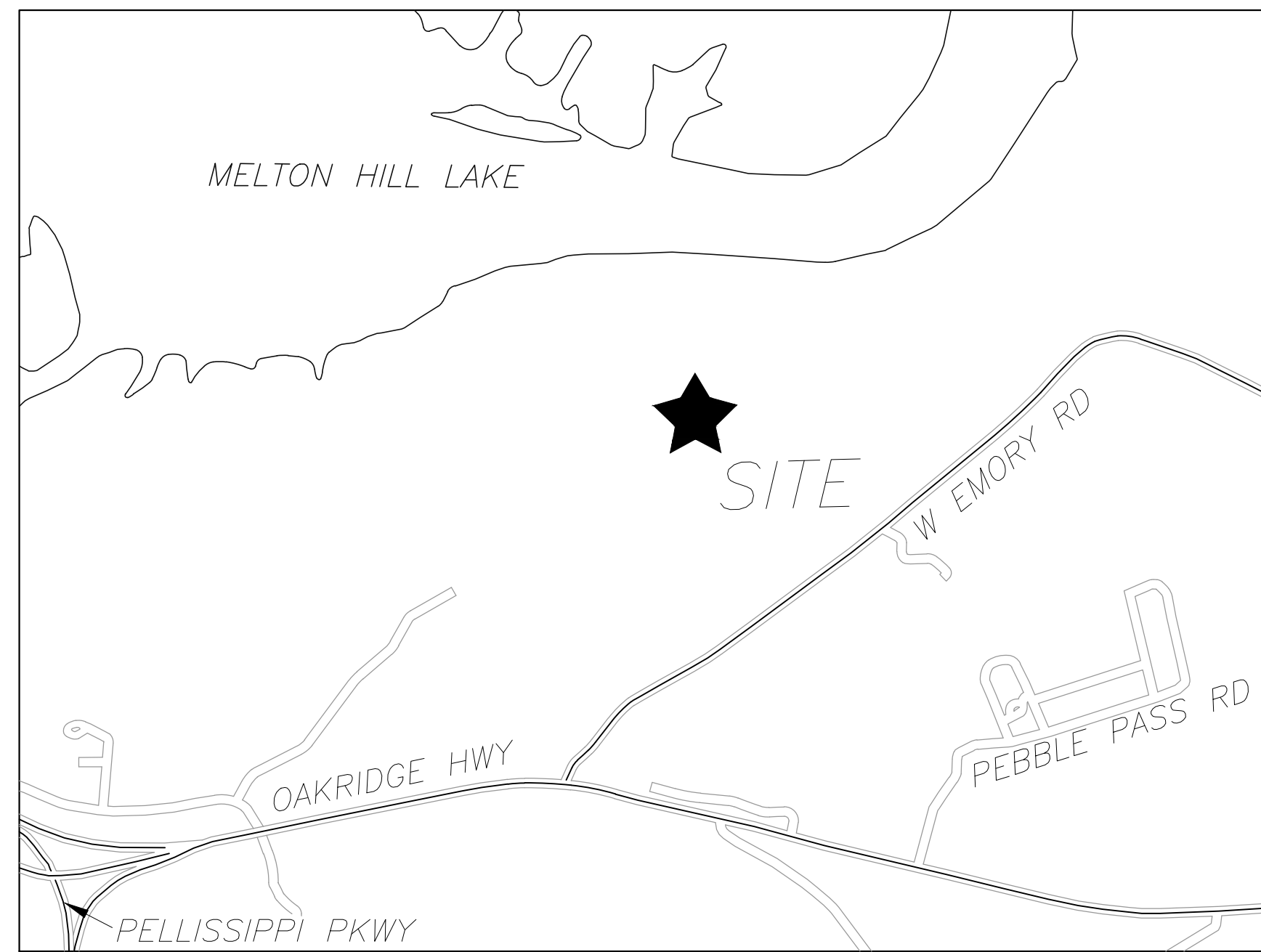


# SITE DEVELOPMENT PLANS

U.E.I. PROJECT NO. 2211028

## POPLAR FARMS

SITE ADDRESS: 0 WEST EMORY ROAD, KNOXVILLE, TENNESSEE 37931  
TAX MAP: 076, PARCELS: 018.00 & 021.00



LOCATION MAP

**DEVELOPER:**  
MAVERICK DEVELOPMENT GROUP, LLC  
3200 NORTH HAWTHORNE STREET  
CHATTANOOGA, TN 37406  
(423) 668-6030



**SITE ENGINEER:**  
URBAN ENGINEERING, INC.  
CHRIS SHARP  
10330 HARDIN VALLEY ROAD, SUITE 201  
KNOXVILLE, TENNESSEE 37932  
(865) 966-1924

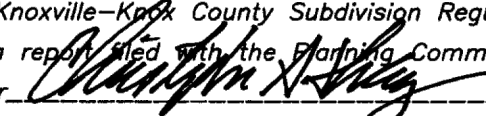
### SPECIFICATIONS

EXCEPT WHERE DIRECTED OTHERWISE BY THE PLANS, WORKMANSHIP AND MATERIAL (BUT NOT MEASUREMENT AND PAYMENT) FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS AND STANDARDS.

- ELECTRICAL - AS DIRECTED BY LENOIR CITY UTILITIES BOARD
- GAS - AS DIRECTED BY KNOXVILLE UTILITIES BOARD
- WATER & SEWER - AS DIRECTED BY WEST KNOX UTILITY DISTRICT
- TELEPHONE - AS DIRECTED BY AT&T
- CABLE - AS DIRECTED BY COMCAST
- SITE DEVELOPMENT - KNOX COUNTY STANDARDS AND SPECIFICATIONS

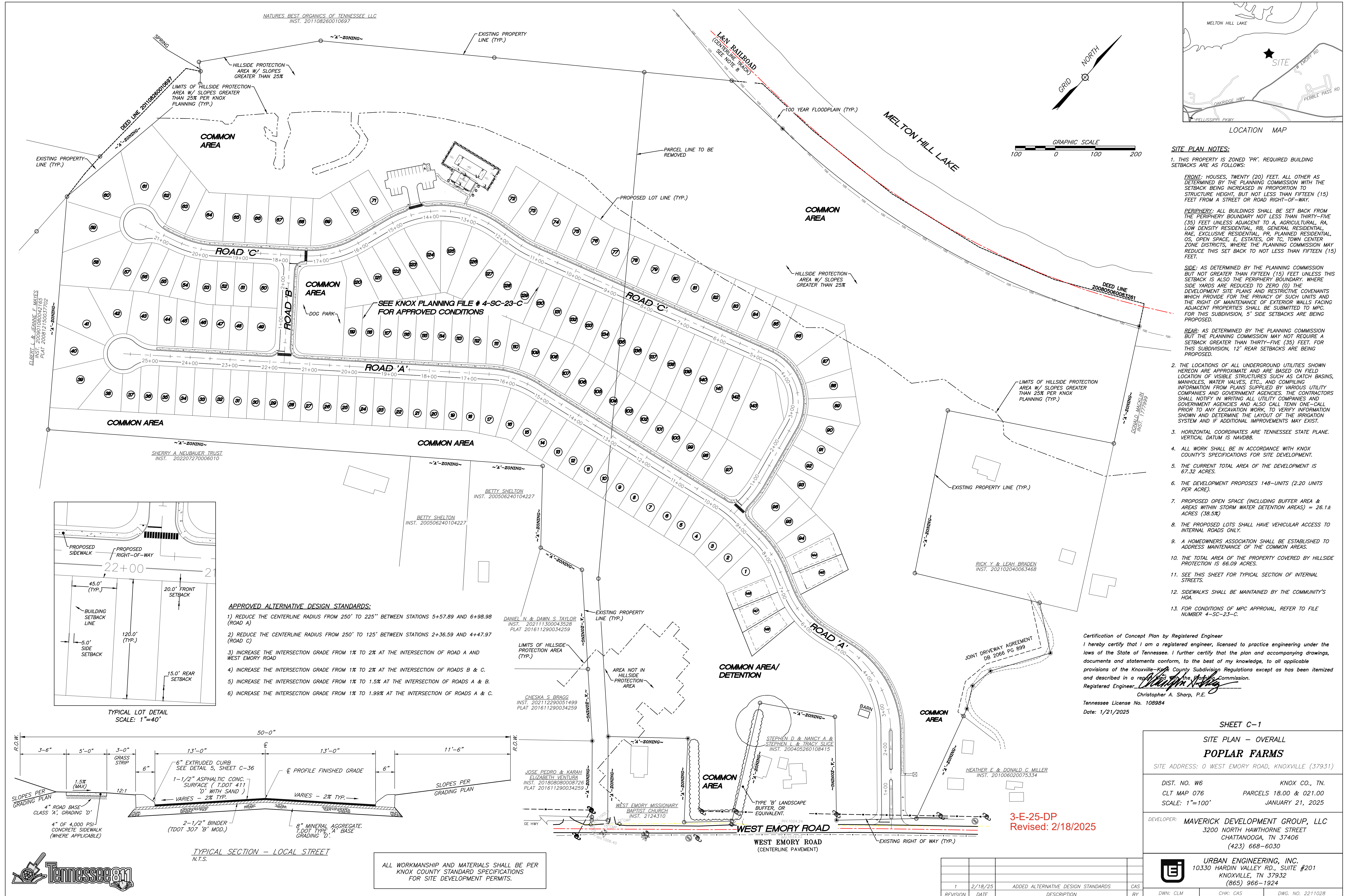
### SHEET INDEX

TITLE	SHEET
TITLE SHEET	C-0
SITE PLAN OVERALL / TYPICAL SECTION	C-1
SITE PLAN	C-2

*Certification of Concept Plan by Registered Engineer*  
I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Planning Commission.  
Registered Engineer:   
Christopher A. Sharp, P.E.  
Tennessee License No. 108984  
Date: 1/21/2025

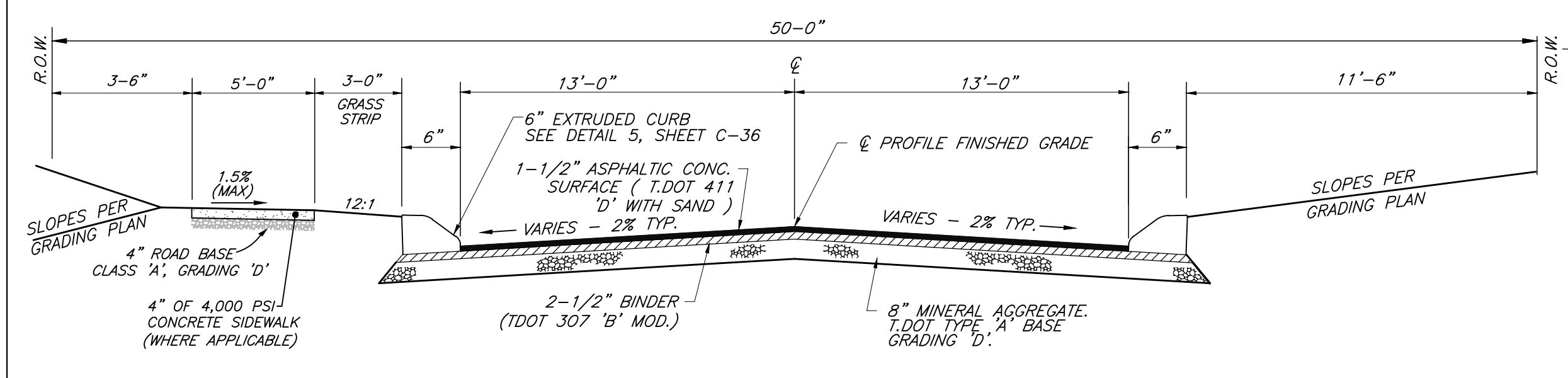
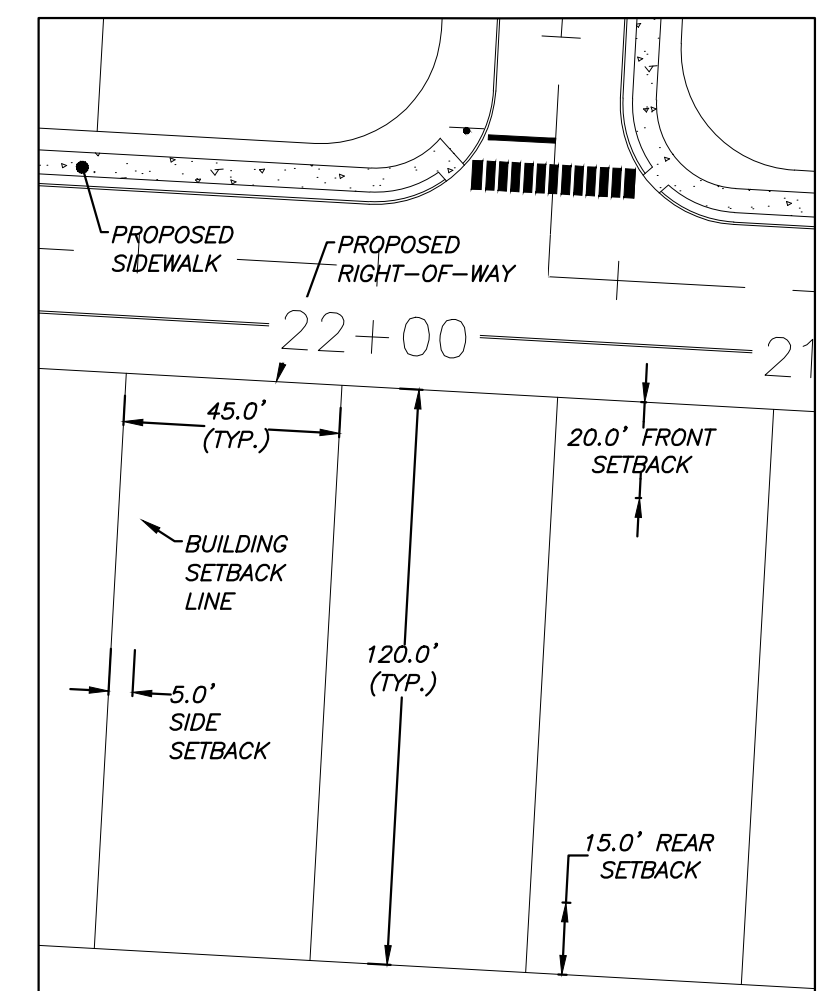
3-E-25-DP  
Revised: 2/18/2025

ISSUE NO.	DATE	DESCRIPTION
2	2/18/25	SUBMITTAL 2



- SITE PLAN NOTES:**
- THIS PROPERTY IS ZONED 'PR'. REQUIRED BUILDING SETBACKS ARE AS FOLLOWS:  
 FRONT: HOUSES, TWENTY (20) FEET. ALL OTHER AS DETERMINED BY THE PLANNING COMMISSION WITH THE SETBACK BEING INCREASED IN PROPORTION TO STRUCTURE HEIGHT, BUT NOT LESS THAN FIFTEEN (15) FEET FROM A STREET OR ROAD RIGHT-OF-WAY.  
 PERIPHERY: ALL BUILDINGS SHALL BE SET BACK FROM THE PERIPHERY BOUNDARY NOT LESS THAN THIRTY-FIVE (35) FEET UNLESS ADJACENT TO A, AGRICULTURAL, RA, LOW DENSITY RESIDENTIAL, RB, GENERAL RESIDENTIAL, RAE, EXCLUSIVE RESIDENTIAL, PR, PLANNED RESIDENTIAL, OS, OPEN SPACE, E, ESTATES, OR TC, TOWN CENTER ZONE DISTRICTS, WHERE THE PLANNING COMMISSION MAY REDUCE THIS SET BACK TO NOT LESS THAN FIFTEEN (15) FEET.  
 SIDE: AS DETERMINED BY THE PLANNING COMMISSION BUT NOT GREATER THAN FIFTEEN (15) FEET UNLESS THIS SETBACK IS ALSO THE PERIPHERY BOUNDARY. WHERE SIDE YARDS ARE REDUCED TO ZERO (0) THE DEVELOPMENT SITE PLANS AND RESTRICTIVE COVENANTS WHICH PROVIDE FOR THE PRIVACY OF SUCH UNITS AND THE RIGHT OF MAINTENANCE OF EXTERIOR WALLS FACING ADJACENT PROPERTIES SHALL BE SUBMITTED TO MPC. FOR THIS SUBDIVISION, 5' SIDE SETBACKS ARE BEING PROPOSED.  
 REAR: AS DETERMINED BY THE PLANNING COMMISSION BUT THE PLANNING COMMISSION MAY NOT REQUIRE A SETBACK GREATER THAN THIRTY-FIVE (35) FEET. FOR THIS SUBDIVISION, 12' REAR SETBACKS ARE BEING PROPOSED.
  - THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
  - HORIZONTAL COORDINATES ARE TENNESSEE STATE PLANE. VERTICAL DATUM IS NAVD83.
  - ALL WORK SHALL BE IN ACCORDANCE WITH KNOX COUNTY'S SPECIFICATIONS FOR SITE DEVELOPMENT.
  - THE CURRENT TOTAL AREA OF THE DEVELOPMENT IS 67.32 ACRES.
  - THE DEVELOPMENT PROPOSES 148-UNITS (2.20 UNITS PER ACRE).
  - PROPOSED OPEN SPACE (INCLUDING BUFFER AREA & AREAS WITHIN STORM WATER DETENTION AREAS) = 26.1± ACRES (38.5%).
  - THE PROPOSED LOTS SHALL HAVE VEHICULAR ACCESS TO INTERNAL ROADS ONLY.
  - A HOMEOWNERS ASSOCIATION SHALL BE ESTABLISHED TO ADDRESS MAINTENANCE OF THE COMMON AREAS.
  - THE TOTAL AREA OF THE PROPERTY COVERED BY HILLSIDE PROTECTION IS 66.09 ACRES.
  - SEE THIS SHEET FOR TYPICAL SECTION OF INTERNAL STREETS.
  - SIDEWALKS SHALL BE MAINTAINED BY THE COMMUNITY'S HOA.
  - FOR CONDITIONS OF MPC APPROVAL, REFER TO FILE NUMBER 4-50-23-C.

- APPROVED ALTERNATIVE DESIGN STANDARDS:**
- REDUCE THE CENTERLINE RADIUS FROM 250' TO 225' BETWEEN STATIONS 5+57.89 AND 6+98.98 (ROAD A)
  - REDUCE THE CENTERLINE RADIUS FROM 250' TO 125' BETWEEN STATIONS 2+36.59 AND 4+47.97 (ROAD C)
  - INCREASE THE INTERSECTION GRADE FROM 1% TO 2% AT THE INTERSECTION OF ROAD A AND WEST EMORY ROAD
  - INCREASE THE INTERSECTION GRADE FROM 1% TO 2% AT THE INTERSECTION OF ROADS B & C.
  - INCREASE THE INTERSECTION GRADE FROM 1% TO 1.5% AT THE INTERSECTION OF ROADS A & B.
  - INCREASE THE INTERSECTION GRADE FROM 1% TO 1.99% AT THE INTERSECTION OF ROADS A & C.



ALL WORKMANSHIP AND MATERIALS SHALL BE PER KNOX COUNTY STANDARD SPECIFICATIONS FOR SITE DEVELOPMENT PERMITS.

Certification of Concept Plan by Registered Engineer  
 I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Planning Commission.  
 Registered Engineer: *Christopher A. Sharp*  
 Christopher A. Sharp, P.E.  
 Tennessee License No. 108984  
 Date: 1/21/2025

**SHEET C-1**

**SITE PLAN - OVERALL**

**POPLAR FARMS**

SITE ADDRESS: 0 WEST EMORY ROAD, KNOXVILLE (37931)

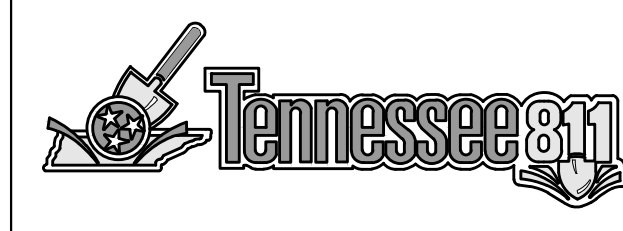
DIST. NO. W6 KNOX CO., TN.  
 CLT MAP 076 PARCELS 18.00 & 021.00  
 SCALE: 1"=100' JANUARY 21, 2025

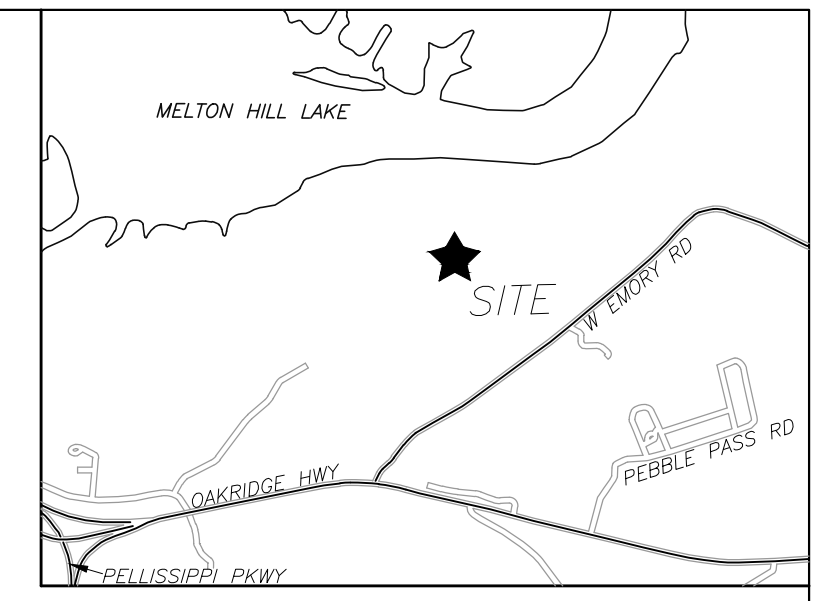
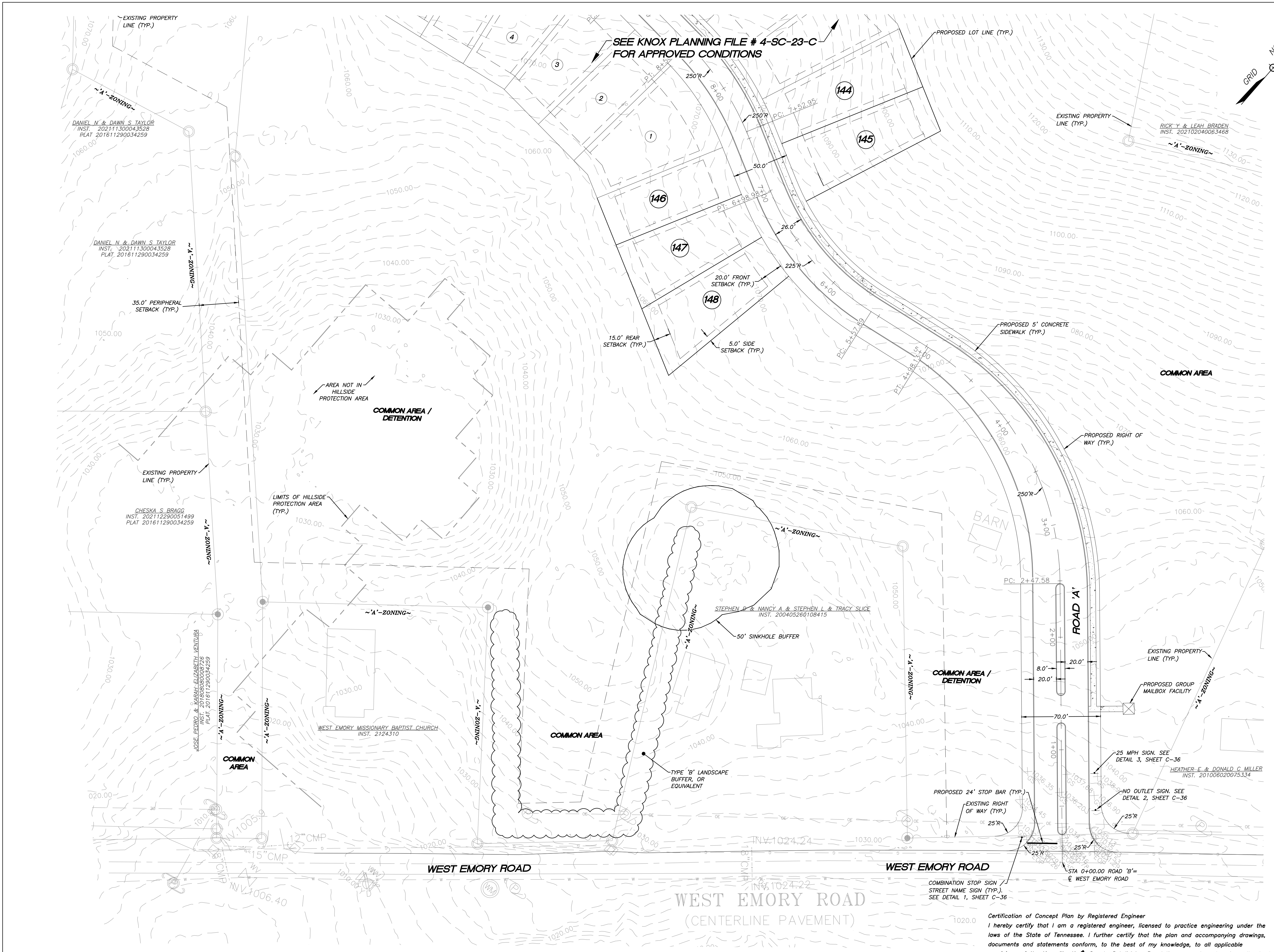
DEVELOPER: MAVERICK DEVELOPMENT GROUP, LLC  
 3200 NORTH HAWTHORNE STREET  
 CHATTANOOGA, TN 37406  
 (423) 668-6030

URBAN ENGINEERING, INC.  
 10330 HARDIN VALLEY RD., SUITE #201  
 KNOXVILLE, TN 37932  
 (865) 966-1924

1	2/18/25	ADDED ALTERNATIVE DESIGN STANDARDS	CAS
REVISION	DATE	DESCRIPTION	BY

DWN: CLM    CHK: CAS    DWC: NO. 2211028





**SITE PLAN NOTES:**

- THIS PROPERTY IS ZONED "PR". REQUIRED BUILDING SETBACKS ARE AS FOLLOWS:  
 FRONT: HOUSES, TWENTY (20) FEET, ALL OTHER AS DETERMINED BY THE PLANNING COMMISSION WITH THE SETBACK BEING INCREASED IN PROPORTION TO STRUCTURE HEIGHT, BUT NOT LESS THAN FIFTEEN (15) FEET FROM A STREET OR ROAD RIGHT-OF-WAY.  
 PERIPHERY: ALL BUILDINGS SHALL BE SET BACK FROM THE PERIPHERY BOUNDARY NOT LESS THAN THIRTY-FIVE (35) FEET UNLESS ADJACENT TO A AGRICULTURAL, RA, LOW DENSITY RESIDENTIAL, RB, GENERAL RESIDENTIAL, RAE, EXCLUSIVE RESIDENTIAL, PR, PLANNED RESIDENTIAL, OS, OPEN SPACE, E, ESTATES, OR TO TOWN CENTER ZONE DISTRICTS WHERE THE PLANNING COMMISSION MAY REDUCE THIS SET BACK TO NOT LESS THAN FIFTEEN (15) FEET.  
 SIDE: AS DETERMINED BY THE PLANNING COMMISSION BUT NOT GREATER THAN FIFTEEN (15) FEET UNLESS THIS SETBACK IS ALSO THE PERIPHERY BOUNDARY. WHERE SIDE YARDS ARE REDUCED TO ZERO (0) THE DEVELOPMENT SITE PLANS AND RESTRICTIVE COVENANTS WHICH PROVIDE FOR THE PRIVACY OF SUCH UNITS AND THE RIGHT OF MAINTENANCE OF EXTERIOR WALLS FACING ADJACENT PROPERTIES SHALL BE SUBMITTED TO MPC. FOR THIS SUBDIVISION, 5' SIDE SETBACKS ARE BEING PROPOSED.  
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- THE TOTAL AREA OF THE PROPERTY COVERED BY HILLSIDE PROTECTION IS 66.09 ACRES.
- SEE SHEET C-1 FOR TYPICAL SECTION OF INTERNAL STREETS.
- SIDEWALKS SHALL BE MAINTAINED BY THE COMMUNITY'S HOA.
- THERE ARE APPROXIMATELY 32-ACRES OF PROPOSED DISTURBANCE WITHIN HP.

ALL WORKMANSHIP AND MATERIALS SHALL BE PER KNOX COUNTY STANDARD SPECIFICATIONS FOR SITE DEVELOPMENT PERMITS.

**SHEET C-2**

**SITE PLAN**

**POPLAR FARMS**

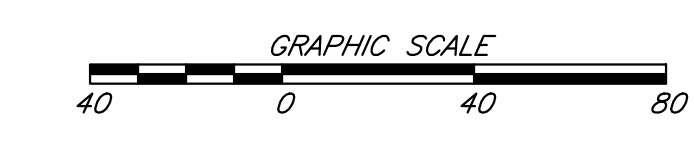
SITE ADDRESS: 0 WEST EMORY ROAD, KNOXVILLE (37931)

DIST. NO. W6	KNOX CO., TN.
CLT MAP 076	PARCELS 18.00 & 021.00
SCALE: 1"=40'	JANUARY 21, 2025

DEVELOPER: MAVERICK DEVELOPMENT GROUP, LLC  
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(865) 966-1924	

DRAWN: CLM	CHK: CAS	DWG. NO. 2211028
1	2/18/25	SUBMITTAL 2
REVISION	DATE	DESCRIPTION



**3-E-25-DP**  
**Revised: 2/18/2025**

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