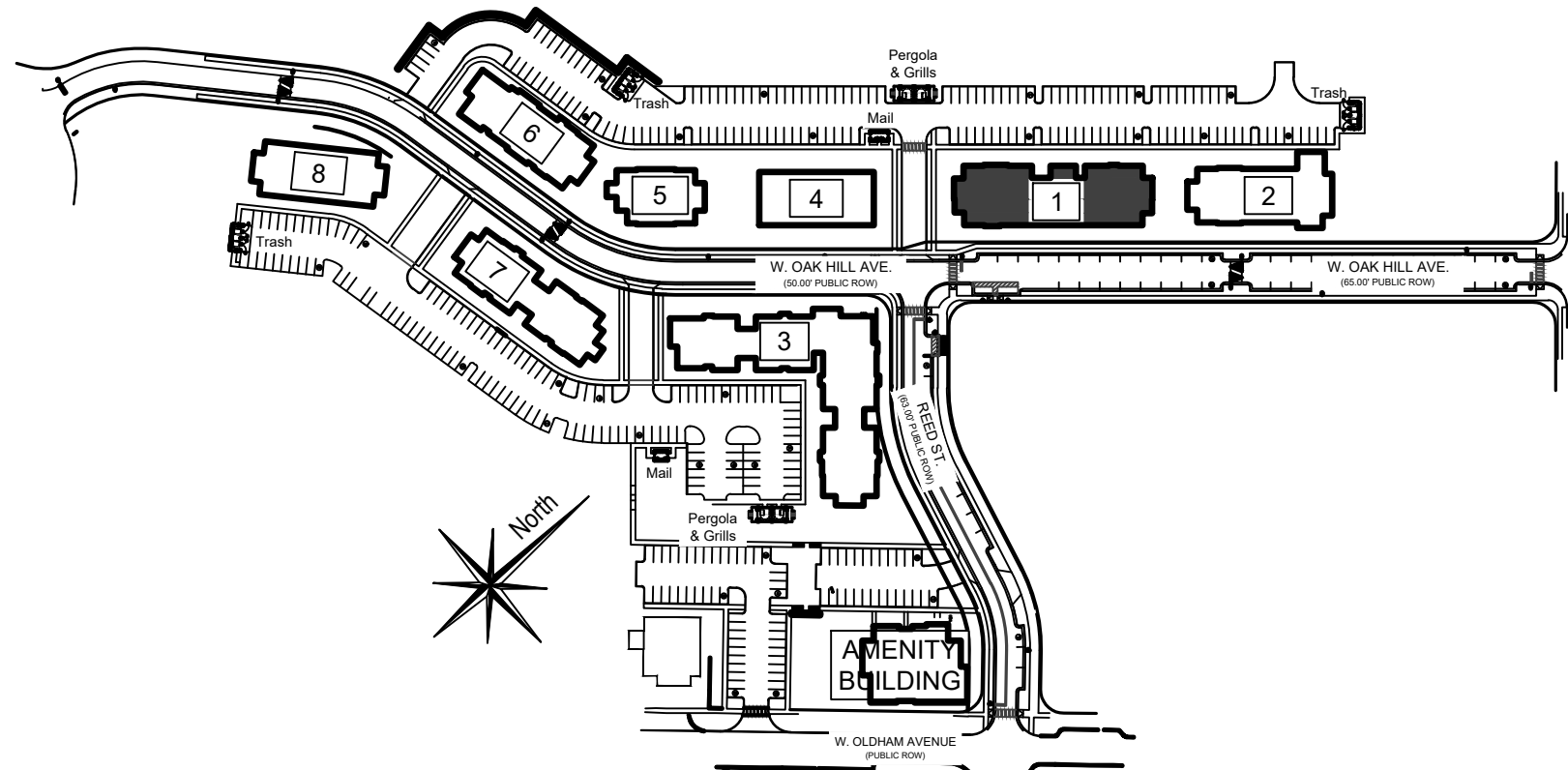
PROJECT NAME:
Western Heights
Knoxville, TN

NO.	DESCRIPTION / REVISIONS:	DATE:
1	100% Design Development	05/29/2024
2	50% Construction Documents / Permit Set	07/15/2024
3	50% Construction Documents / Permit Set	07/30/2024
4	50% Construction Documents / Permit Set	08/01/2024
5	50% Construction Documents / Permit Set	08/01/2024
6	50% Construction Documents / Permit Set	11/21/2024
7		
8		
9		
10		



PROJECT NUMBER: 23058
DATE: 05/29/2024
SHEET TITLE:
Cover & Area Calculations

SHEET NUMBER:
A-001



1 Vicinity Map
Scale: 1" = 200'-0"

Note:
Dimensions are noted from outside face of stud to outside face of stud unless noted otherwise. Sluds not dimensioned are 2 x 6 (5") unless noted otherwise.

See Life Safety Plan for Fire extinguisher locations.

Note:
Typical ceiling heights:
First Floor - 13'-1 1/2"
Second Floor - 9'-1 1/2"
Third Floor - 9'-1 1/2"
Fourth Floor - 9'-1 1/2"
Unless Noted Otherwise

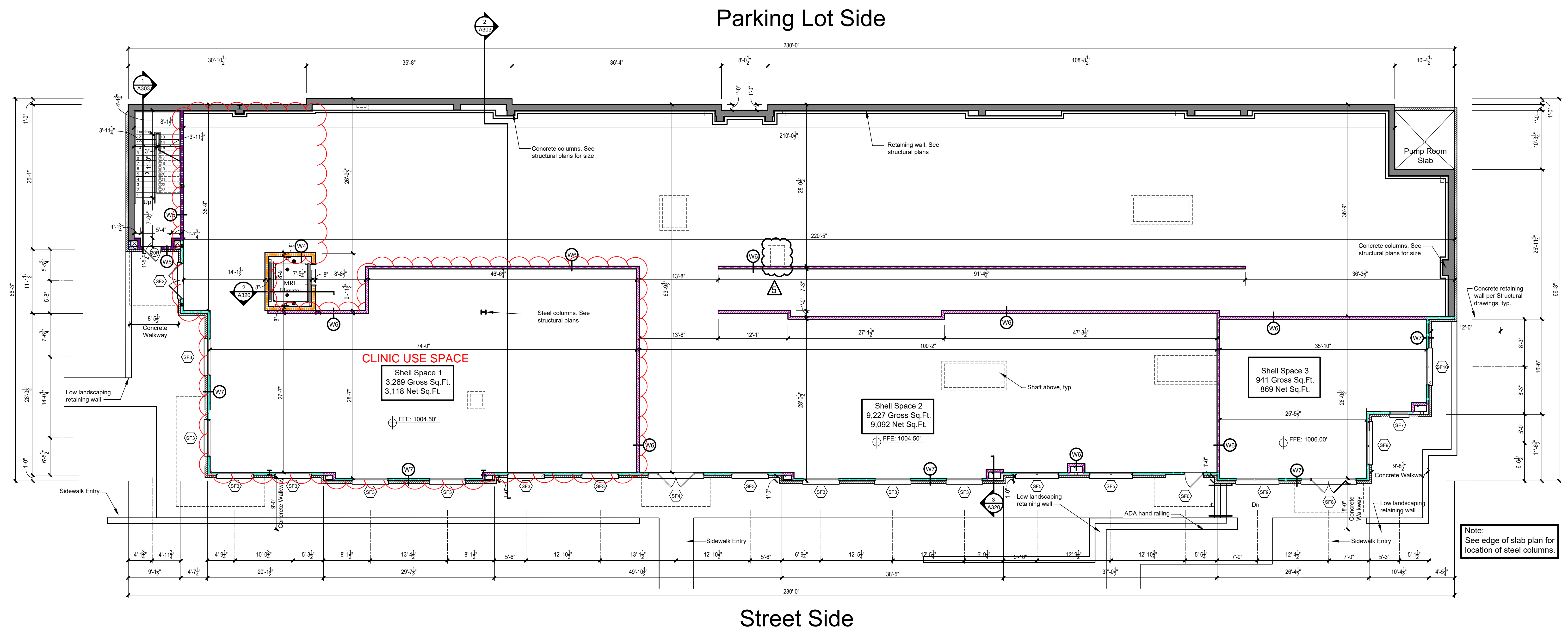
Unit Legend:

- Type A Unit
- Type B Hearing and Visually Impaired Unit

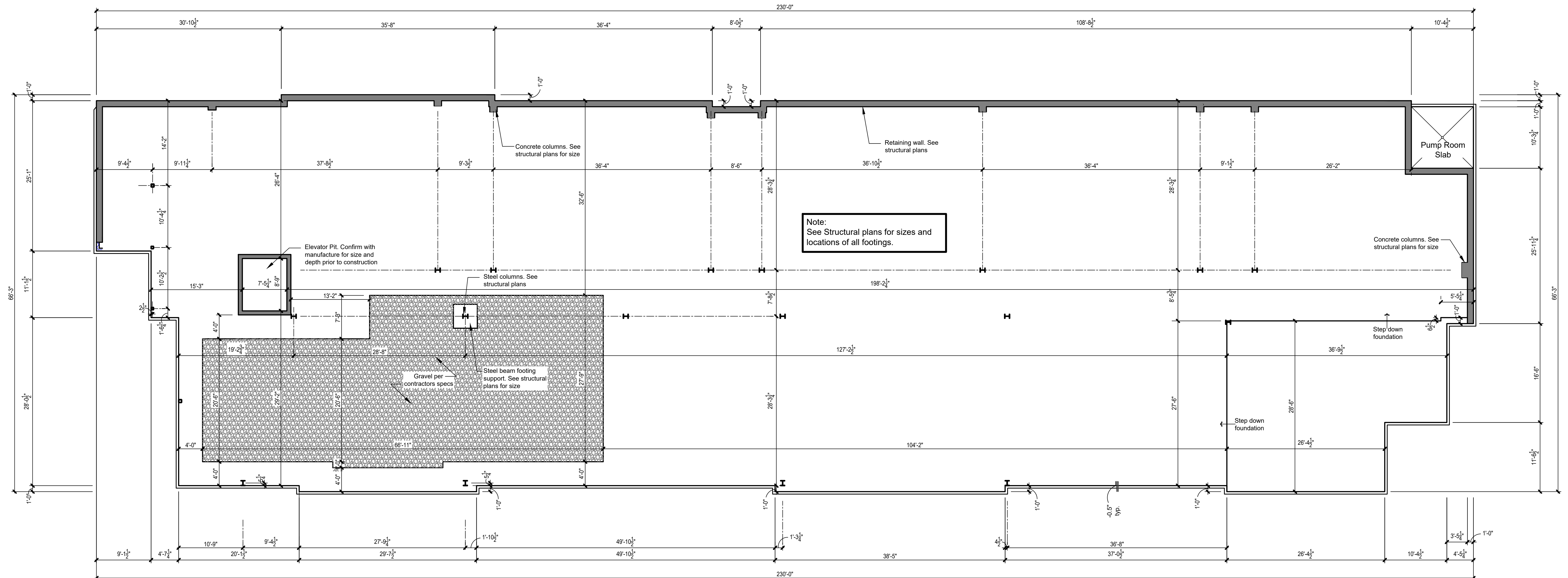
Wall Legend:

- W1 - UL U305 - 1 hour; See A-600
- W2 - UL U356 - 1 hour; See A-601
- W3 - WP 3370 - 1 hour; See A-601
- W4 - UL U905 - 2 hour; See A-601
- W5 - UL U373 - 2 hour; See A-601
- W6 - UL U301 - 2 hour; See A-602
- W7 - UL W408 - 2 hour; See A-602
- 2x4 Stud wall
- 2x6 Stud wall
- Brick veneer

Foundation Note:
Provide a membrane transition flashing at the base of wall sheathing and concrete foundation juncture to mitigate moisture intrusion under the sill plate - Typ.



2 Building Type 1 First Floor Plan
Scale: 1/8" = 1'-0" Type VA Construction



3 Building Type 1 Edge of Slab
Scale: 1/8" = 1'-0" Type VA Construction

3-F-25-SU
Revised: 2/27/2025

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3	50% Construction Documents / Permit Set	07/15/2024
4	50% Construction Documents / Permit Resubmittal	11/12/2024
5	50% Construction Documents / Permit Resubmittal	11/12/2024
6	50% Construction Documents / Permit Resubmittal	11/12/2024
7		
8		
9		
10		

STAMP:



PROJECT NUMBER: 23058
DATE: 05/29/2024

SHEET TITLE:
Building Type 1
Floor Plans

SHEET NUMBER:
A-110