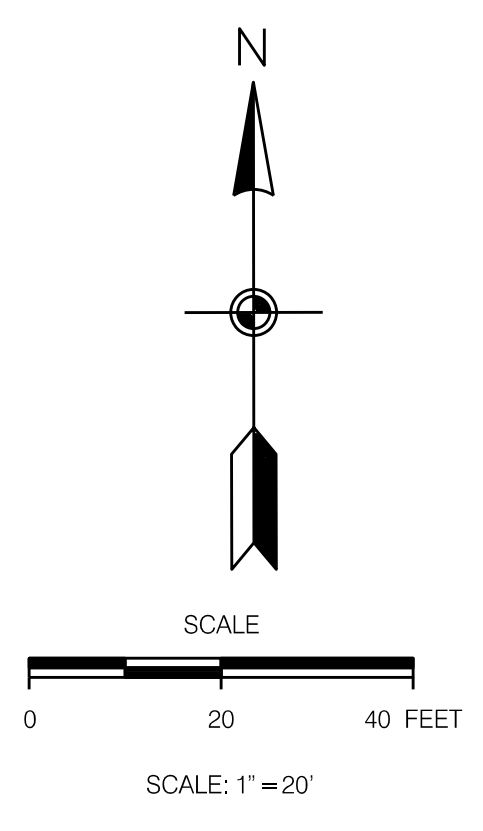


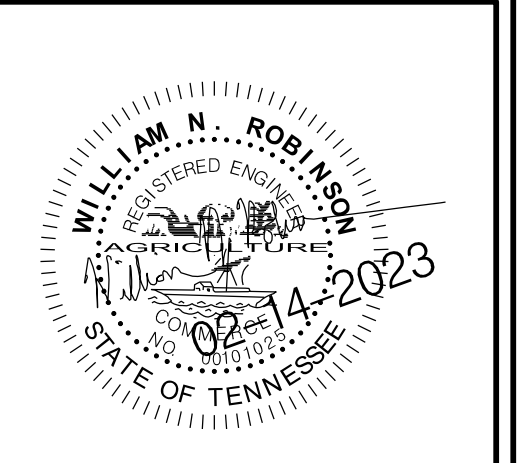
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 OWNER: GULF PARK RECREATIONAL ASSN.
 DEED BK. 1489, PG. 171
 PLAT CAB. D, SLIDE 374-A



LEGEND:

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535.25'	535.25'	SPOT ELEVATION
[Symbol]	[Symbol]	STRUCTURE
[Symbol]	[Symbol]	PROPERTY LINE
[Symbol]	[Symbol]	EASEMENT
[Symbol]	[Symbol]	EDGE OF PAVEMENT
SD	SD	STORM DRAIN
SS	SS	SANITARY SEWER
PW	PW	POTABLE WATER
NG	NG	NATURAL GAS
OE	OE	OVERHEAD ELECTRICAL
⊙	⊙	WATER METER
⊕	⊕	FIRE HYDRANT
NA	→	SURFACE FLOW
NA	X	SILT FENCING
[Symbol]	[Symbol]	CURB
□	◆	CATCH BASIN
NA	[Symbol]	CONCRETE PAVEMENT
NA	[Symbol]	ASPHALT PAVEMENT
NA	[Symbol]	RIP RAP

**WILL ROBINSON
& ASSOCIATES**
 1248 N. Shorewood Ln
 Caryville, TN 37714
 (865) 386-4200
 wrassociates@bellsouth.net



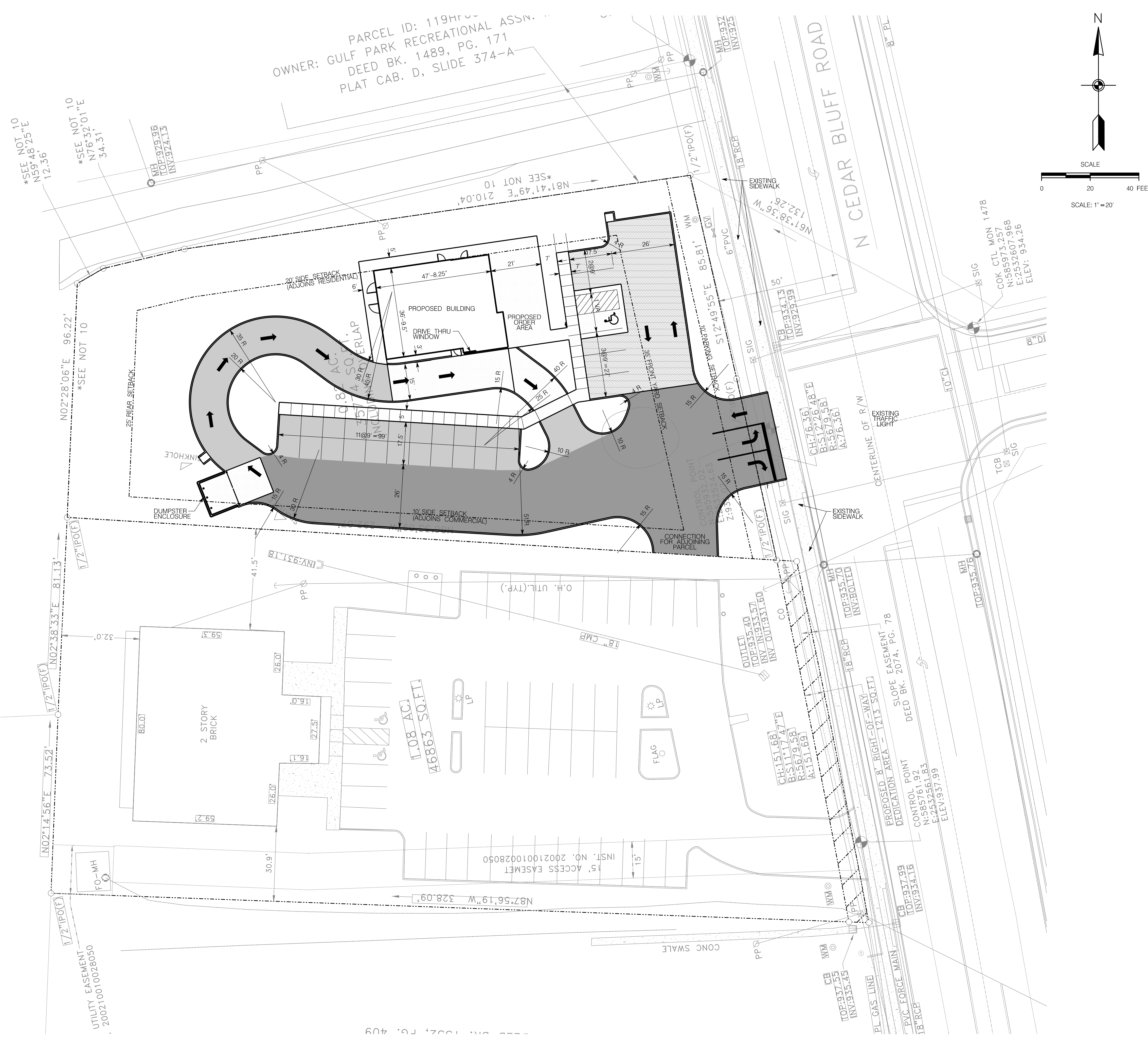
A Site Plan for:
Andy's Custard
 513 N. Cedar Bluff Road
 Knox County, TN
 Planning Case # 3-C-23-UR

REVISIONS:
 02/14/2023 PLANNING COMMENTS

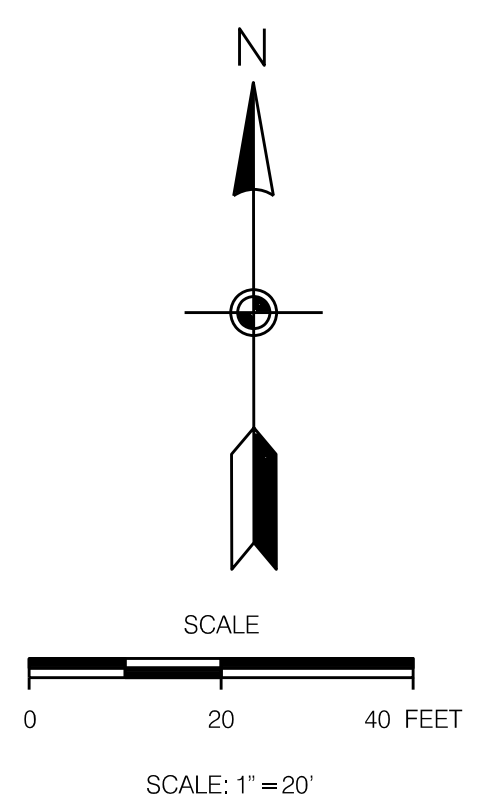
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 FILE NAME:
 PROJECT NO:

3-C-23-UR
 Revised: 2/20/2023

PL01
 CONCEPT DEMOLITION PLAN
 DRAWING



PARCEL ID: 119HFC...
 OWNER: GULF PARK RECREATIONAL ASSN...
 DEED BK. 1489, PG. 171
 PLAT CAB. D, SLIDE 374-A



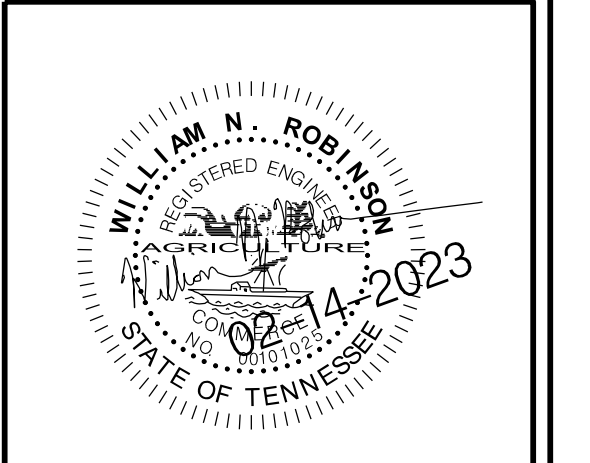
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		STRUCTURE
		PROPERTY LINE
		EASEMENT
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		STORM DRAIN
		SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		OVERHEAD ELECTRICAL
		WATER METER
		FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CATCH BASIN
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		RIP RAP

PROJECT DATA
 USE: CLUSTARD SHOP (DRIVE THRUWALK UP)
 ZONING: CN
 BUILDING TOTAL: 1,821 - TOTAL 1,430 (EXCLUDING COOLER, MECHANICAL, EXTERIOR WALLS THICKNESS, AND VESTIBULE)
 PARCEL: 119HFC04
PARKING SUMMARY:
 PARKING REQUIRED: 1 SPACE PER 3 EMPLOYEES + 1 SPACE PER 100 USABLE SQUARE FEET
 CALCULATION: 6 EMPLOYEES / 3 + (1,430 SF / 100) = 17 SPACES
 PARKING PROVIDED: 17 SPACES
SETBACKS:
 FRONT: 30'
 SIDE (ADJOINING RESIDENTIAL): 20'
 SIDE (ADJOINING CN ZONING): 10'
 REAR: 25'
 FRONT PARKING SETBACK: 10'
 PARCEL AREA: 0.82 AC, 35,774 SF
 IMPERVIOUS AREA: 0.48 AC, 20,880 SF
 FLOOR AREA RATIO: 4.0 %
 IMPERVIOUS AREA RATIO: 56.4 %
 GROSS AREA COVERAGE: 4.0 %



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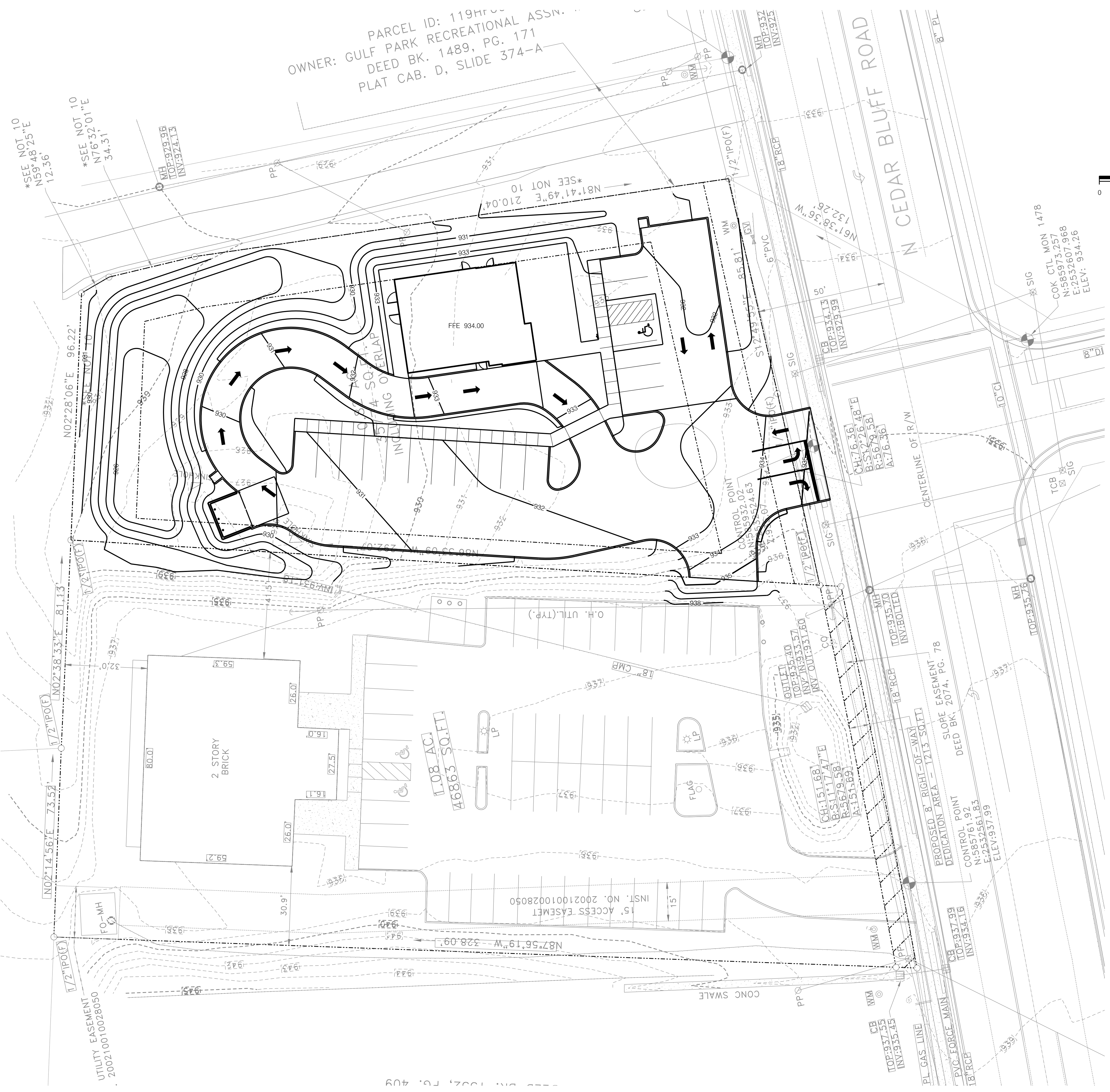
A Site Plan for:
Andy's Custard
 513 N. Cedar Bluff Road
 Knox County, TN
 Planning Case # 3-C-23-UR

REVISIONS:
 02/14/2023 PLANNING COMMENTS

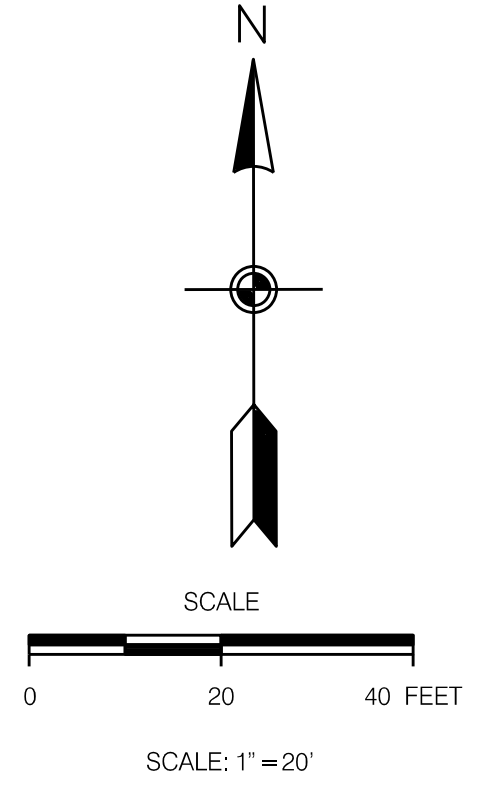
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 DATE: 01-06-2022
 FILE NAME:
 PROJECT NO:

PL02
 CONCEPT SITE PLAN
 DRAWING

3-C-23-UR
 Revised: 2/20/2023



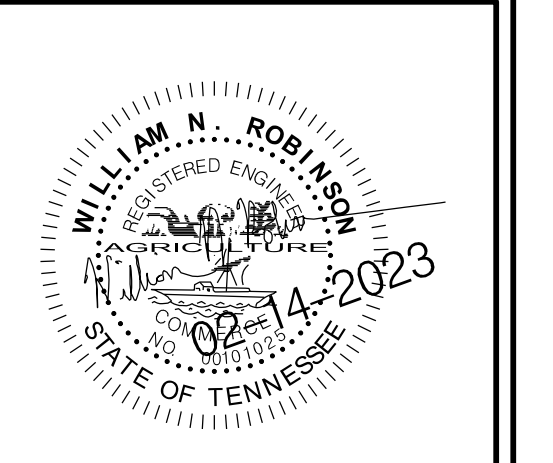
PARCEL ID: 119HFC
 OWNER: GULF PARK RECREATIONAL ASSN.
 DEED BK. 1489, PG. 171
 PLAT CAB. D, SLIDE 374-A



LEGEND:

EXISTING	PROPOSED	
535	535	GROUND CONTOUR ELEVATION
535.25'	535.25'	SPOT ELEVATION
[Symbol]	[Symbol]	STRUCTURE
[Symbol]	[Symbol]	PROPERTY LINE
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[Symbol]	[Symbol]	EDGE OF PAVEMENT
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NG	NG	NATURAL GAS
OE	OE	OVERHEAD ELECTRICAL
⊙	⊙	WATER METER
⊕	⊕	FIRE HYDRANT
NA	→	SURFACE FLOW
NA	— X —	SILT FENCING
[Symbol]	[Symbol]	CURB
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NA	[Symbol]	CONCRETE PAVEMENT
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A Site Plan for:
Andy's Custard
 513 N. Cedar Bluff Road
 Knox County, TN
 Planning Case # 3-C-23-UR

REVISIONS:
 02/14/2023 PLANNING COMMENTS

DRAWN: WNR
 CHECKED: WNR
 DATE: 01-06-2022
 FILE NAME:
 PROJECT NO:

PL03
 CONCEPT GRADING PLAN
 DRAWING

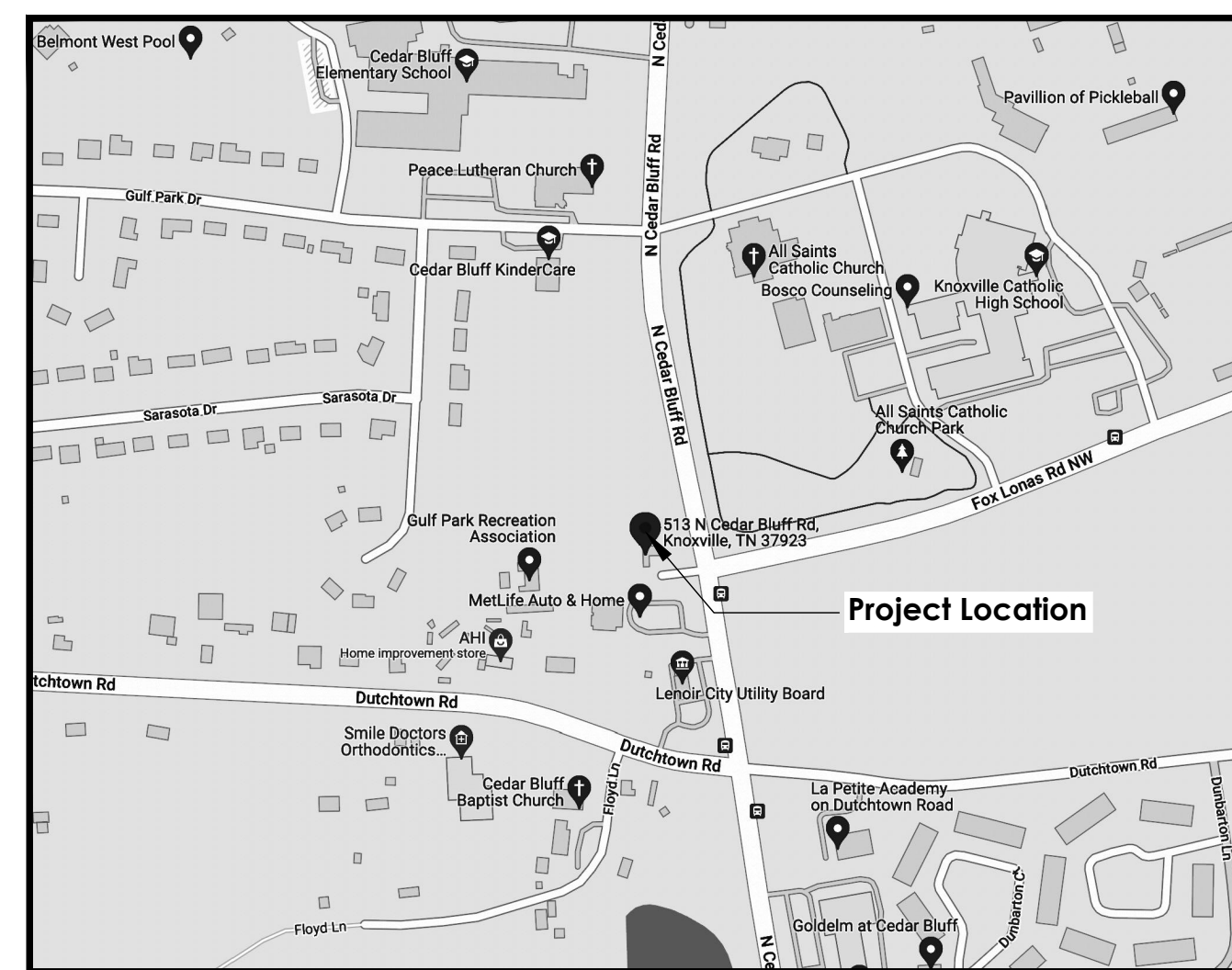
3-C-23-UR
 Revised: 2/20/2023



Andy's Custard

513 North Cedar Bluff Road
Knox County, TN 37923

Landscape Package



Vicinity Map: NTS

Landscape Package Sheet Index

- L000 Cover Sheet
- L100 Landscape Plan
- L200 Planting Details
- L201 Planting Notes & Plant Schedule

Property Information

1. Local jurisdiction: Knox County
2. Current Zoning: CN
3. Parcel #: 119HF014
4. Deed Reference: 20170601-0073532
5. Proposed Use: Custard Shop (Commercial)
6. Property Area: 0.82 acres

Landscape Architect Contact Information

Shippey Landscape Architecture
Philip Shippey, PLA
Phone: 229.326.1179
Email: philip@shippeyla.com

Mailing Address:
P.O. Box 2961
Cleveland, TN 37320

Abbreviation Reference

1. LF = Linear Feet
2. SF = Square Feet
3. o.c. = On Center
4. typ. = Typical
5. Ex. = Existing
6. EQ. = Equal
7. ± = Plus or minus
8. Qty. = Quantity
9. Cal. = Caliper
10. Gal. = Gallon
11. Hgt. = Height
12. Approx. = Approximate
13. CT = Clear Trunk
14. Min. = Minimum
15. Max. = Maximum
16. Cu. Yd. = Cubic Yard
17. PTD = Pitch to Drain
18. TBD = To be Determined

Andy's Custard
513 Cedar Bluff Road
Knox County, TN 37923
Planning Case #: 3-C-23-UR

Drawn By _____ Date _____
PBS 02/17/2023

Revision _____ Date _____
1. Planning Comments 02/17/2023

Sheet Name _____

Cover
Sheet

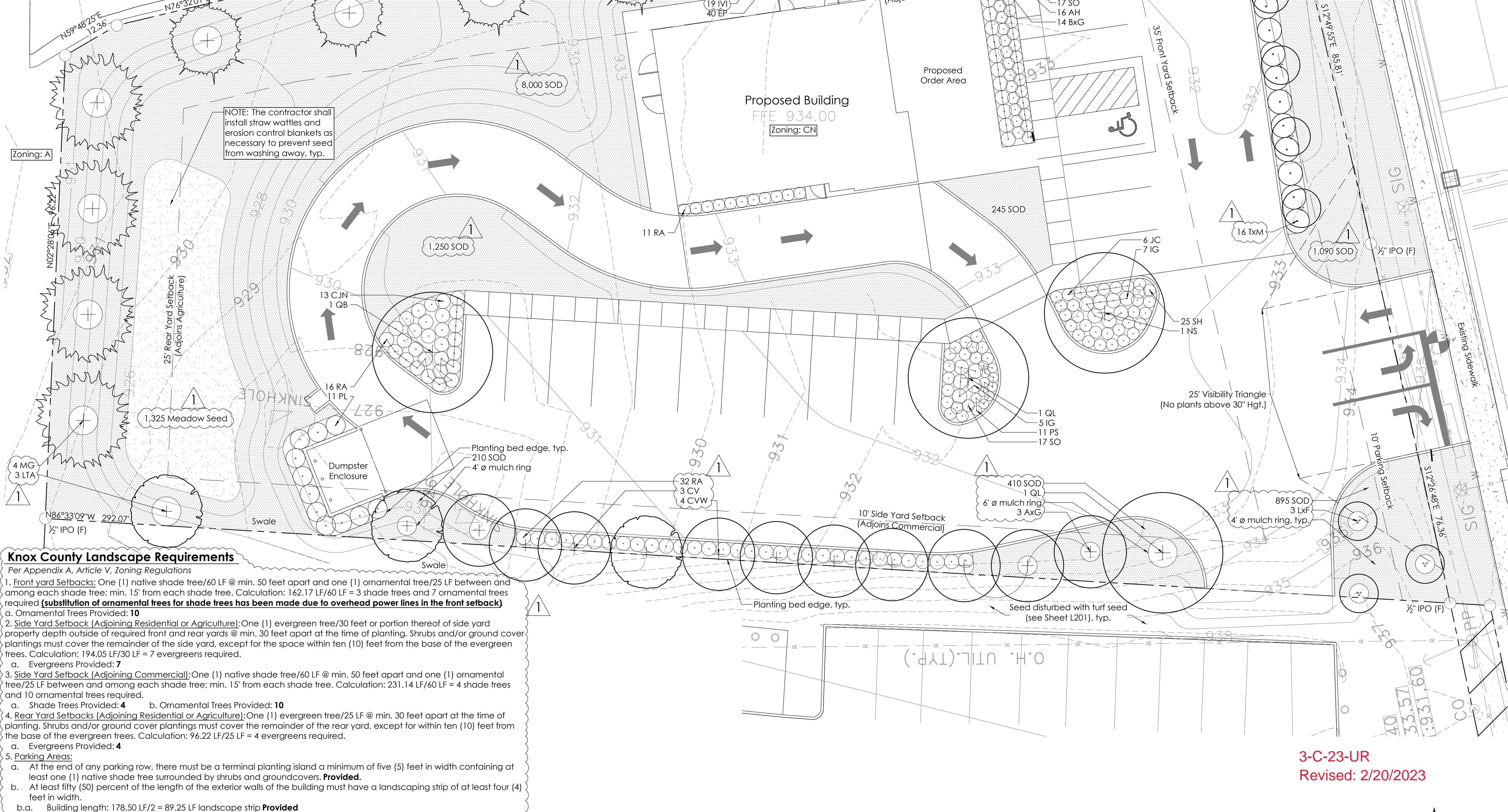
3-C-23-UR
Revised: 2/20/2023

Sheet Number _____

L000

Key	Botanical Name	Common Name
SHADE TREES		
LTA	Liriodendron tulipifera 'Arnold'	Arnold Tulip Poplar
NS	Nyssa sylvatica 'Walfire'	Black Tupelo
QB	Quercus bicolor	Swamp White Oak
QL	Quercus lyrata	Overcup Oak
EVERGREEN TREES		
KA	Ilex x attenuata 'Fosteri'	Foster Holly
MG	Magnolia grandiflora 'Bracken's Brown Beauty'	Bracken's Brown Beauty Magnolia
TG	Thuja 'Green Giant'	Green Giant Arborvitae
ORNAMENTAL TREES		
AKG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry
GV	Ceanothus virginica	Fringe Tree
CVW	Crotaegus virens 'Winter King'	Winter King Hawthorn
LIT	Lagerstroemia indica x fauriei 'Tonto'	Tonto Crape Myrtle
SHRUBS		
BxG	Buxus x 'Green Velvet'	Green Velvet Boxwood
CJN	Cryptomeria japonica 'Globosa Nano'	Dwarf Japanese Cedar
IG	Ilex glabra 'Shamrock'	Inkberry Holly
VI	Ilex virginica 'Henry's Garnet'	Virginia Sweetpire
PL	Prunus laurocerasus 'Schipkaensis'	Schip Laurel
RA	Rhus aromatica 'Gro-Low'	Gro-Low Sumac
Tm4	Taxus x media 'Densiformis'	Densiformis Yew
ORNAMENTAL GRASSES		
ES	Eragrostis spectabilis	Purple Lovegrass
SH	Sporobolus heterolepis	Prairie Dropseed
PERENNIALS		
AH	Amsonia hubrichtii	Arkansas Blue Star
EP	Echinacea purpurea	Purple Coneflower
JC	Juniperus conferta 'Blue Pacific'	Shore Juniper
PS	Phlox subulata 'Emerald Blue'	Moss Phlox
SO	Symphoricarpos oblongifolium 'Raydon's Favorite'	Raydon's Favorite Aster
TURF / MEADOW SEED**		
SOD	Festuca spp.	Meadow Seed Mix
MULCH / SOIL AMENDMENTS**		
		Fescue Grass
		Compost
		Double Shredded Hardwood Mulch

*See Sheet L201 for full plant schedule.



Knox County Landscape Requirements
 Per Appendix A, Article V, Zoning Regulations

- Front yard Setbacks: One (1) native shade tree/60 LF @ min. 50 feet apart and one (1) ornamental tree/25 LF between and among each shade tree; min. 15' from each shade tree. Calculation: 162.17 LF/60 LF = 3 shade trees and 7 ornamental trees required (**substitution of ornamental trees for shade trees has been made due to overhead power lines in the front setback**)
 - Ornamental Trees Provided: 10
- Side Yard Setback (Adjoining Residential or Agriculture): One (1) evergreen tree/30 feet or portion thereof of side yard property depth outside of required front and rear yards @ min. 30 feet apart at the time of planting. Shrubs and/or ground cover plantings must cover the remainder of the side yard, except for the space within ten (10) feet from the base of the evergreen trees. Calculation: 194.05 LF/30 LF = 7 evergreens required.
 - Evergreens Provided: 7
- Side Yard Setback (Adjoining Commercial): One (1) native shade tree/60 LF @ min. 50 feet apart and one (1) ornamental tree/25 LF between and among each shade tree; min. 15' from each shade tree. Calculation: 231.14 LF/60 LF = 4 shade trees and 10 ornamental trees required.
 - Shade Trees Provided: 4
 - Ornamental Trees Provided: 10
- Rear Yard Setbacks (Adjoining Residential or Agriculture): One (1) evergreen tree/25 LF @ min. 30 feet apart at the time of planting. Shrubs and/or ground cover plantings must cover the remainder of the rear yard, except for within ten (10) feet from the base of the evergreen trees. Calculation: 96.22 LF/25 LF = 4 evergreens required.
 - Evergreens Provided: 4
- Parking Areas:
 - At the end of any parking row, there must be a terminal planting island a minimum of five (5) feet in width containing at least one (1) native shade tree surrounded by shrubs and groundcovers. **Provided.**
 - At least fifty (50) percent of the length of the exterior walls of the building must have a landscaping strip of at least four (4) feet in width.
 - Building length: 178.50 LF/2 = 89.25 LF landscape strip **Provided**

Landscape Plan
 Scale: 1" = 10'-0"

3-C-23-UR
 Revised: 2/20/2023



SHIPEY
 landscape architecture

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 Cleveland, TN 37320
 225.334.1171 | shipey@shipey.com
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Andy's Custard
 513 Cedar Bluff Road
 Knox County, TN 37923
 Planning Case #: 3-C-23-UR

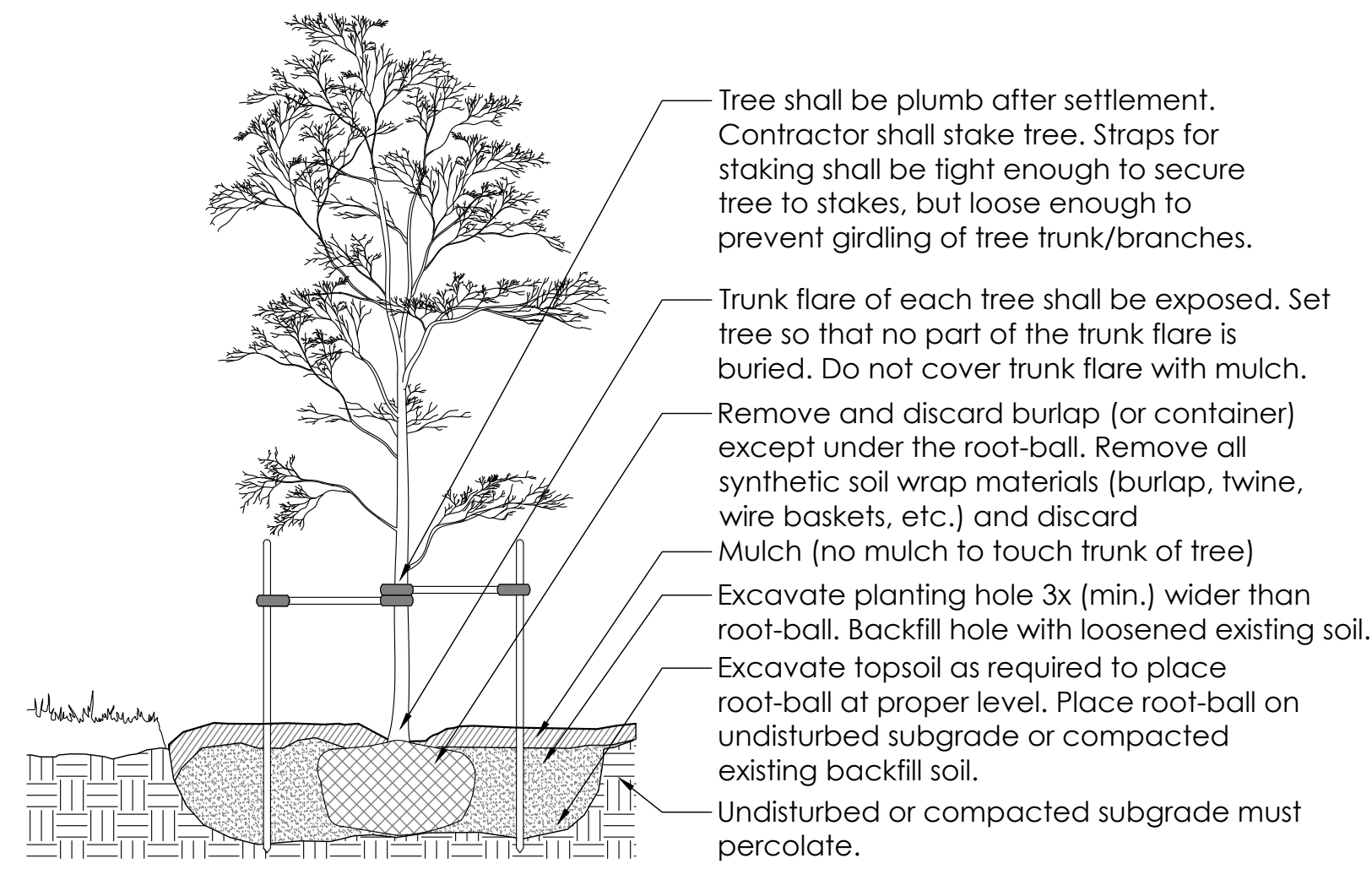
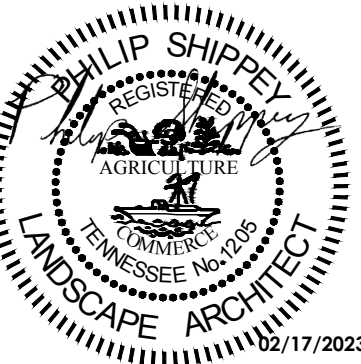
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 PBS: _____ 02/17/2023

Revision: _____ Date: _____
 1. Planning Comments: 02/17/2023

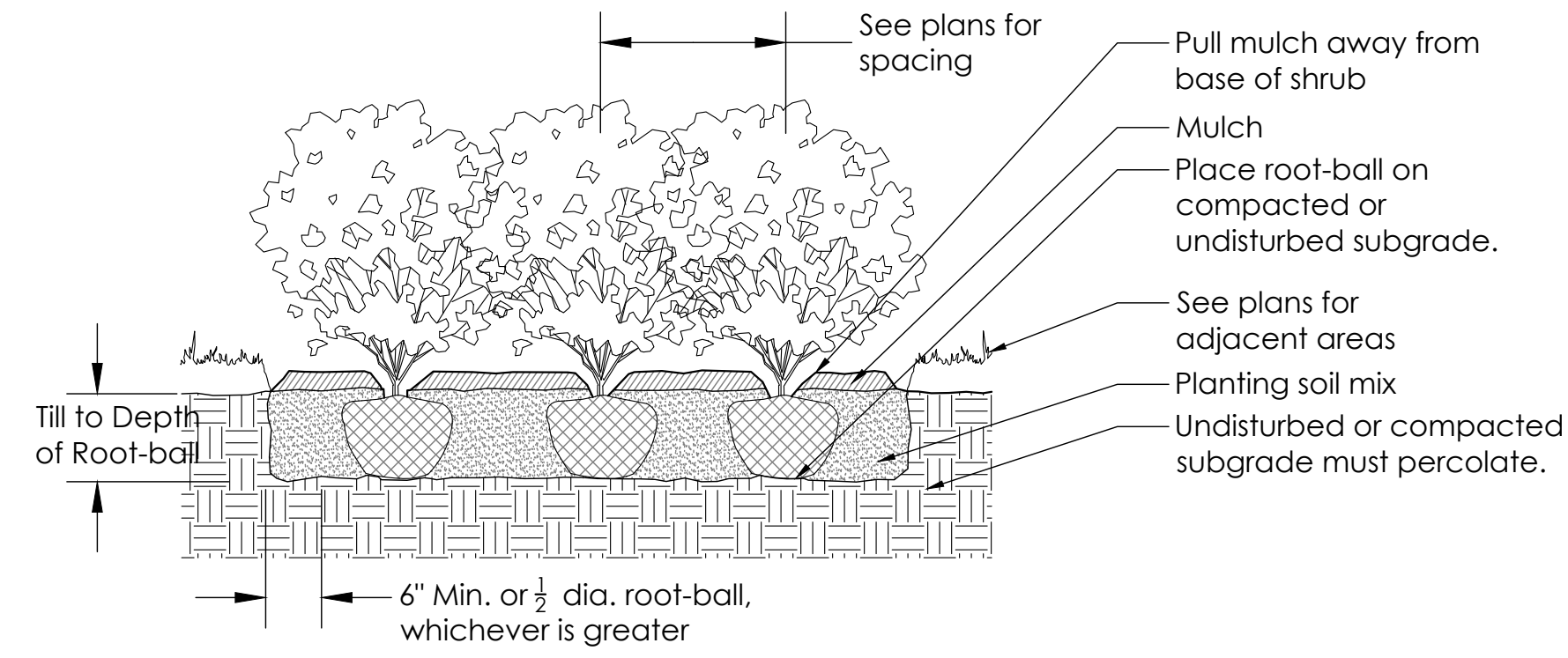
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Landscape Plan

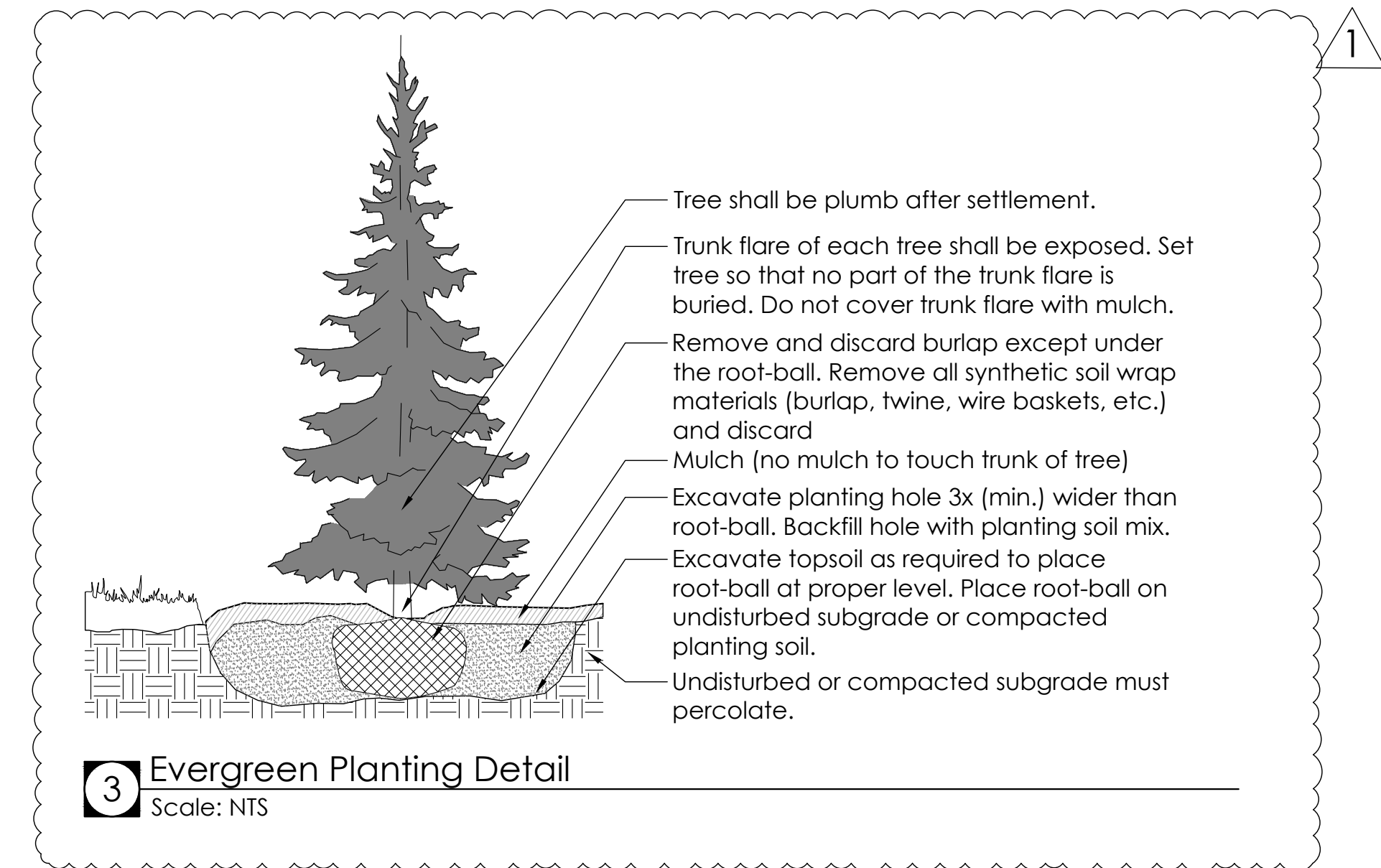
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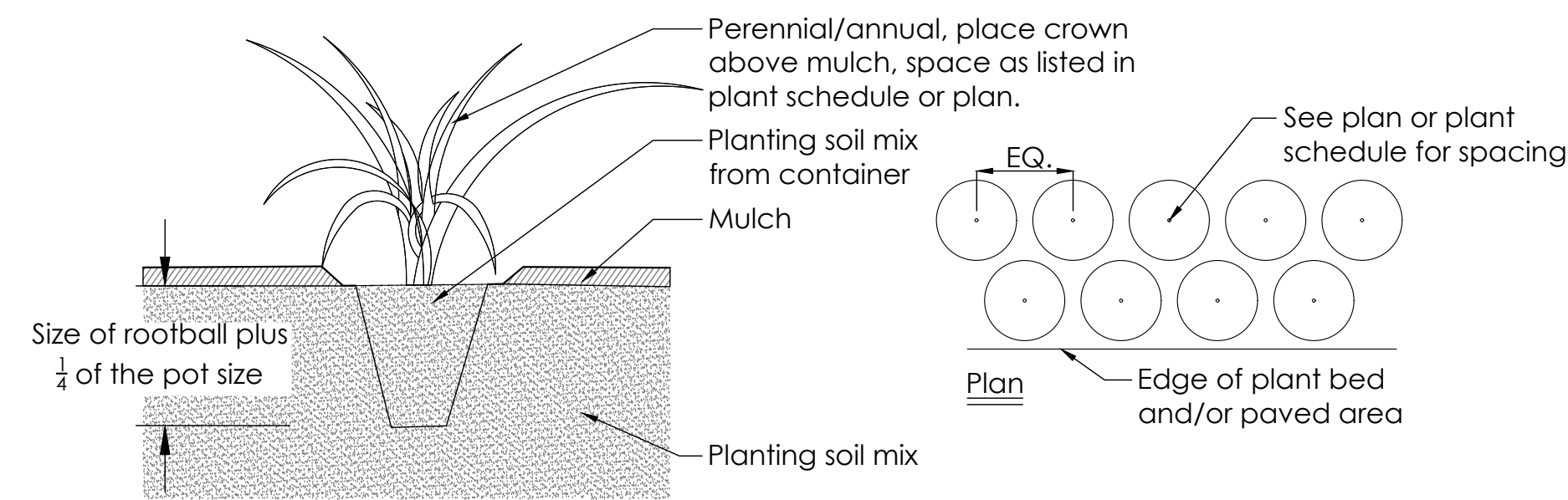
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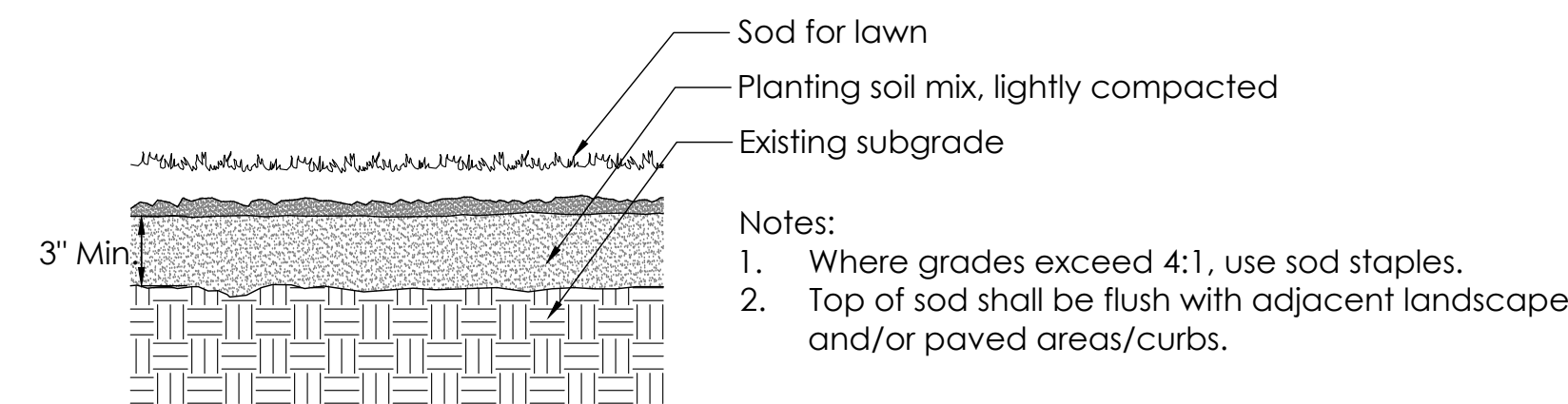
2 Shrub Planting
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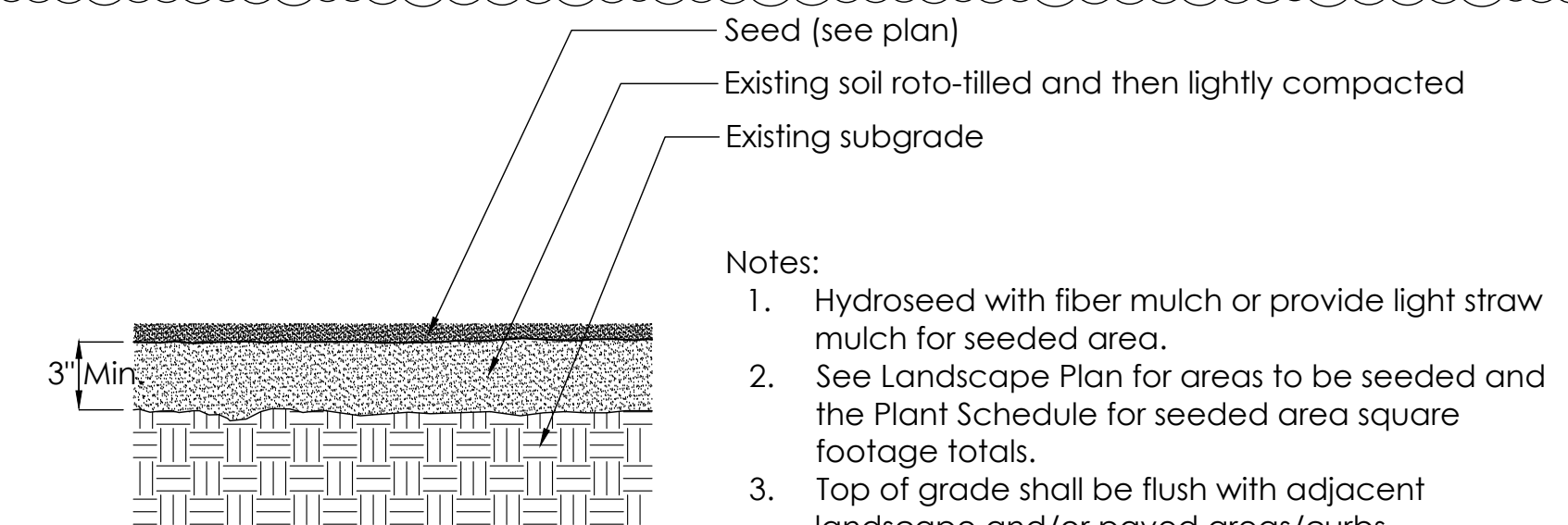
3 Evergreen Planting Detail
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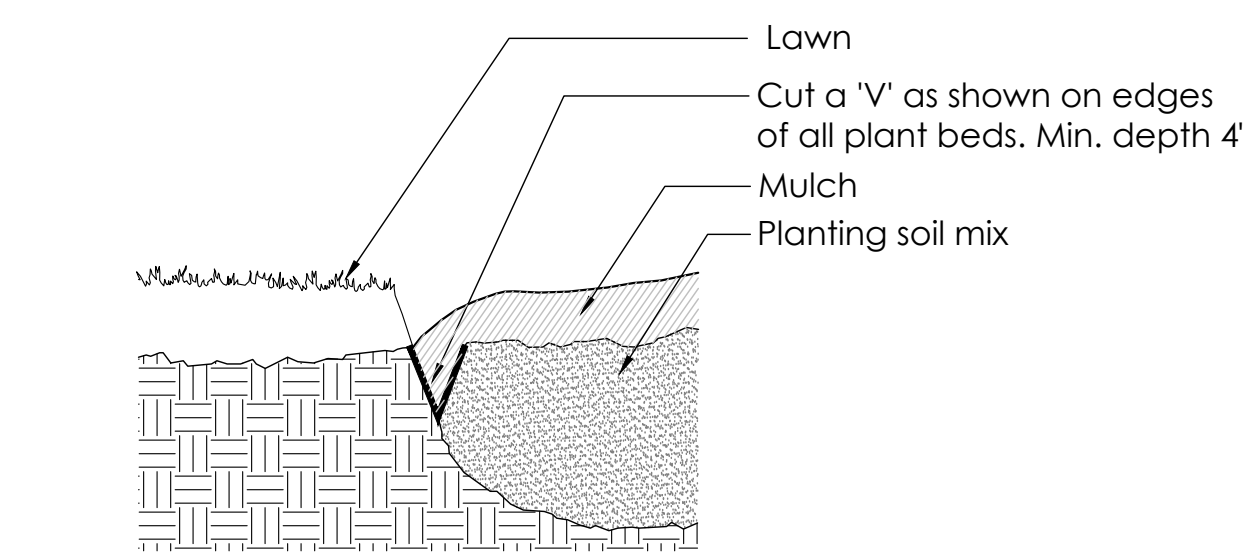
4 Perennial/Groundcover Planting Detail
Scale: NTS



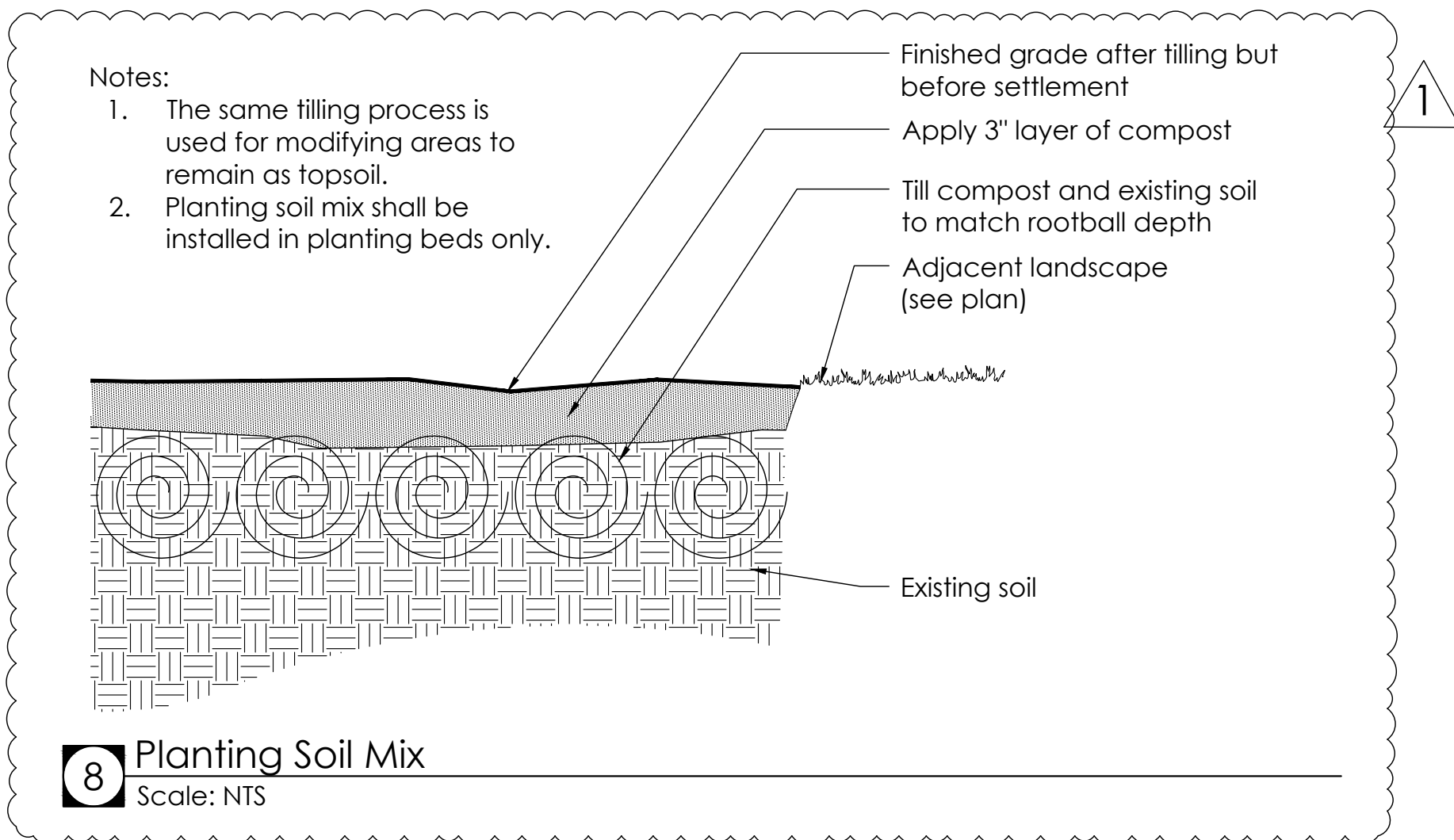
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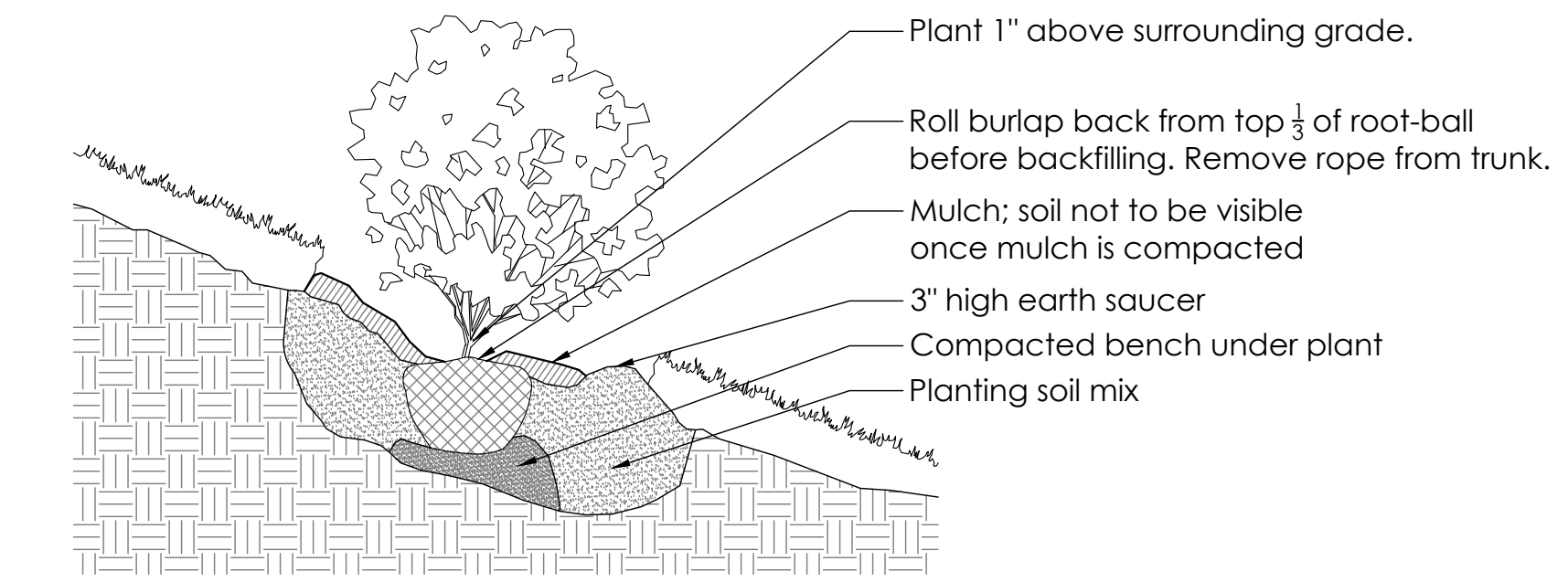
6 Seeding
Scale: NTS



7 Planting Bed Edge
Scale: NTS



8 Planting Soil Mix
Scale: NTS



9 Slope Planting Detail
Scale: NTS

Planting Notes

- The Contractor shall verify existing conditions in the field and report any discrepancies to the Landscape Architect prior to starting work.
- No planting shall occur until soil test sample results have been received and the soil has been amended per the soil test results. See this sheet for soil testing instructions.
- No planting shall occur until percolation testing has been completed and soils have been properly graded for positive drainage. See this sheet for percolation testing procedures.
- All new plant material shall conform to the guidelines set for nursery stock published by the American Association of Nurserymen. Additionally, all new plant material for the project shall be of the highest specimen quality.
- Do not assume that trunk flares will be exposed at the nursery. Contractor to expose trunk flares to check for girdling. Pull mulch away from the base of all plants.
- All new plants shall be balled and burlapped or container grown unless otherwise noted on the plant schedule.
- The Contractor shall locate and verify all existing underground and aboveground utility lines prior to soil preparation or planting. Any discrepancies shall be reported to the Landscape Architect. Call Tennessee 811 to schedule a utility locate.
- Till all beds with planting soil mix to a minimum depth that matches the depth of the plant root-balls.
- All plant beds and trees shall receive a minimum of three inches (3") of double-shredded, hardwood mulch. See Seeding Notes on this sheet for mulching of seeded areas.
- All shade and large evergreen trees in lawn areas shall have a minimum 6' diameter mulch ring to surround the base of the trunk unless noted otherwise on the plan. All ornamental and small evergreen trees shall have a minimum 4' diameter mulch ring to surround the base of the trunk unless noted otherwise on the plan.
- Do not pile mulch against the trunk of any tree. Leave a gap for the trunk flare. **Avoid mulch volcanoes.**
- Thoroughly water **all** plants during the first 24 hours after planting. Wet the soil to a depth of 18-24". When water starts to run off, stop watering, let the water soak in and repeat until the proper depth is wet.
- Any proposed substitutions of plant species shall be made with plants of equivalent form, height, branching, habit, leaf color, fruit and environmental culture. **All proposed substitutions must be approved by the Landscape Architect.**
- The Contractor's base bid shall include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
- The Contractor shall complete work within schedule established by the Owner or Owner's representative.
- The Contractor shall provide a **one (1) year warranty for all plant material** starting after the issuance of the certificate of occupancy. See specifications for more information regarding the plant warranty.
- Plant material delivered to the site that does not meet the requirements stated herein may be rejected by the Owner, Owner's Representative, or Landscape Architect.
- Contractor to provide interim maintenance (watering, pruning, fertilizing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, and general landscape clean-up) until end of warranty.
- Application of pesticides must be approved by the Landscape Architect or Owner prior to use. All pesticide applications shall be carried out by a licensed spray technician.
- Planting plans are not layout plans. Plants may need to be shifted in the field to accommodate existing conditions. Coordinate with the Landscape Architect before making any changes to the planting plan.
- Mulch, compost, and sod quantities are approximate. The Contractor shall verify the amount needed before purchasing and installing.

Seeding Notes

- Field verify areas to receive seed and modify order quantity as necessary.
- Site Preparation: Eradicate exotic invasive plant material by having a licensed spray technician apply an approved herbicide. Good pre-seeding weed control may require repeated spraying at least two weeks apart.
- See Civil Engineer's plans for grading. Finer grading and shaping may be necessary to achieve a smoother, more regular surface for receiving seed.
- The Contractor shall ensure that all grades will permit safe and efficient use of equipment during seedbed preparation, seeding, strawing, and maintenance of vegetation.
- Loosely grade the topsoil in order to create a non-compacted growing medium prior to spreading the seed. **Roto-tilling of areas to receive seed is required prior to sowing seed.**
- Evenly spread a thin layer straw mulch to all seeded areas after sowing seed or use hydroseed fiber mulch.
- For areas with slope greater than 3:1, final tracking should be perpendicular to the slope to help reduce erosion, keep seeds in place, and to retain consistent soil moisture for seed germination.
- Concentrations of water flows that could cause soil erosion should be diverted to a safe outlet. Diversions and other treatment practices must conform to the appropriate standards and specifications of the Tennessee Erosion and Sediment Control (TDEC) Handbook.
- The Contractor shall comply with TDEC erosion control requirements throughout the establishment of the seeded areas.
- Maintenance: The Contractor shall observe the growth of the seeded species and eliminate invasive exotic vegetation until final acceptance.
- Protect and care for seeded areas, including watering when needed, until final acceptance. This includes repaired areas and any areas receiving supplemental applications of seed.
- Seed all areas as shown on the plans.
- Protect and care for seeded areas, including watering when needed, until final acceptance. This includes repaired areas as well as any area receiving supplemental applications of seed.
- Seed any left over, disturbed areas following construction with turf seed. See table below for turf seed blend.
- Source meadow seed blend as provided below.

Meadow Seed Source: Roundstone Native Seed, LLC
Address: 99764 Raider Hollow Road, Upton, Ky. 42784
Phone: (888)531.2353

Seed Mix: **Southern Wetland Meadow Mix**
Item Number: **Mix 129**
Source seed as shown at the website listed under the following URL:
<https://roundstoneseed.com/wetland-mixes/1034-wetland-meadow-mix.html>

Soil Test Notes

- Using a shovel, dig a v-shaped hole to a depth of 6 inches; then cut a thin slice of soil from one side of the hole. Place the slice of soil into a plastic bucket (do not use a metal bucket as this can skew test results). Mix the slices together and fill a plastic sample bag with three (3) cups of soil. The sample bags can be ziploc bags that clearly labeled with the project name and sample number.
- A well-mixed composite from 10 to 20 random locations from the areas to receive plants shall be sub-sampled to make the three (3) cup sample for each bag.
- Mark the landscape plan to show sample locations.
- Send the soil samples to either a private lab or the local extension service.
- The results of the soil test shall be sent to the Landscape Architect for evaluation.

Soil Percolation Test Notes

- Dig hole 18-24" deep and a minimum of 6" wide.
- Fill hole with water to the top and let it drain for several hours. Ideally, let the hole pre-wet over night and perform the test the following day.
- Refill hole to within a couple of inches of the top.
- To aid in measurement, place a stick across the top of the hole and use a second stick to mark periodic drops in water level; mark side of hole; or mark on side of hole with nail or stick.
- Measure drop in water level after 30 minutes and again at 1 hour. If possible, measure the drop in water level the next day.
- Determine drop in water level per hour. If water level in the hole drops, more than 1 inch per hour, it is well drained and suitable for planting.

Botanical Name	Common Name	Percentage in Mix
<i>Festuca arundinacea</i>	Tall Fescue	70%
<i>Festuca rubra</i>	Creeping Red Fescue	15%
<i>Poa pratensis</i>	Kentucky Bluegrass	15%

Plant Schedule*

Key	Qty.	Botanical Name	Common Name	Size	Notes
SHADE TREES					
LTA	3	<i>Liriodendron tulipifera</i> 'Arnold'	Arnold Tulip Poplar	1.5" Cal.	Single trunk; well-branched
NS	1	<i>Nyssa sylvatica</i> 'Wildfire'	Black Tupelo	1.5" Cal.	Single trunk; well-branched
QB	1	<i>Quercus bicolor</i>	Swamp White Oak	1.5" Cal.	Single trunk; well-branched
QL	2	<i>Quercus lyrata</i>	Overcup Oak	1.5" Cal.	Single trunk; well-branched
EVERGREEN TREES					
IxA	3	<i>Ilex x attenuata</i> 'Fosteri'	Foster Holly	Min. 5' Hgt.	Full-to-ground; well-branched
MG	4	<i>Magnolia grandiflora</i> 'Bracken's Brown Beauty'	Bracken's Brown Beauty Magnolia	Min. 5' Hgt.	Full-to-ground; well-branched
TG	4	<i>Thuja</i> 'Green Giant'	Green Giant Arborvitae	Min. 5' Hgt.	Full-to-ground; well-branched
ORNAMENTAL TREES					
AxG	3	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	Min. 5' Hgt.	Single trunk; well-branched
CV	3	<i>Chionanthus virginicus</i>	Fringe Tree	Min. 5' Hgt.	Multi-trunk; well-branched
CVW	4	<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorn	Min. 5' Hgt.	Single trunk; well-branched
LxF	10	<i>Lagerstroemia indica x fauriei</i> 'Tonto'	Tonto Crape Myrtle	Min. 5' Hgt.	Multi-trunk; well-branched
SHRUBS					
BxG	14	<i>Buxus x</i> 'Green Velvet'	Green Velvet Boxwood	3 Gal.	3' o.c. spacing
CJN	13	<i>Cryptomeria japonica</i> 'Globosa Nana'	Dwarf Japanese Cedar	3 Gal.	3' o.c. spacing; dwarf variety
IG	20	<i>Ilex glabra</i> 'Shamrock'	Inkberry Holly	3 Gal.	3' o.c. spacing
IVI	19	<i>Itea virginica</i> 'Henry's Garnet'	Virginia Sweetspire	3 Gal.	4' o.c. spacing
PL	11	<i>Prunus laurocerasus</i> 'Schipkaensis'	Schip Laurel	3 Gal.	4' o.c. spacing
RA	59	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Sumac	3 Gal.	See plan for spacing; dwarf variety
TxM	16	<i>Taxus x media</i> 'Densiflora'	Densiflora Yew	3 Gal.	5' o.c. spacing
ORNAMENTAL GRASSES					
ES	40	<i>Eragrostis spectabilis</i>	Purple Lovegrass	Quart	18" o.c. spacing
SH	25	<i>Sporobolus heterolepis</i>	Prairie Dropseed	Quart	See plan for spacing
PERENNIALS					
AH	16	<i>Amsonia hubrichtii</i>	Arkansas Blue Star	1 Gal.	30" o.c. spacing
EP	40	<i>Echinacea purpurea</i>	Purple Coneflower	4" Pot	18" o.c. spacing
JC	16	<i>Juniperus conferta</i> 'Blue Pacific'	Shore Juniper	1 Gal.	See plan for spacing
PS	11	<i>Phlox subulata</i> 'Emerald Blue'	Moss Phlox	1 Gal.	24" o.c. spacing
SO	34	<i>Symphytrichum oblongifolium</i> 'Raydon's Favorite'	Raydon's Favorite Aster	1 Gal.	30" o.c. spacing
TURF / MEADOW SEED**					
	1,325		Meadow Seed Mix	SF	See Sheet L201 for seed blend
SOD	12,100	<i>Festuca</i> spp.	Fescue Grass	SF	Sodded turf grass
MULCH / SOIL AMENDMENTS***					
	16	Compost		Cu. Yd.	Approx. 2" depth; install compost for shrub beds only
	29	Double-Shredded Hardwood Mulch		Cu. Yd.	Approx. 3" depth

*All proposed substitutions must be approved by the Landscape Architect.
**Contractor shall verify turf and meadow seed mix quantities needed.
***Contractor shall verify compost and mulch quantities needed.



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Andy's Custard

513 Cedar Bluff Road
Knox County, TN 37923
Planning Case #: 3-C-23-UR

Drawn By _____ Date _____
PBS _____ 02/17/2023

Revision _____ Date _____
1. Planning Comments _____ 02/17/2023

Sheet Name _____

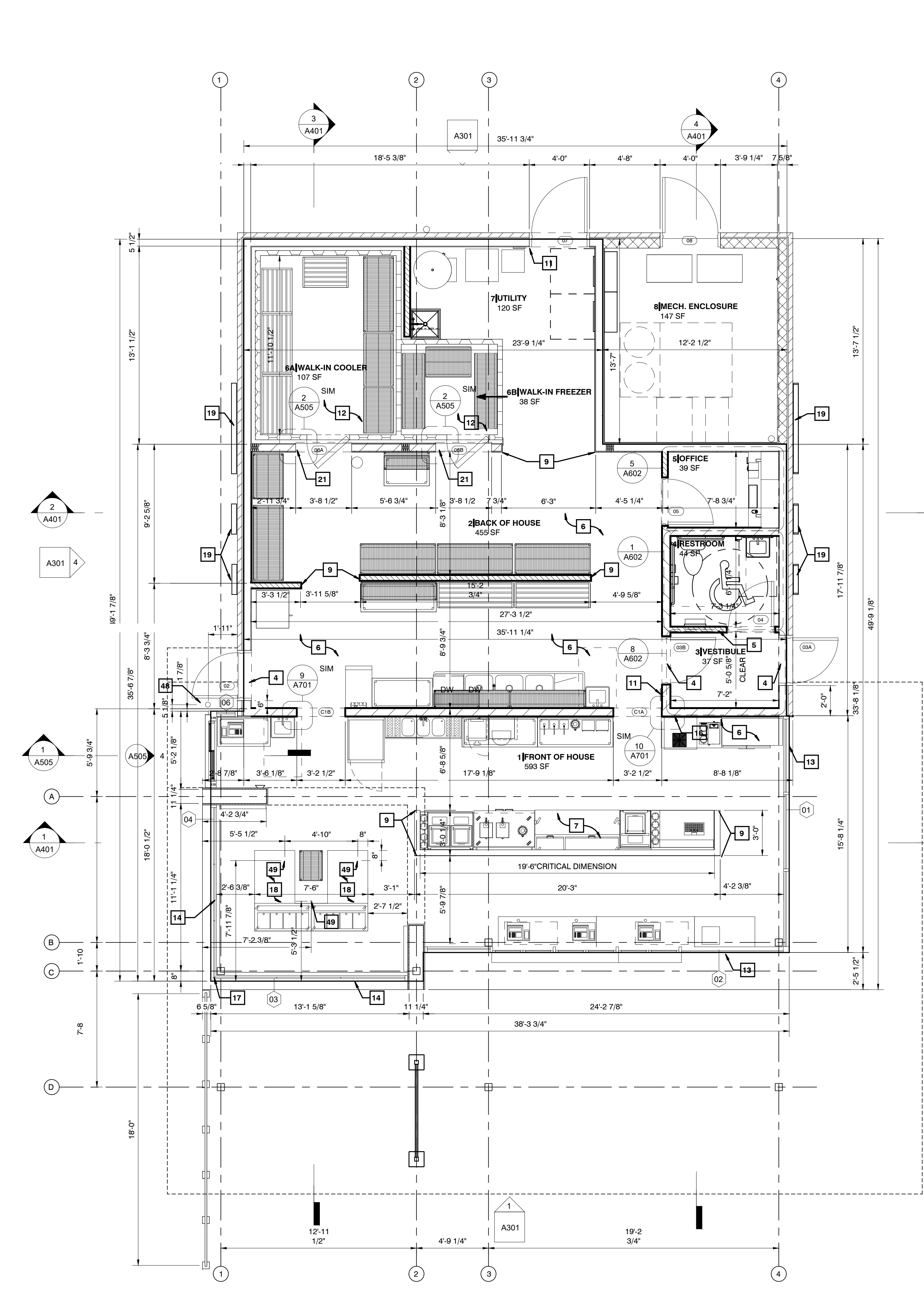
Planting Notes
& Plant
Schedule

3-C-23-UR
Revised: 2/20/2023

Sheet Number _____

L201

P:\24\24-116-20\24-116-20.dwg
 24-116-20
 8-8-24
 AMB
 B:\Projects\24-116-20\24-116-20.dwg
 24-116-20



1 DIMENSIONED PLAN
1/4" = 1'-0"

- KEYNOTES:**
1. ROOF DRAINS BELOW SIDEWALK TO STORM SEWER - **NOTE:** EXPLODE WATER UNDER SIDEWALK TO CURB - NOT ONTO WALK.
 2. NEW PANELBOARD(S).
 3. DRIVE THRU WINDOW.
 4. TACTILE ALUMINUM EXIT SIGNAGE IN COMPLIANCE WITH SECTION 1011.3 IBC 2006 SURFACE MOUNTED TO DOOR.
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 11. FIRE EXTINGUISHER AND CABINET - SEE 4/A701
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 48. STEEL PIPE BOLLARD - 4" DIAMETER SCHEDULE 40 STEEL PIPE - 4' ABOVE GRADE W/ 2" CORE BELOW GRADE
 49. ELECTRIC STUB

PARTITION LEGEND:

NEW INTERIOR PARTITION
 2 x 6 WOOD STUDS
 A-1: 5/8" GWB BOTH SIDES
 A-2: 5/8" GWB ONE SIDE

NEW INTERIOR PARTITION
 2 x 4 WOOD STUDS, 5/8" GWB
 B-1: 5/8" GWB BOTH SIDES
 B-2: 5/8" GWB ONE SIDE

1. DIMS. ARE FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED
2. REFER TO A701 FOR NOTES ON WALL TYPE / DETAILING.
3. REFER TO FINISH PLAN AND SCHEDULE FOR VARIATIONS TO INTERIOR WALL FINISHES
4. ALL FOOD AND NON-FOOD SURFACES ARE TO BE SMOOTH, DURABLE, NON-ABSORBENT, LIGHT IN COLOR AND EASILY CLEANABLE PER LOCAL CITY HEALTH DEPARTMENT REGULATIONS.
5. REFER TO INT. ELEV. FOR CONDITIONS WITH TILE AS FIN. WALL SURFACE - PROVIDE 5/8" CONCRETE BACKER BOARD IN LIEU OF G.W.B.
6. BATHROOM WALLS SHOULD BE INSUL WITH SOUND BATT INSUL TO ACHIEVE AN STC RATING OF 50
7. ALL WALLS CONTAINED WITHIN OR DIRECTLY FACING ROOM 2 - BACK OF HOUSE TO UTILIZE FRP 1 IN LIEU OF 5/8" G.W.B.

3-C-23-UR
 Revised: 2/20/2023

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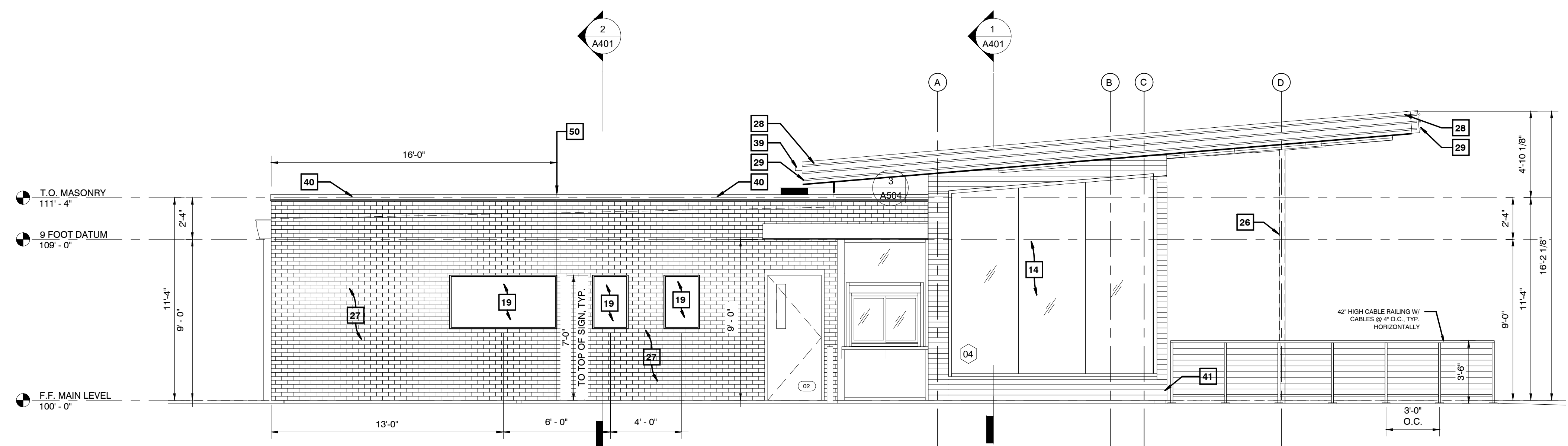


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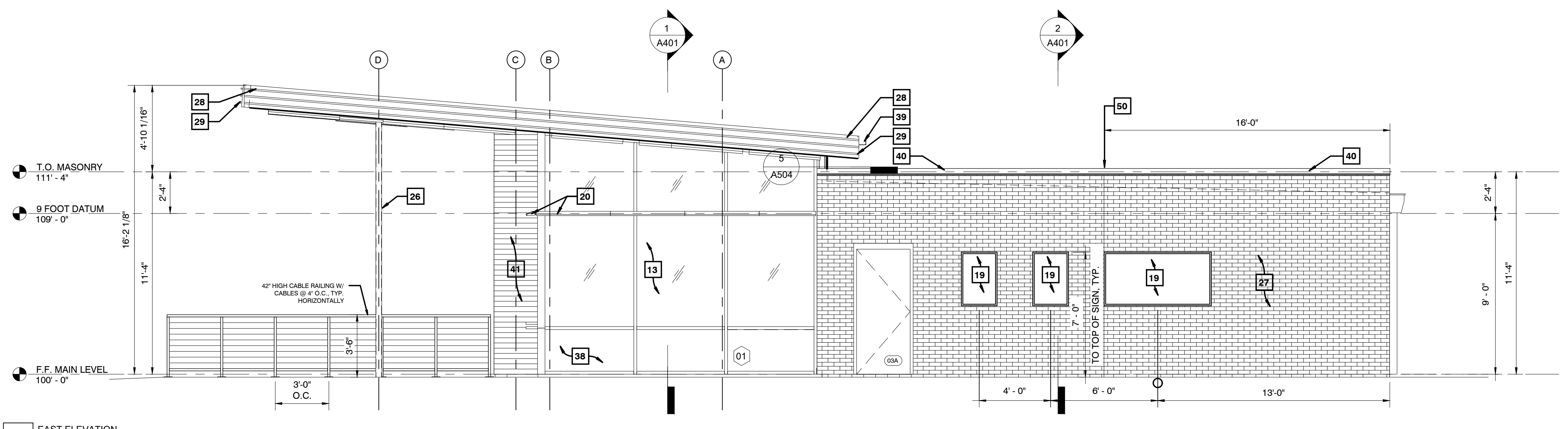
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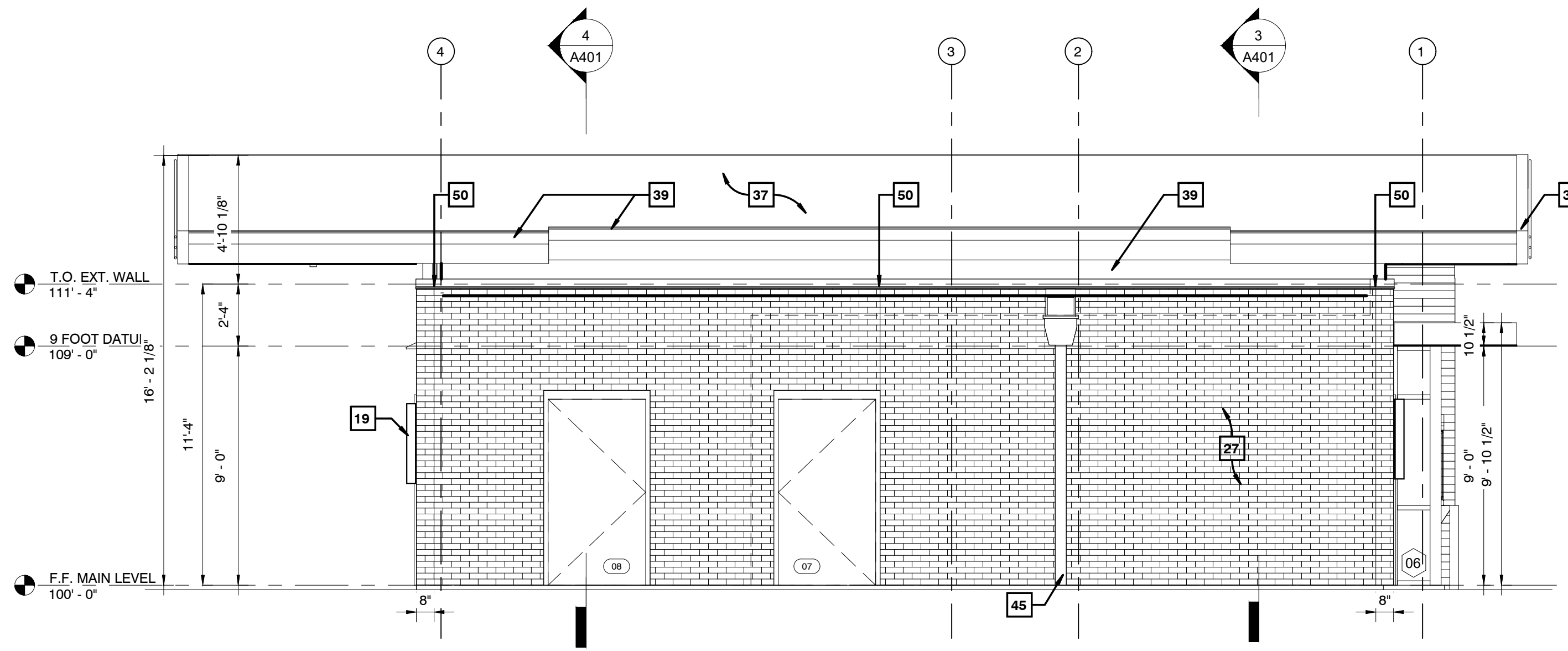
PROJECT NO. 2021-08-03
 513 N CEDAR BLUFF RD
 KNOXVILLE, TN 37912
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 ANDY'S FROZEN CUSTARD
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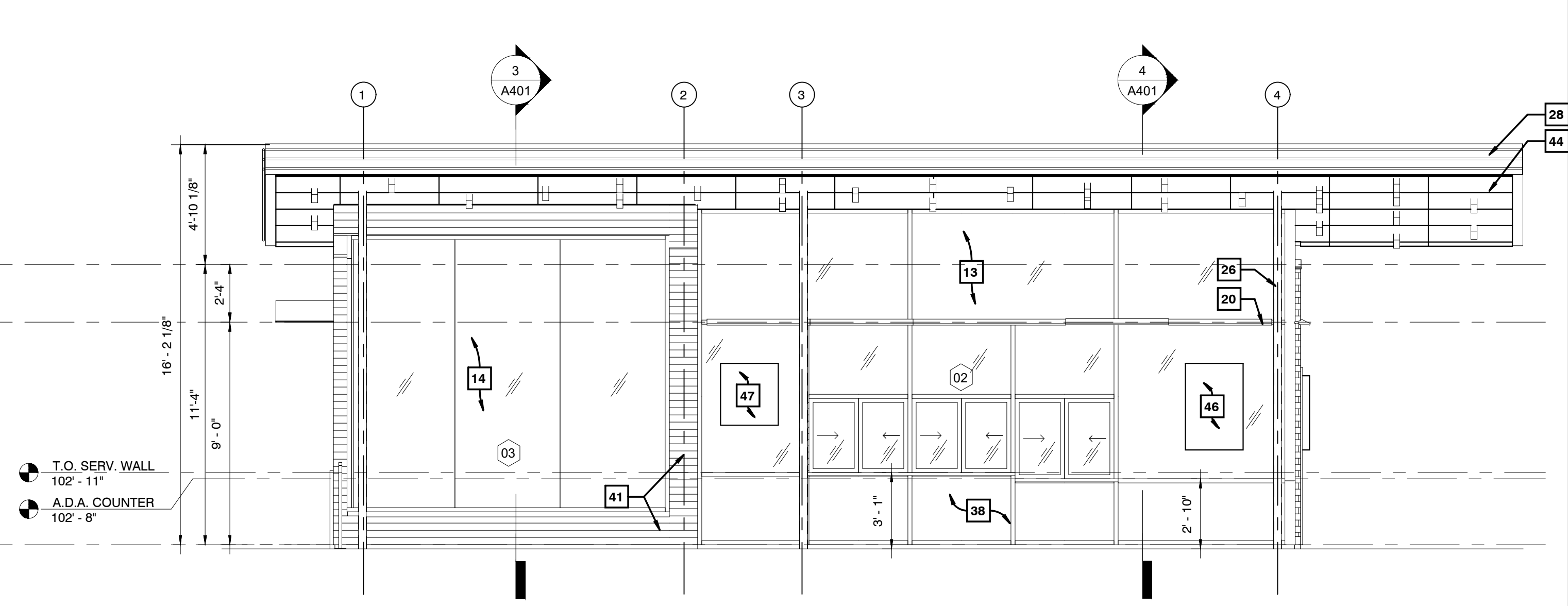
4 WEST ELEVATION
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3 EAST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
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- MASONRY CONTROL JOINT; REF STRUCTURAL DWGS.

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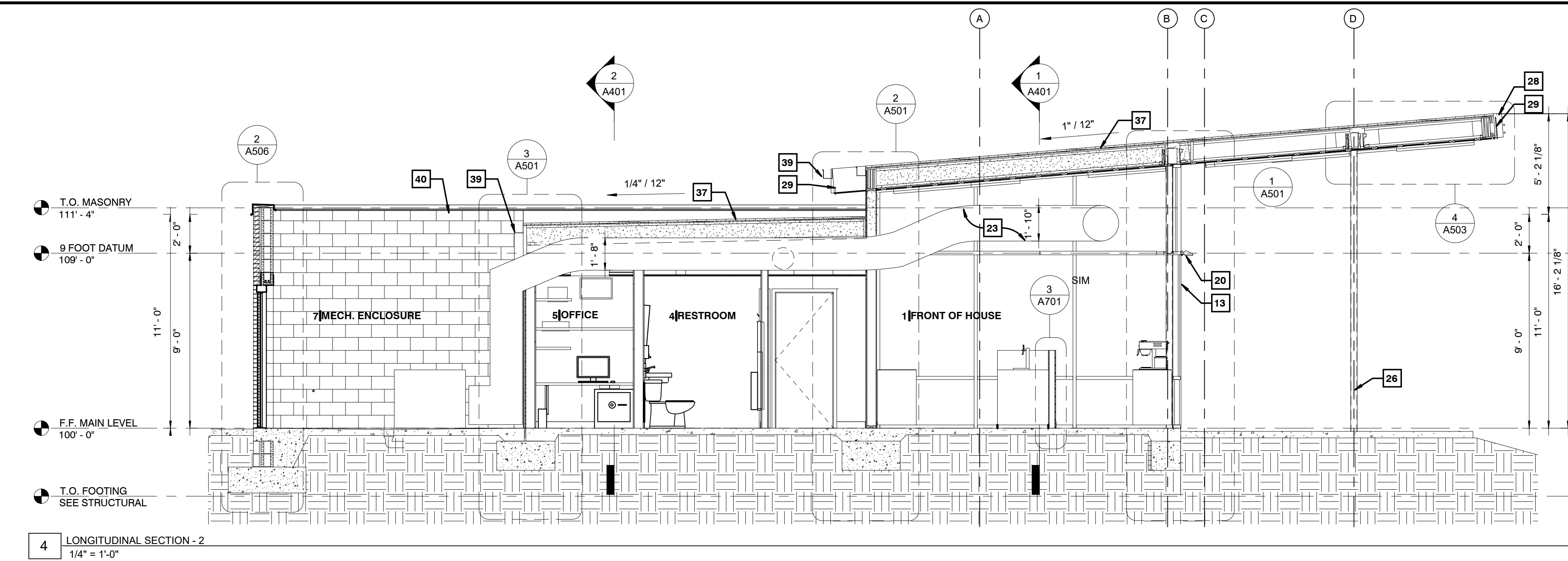
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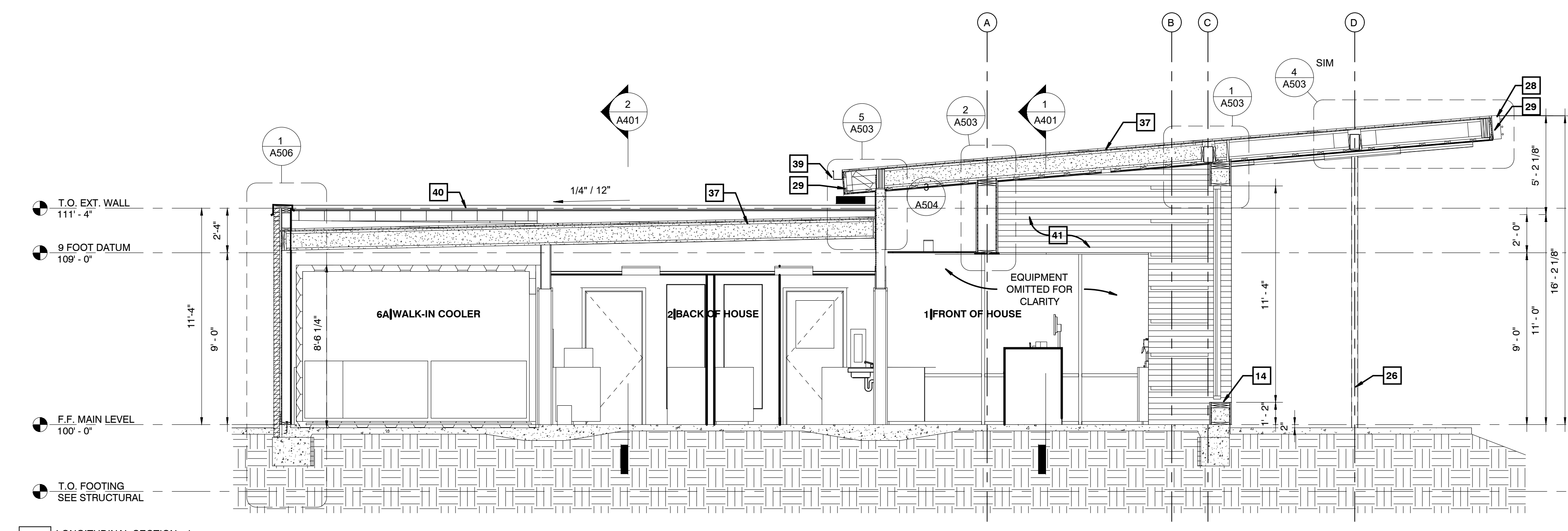
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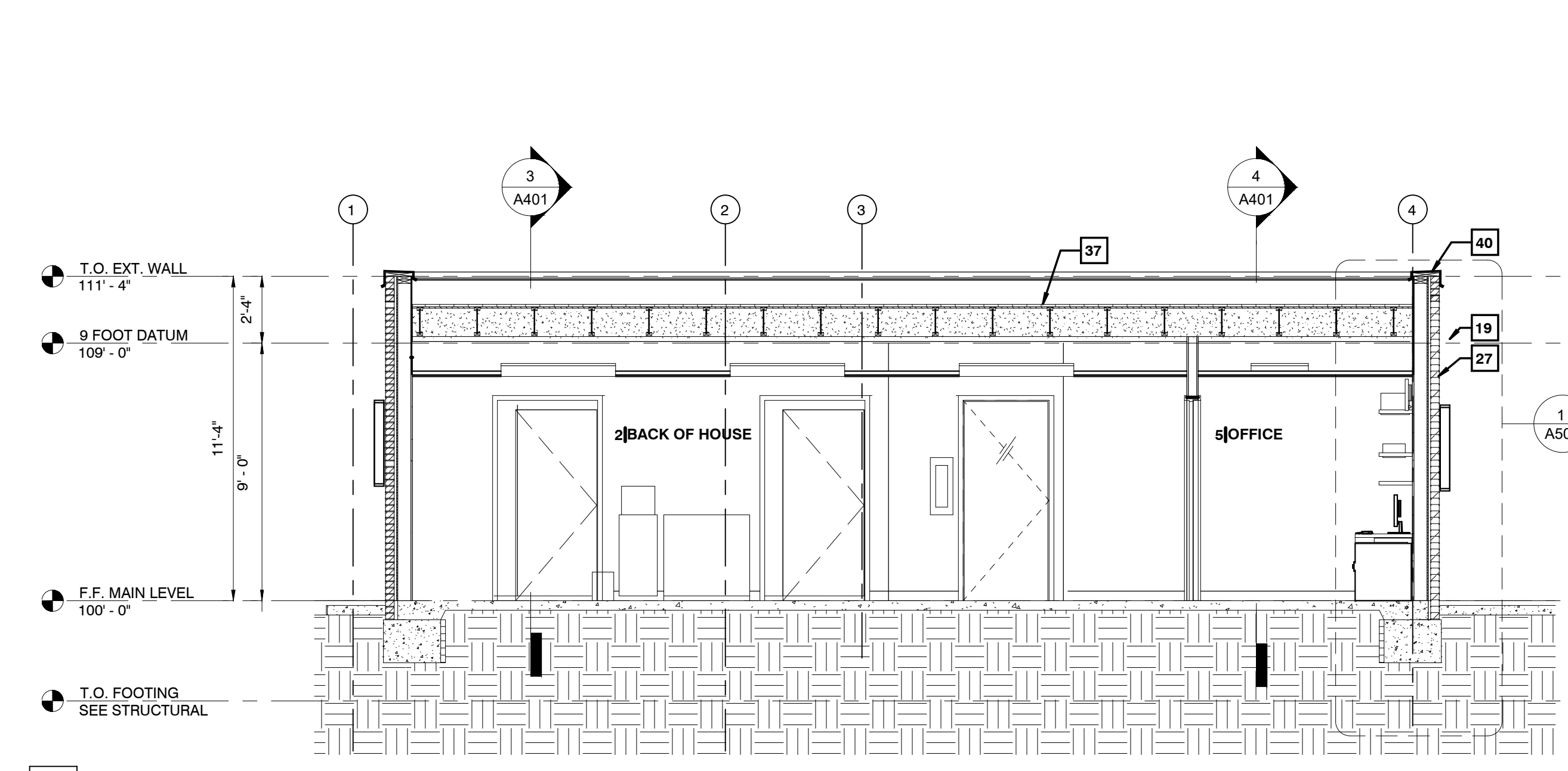
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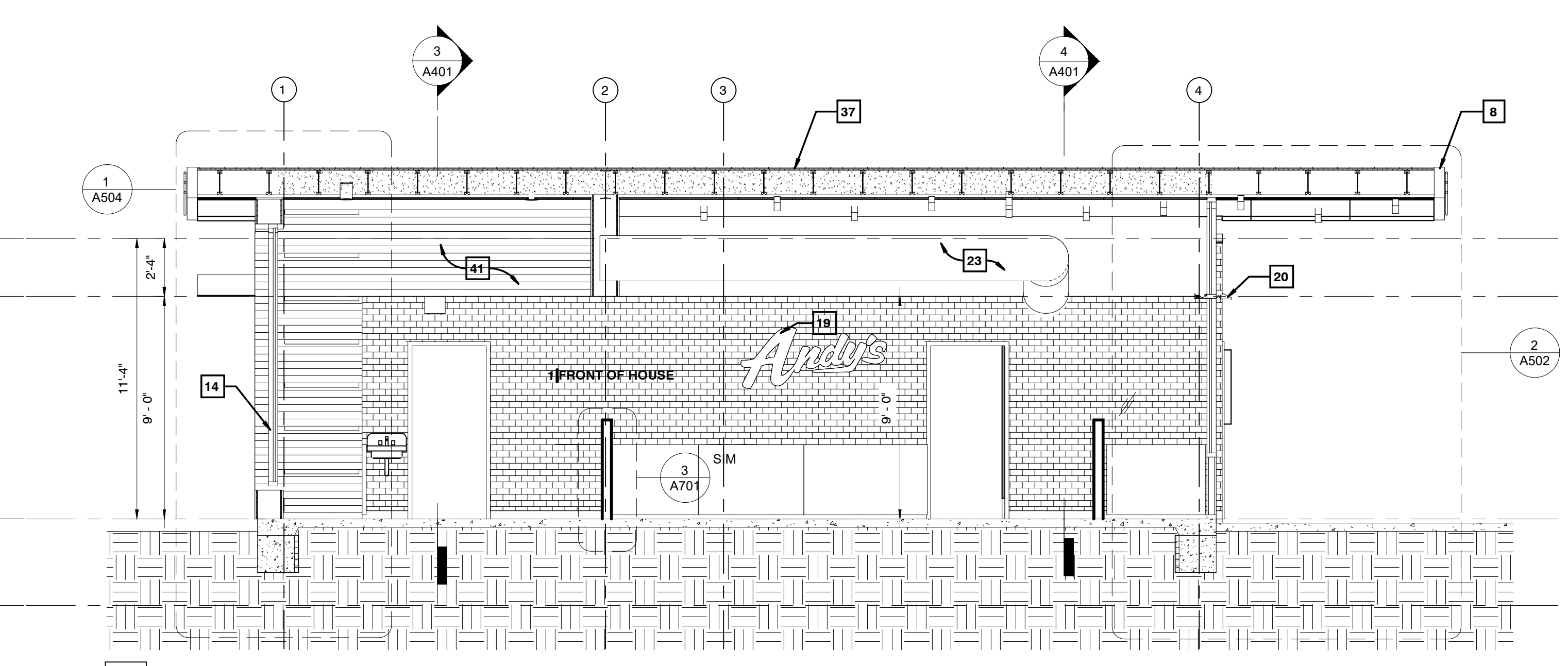
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1/4" = 1'-0"



3 LONGITUDINAL SECTION - 1
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2 TRANSVERSE SECTION - 2
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 513 N Cedar Bluff Rd
 Knoxville, TN
 File # 3-C-23-UR

ISSUE BLOCK

NO.	DESCRIPTION	DATE

CHECKED BY: JWS
 DRAWN BY: JWS
 DOCUMENT DATE: 11/8/21



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SECTIONS

SHEET: A401

3-C-23-UR
 Revised: 2/20/2023