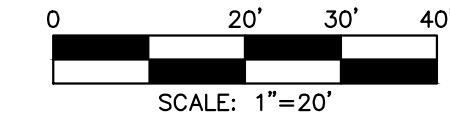


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DISCREPANCY BETWEEN RECORDED PLATS AND STATE RIGHT OF WAY PLANS. RECORDED PLATS SHOW BOUNDARY 50' FROM CENTER LINE OF HIGHWAY WHEREAS RIGHT OF WAY PLANS (FED AID PROJECT # NRM 248E (1933)) SHOW IT AT 65' FROM CENTER LINE. SURVEYOR BELIEVES THE CITY HAS A MAINTENANCE AGREEMENT FOR THE 50' BUT THE STATE OWNS OUT TO 65'.

DEED CALLS TO THE CENTER LINE OF ROAD. PLAT BOOK F, PAGE 70 SHOWS MARTIN MILL ROAD AS A 50' ROW. HOWEVER, THIS SURVEYOR HAS NOT SEEN ANY DEED DEDICATING THE 50' TO THE CITY/STATE. SURVEYOR DOES BELIEVE THERE IS AN EASEMENT BY ESTOPPEL IN FAVOR OF THE CITY/STATE IN THAT THE ROAD IS BUILT.

PLANNING FILE # 3-B-25-SU



SITE LEGEND

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- CONCRETE SIDEWALK (SEE DETAIL)
- CONCRETE CURB AND GUTTER (SEE DETAIL)
- STOP BAR (PAVEMENT MARKING)
- TRAFFIC FLOW ARROW (PAVEMENT MARKING)
- "STOP" SIGN (R1-1)
- ACCESSIBLE STALL AND DESIGNATED VAN STALL
- A.D.A. STD ACCESSIBLE RAMP
- STORM SEWER GRATE

SITE NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
2. REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND ITEMS NOT SHOWN ON THESE PLANS.
3. TOPOGRAPHIC BOUNDARY SURVEY, PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY:
TTL
3200 RICE MINE ROAD
TUSCALOOSA, AL 35406
PHONE: 205-345-0816
4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN TO BUILDINGS ARE TO OUTSIDE FACE OF BUILDING.
5. ALL ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS AND APPLICABLE STATE CODES OR REQUIREMENTS.
6. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND APPLICABLE STATE DOT REQUIREMENTS, AND IS RESPONSIBILITY OF SITE CONTRACTOR.
7. ALL STRIPED OR CURBED RADII SHALL BE 2.5' AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
9. ALL PARKING LOT LIGHTING POLES, BASES, FIXTURES WITH LAMPS AND REQUIRED PAINT WILL BE INSTALLED BY THE GENERAL CONTRACTOR'S ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE OWNER A ONE-YEAR WARRANTY CERTIFICATE. ALL INCURRED COSTS FOR RECEIVING, UNWRAPPING OF FACTORY PAINTED POLES, STORAGE, LIABILITY AND WARRANTY LABOR SHALL BE INCLUDED IN THE INSTALLATION CONTRACT PRICE.
10. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
11. SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS FROM THE DESIGN DOCUMENTS. SITE CONTRACTOR SHALL ALSO PROVIDE AS-BUILTS AS PART OF THE CONTRACT FOR STORM, SANITARY AND WATER LINES, IF REQUIRED BY THE GOVERNING AUTHORITY.
12. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
13. ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE OWNER/ENGINEER IMMEDIATELY.
14. ALL SITE CONCRETE SHALL BE 3,500 PSI 28 DAY COMPRESSIVE STRENGTH.
15. ALL CURB WITHIN THE DEVELOPMENT SHALL BE 6" HEADER CURB. CURB AND GUTTER, WHEN SHOWN IN PARKING LOTS, SHALL BE 18". ALL OTHER CURB TO BE 24" AND 30" IN R.O.W. UNLESS OTHERWISE SPECIFIED.
16. PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE OF WORK. STRIPING WILL BE ACCORDING TO OWNER'S SPECIFICATIONS. ALL STRIPING IS TO HAVE TWO (2) COATS OF PAINT (MIN).
17. THE SITE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK AND APPURTENANCES TO WITHIN 5' OF THE BUILDING.
18. CONTRACTOR TO INCLUDE CONCRETE BOLLARDS FOR PROTECTION OF BUILDING CORNERS, TRANSFORMERS, VAULTS, LIGHTING POLES, AND OTHER FIXTURES NEAR DRIVE ISLES AS SHOWN ON THIS PLAN.
19. BUILDING CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
20. ALL GUTTER SECTIONS OF CURB AND GUTTER AND ALL CONCRETE APRONS IN PARKING STALLS SHALL HAVE THE SAME SLOPE AS THE PAVEMENT WITHIN THE PARKING LOT AS SHOWN ON THE GRADING PLAN. CONTRACTOR MUST EVALUATE GRADING PLAN PRIOR TO POURING THESE ITEMS.

PAVEMENT LEGEND

- STD. DUTY CONCRETE PAVING
- COLORED CONCRETE PAVING
- STD. DUTY ASPHALT PAVING
- HEAVY DUTY ASPHALT PAVING

PARKING SUMMARY

TOTAL BUILDING	1,700 SF
MIN. 6/1000 OR MAX. 12/1000	
REQUIRED PARKING	15 MIN. OR 30 MAX.
PROVIDED STD. SPACES	18
PROVIDED ADA SPACES	2

SITE SUMMARY

TOTAL LOT AREA	0.83 ACRES
TOTAL DISTURBED AREA (SITE) (INCLUDES ROW)	0.77 ACRES
PRE-DEVELOPMENT TOTAL IMPERVIOUS AREA	0.64 ACRES
POST-DEVELOPMENT TOTAL IMPERVIOUS AREA	0.46 ACRES
TOTAL PERVIOUS AREA	0.37 ACRES
FRONT PARKING LOT AREA	6,875 SF

COLORED CONCRETE

FOR CONCRETE USED IN PARKING APRON, DUMPSTER ENCLOSURE APRON AND DRIVE THRU LANE:
CONCRETE STRENGTH - 4000 PSI
STRAIGHT CEMENT MIX
SLUMP - 3"-5"
COLOR - MIDNIGHT
PLANT MIXED ONLY
42LBS/CY
APPLY APC CURE AND SEAL CLEAR AFTER CONCRETE CURES AND WITHIN 24 HOURS. ALLOW SEALER TO DRY 72 HOURS BEFORE FOOT TRAFFIC. APPLY TINTED SEAL 48 HRS PRIOR TO TURNOVER DATE.

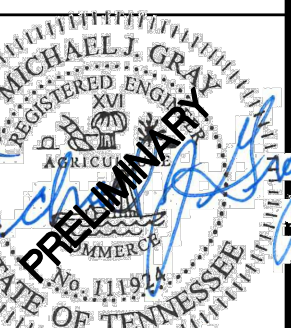
REVISIONS

- 01/24/2025 PC REVIEW
- 02/12/2025 RELEASE FOR REVIEW
- 02/14/2025 RELEASE FOR REVIEW



TACO BELL RESTAURANT
2904 CHAPMAN HIGHWAY, KNOXVILLE TN 37920
SITE #317565

TACALA
9790 CORPORATE WOODS DRIVE
VESTAVIA HILLS, AL 35242
205-443-9600
WWW.TACALA.COM



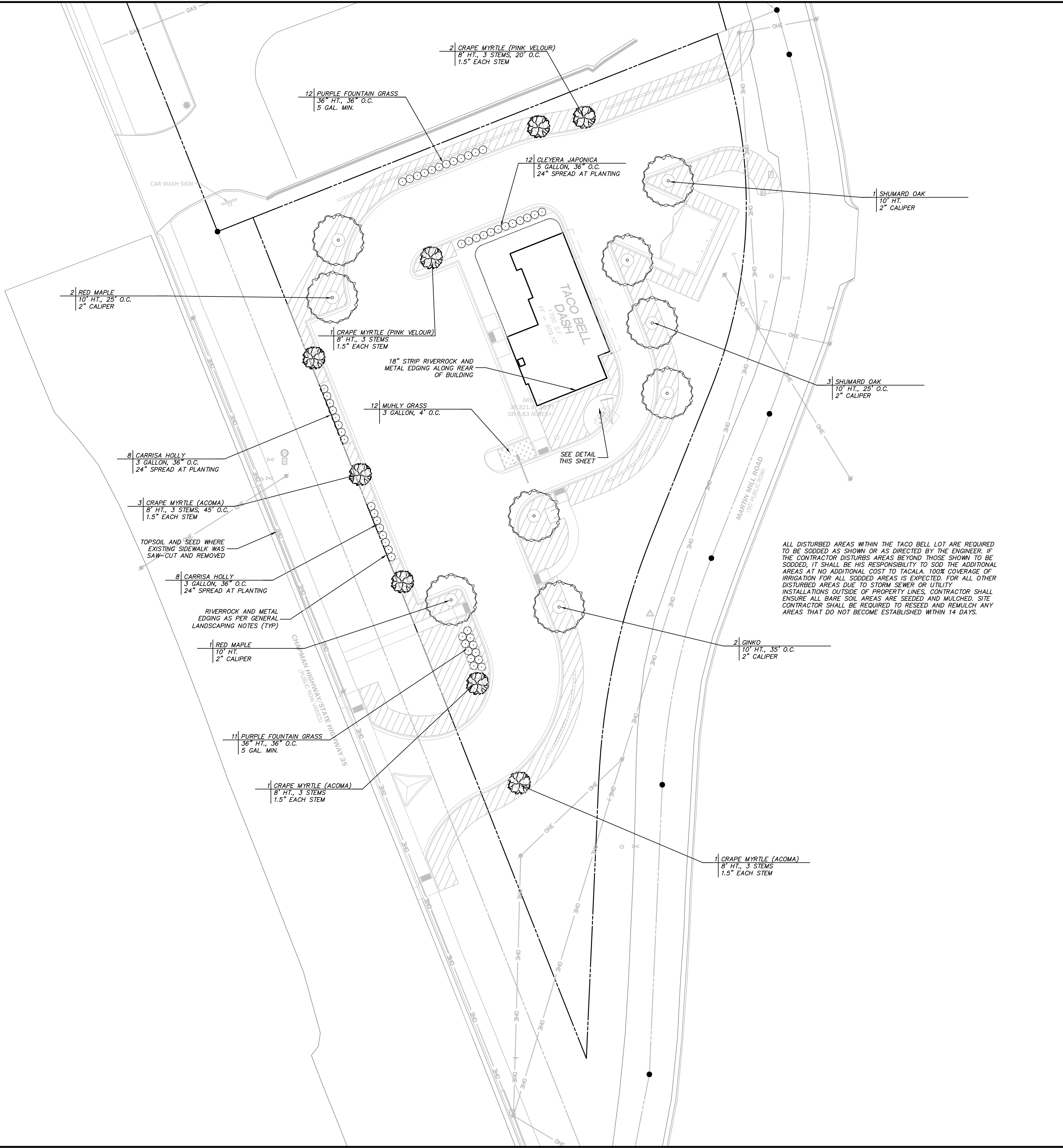
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DWG NAME: 24023 PROJ
DRAWN BY: TM

SITE PLAN

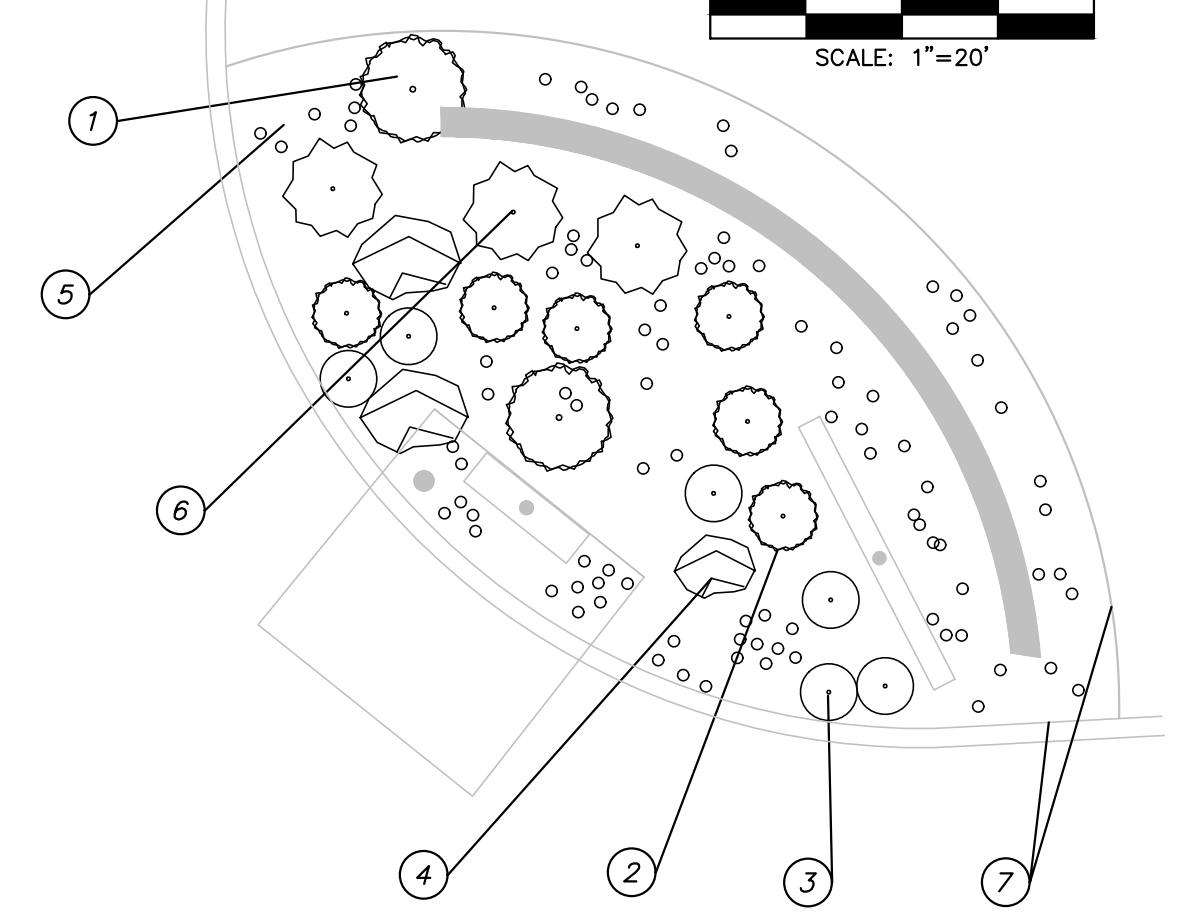
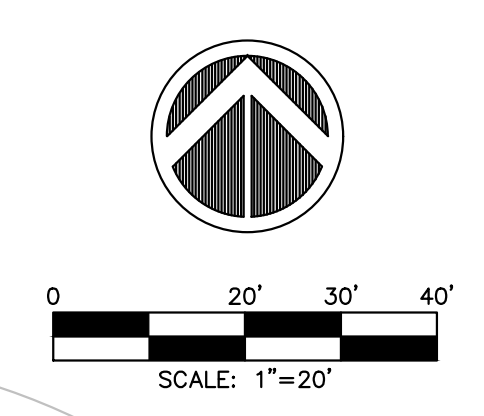
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DATE: 02-18-2025

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PLANNING FILE # 3-B-25-SU



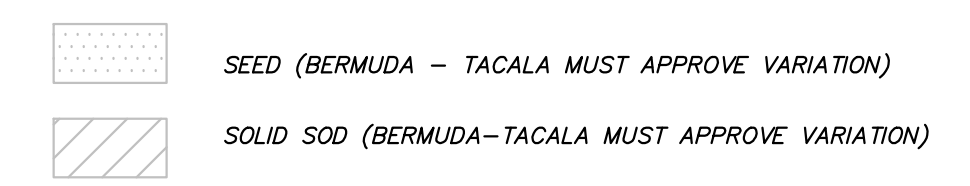
LANDSCAPING BOULDERS

CONTRACTOR SHALL PROVIDE NATURAL STONE BOULDERS 30"-36" IN SIZE THAT MATCH THE RIVERROCK. CONTRACTOR SHALL PROVIDE PHOTO SAMPLES PRIOR TO PLACEMENT. EXAMPLE PHOTOS SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER UPON HIS REQUEST. EXAMPLE STONES ARE "BAMA CRESTA RED BOULDER" BY KRC ROCK BUT CONTRACTOR CAN CHOOSE ANY STONE THAT MEETS APPROVAL BY THE OWNER. RIVERROCK SAMPLE SHALL ALSO BE PROVIDED TO OWNER PRIOR TO PLACEMENT. RIVERROCK SHALL RANGE FROM 2"-5" WITH APPROXIMATE 30% 2", 40% 3-4" AND 30% 5". 5" SHALL BE MAXIMUM SIZE.

REGION 7 - SOUTHEAST					
NO.	MATERIAL	QTY	SIZE	HGT.	SP
1	CHINESE HOLLY LLEX CORNUTA	PER PLAN	5 GAL	24"	
2	SPANISH BAYONET YUCCA ALOFOLIA	PER PLAN	5 GAL		
3	BLUE FESCUE FESTUCA GLAUCA	PER PLAN	1 GAL	36"	
4	BOULDER (SEE NOTE) DESERT SAND COLOR 30"-36"	PER PLAN		N/A	
5	RIVERROCK (SEE NOTE)	PER PLAN		N/A	
6	INDIAN HAWTHORNE RAPHIOLEPIS INDICA 'PINK LADY'	PER PLAN	3 GAL	24"	
7	BROWN METAL EDGING	PER PLAN			

ALL DISTURBED AREAS WITHIN THE TACO BELL LOT ARE REQUIRED TO BE SODDED AS SHOWN OR AS DIRECTED BY THE ENGINEER. IF THE CONTRACTOR DISTURBS AREAS BEYOND THOSE SHOWN TO BE SODDED, IT SHALL BE HIS RESPONSIBILITY TO SOD THE ADDITIONAL AREAS AT NO ADDITIONAL COST TO TACALA. 100% COVERAGE OF IRRIGATION FOR ALL SODDED AREAS IS EXPECTED. FOR ALL OTHER DISTURBED AREAS DUE TO STORM SEWER OR UTILITY INSTALLATIONS OUTSIDE OF PROPERTY LINES, CONTRACTOR SHALL ENSURE ALL BARE SOIL AREAS ARE SEEDED AND MULCHED. SITE CONTRACTOR SHALL BE REQUIRED TO RESEED AND REMULCH ANY AREAS THAT DO NOT BECOME ESTABLISHED WITHIN 14 DAYS.

LANDSCAPING DETAILS



GENERAL LANDSCAPING NOTES

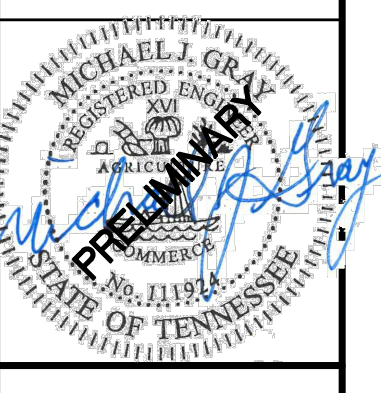
- LANDSCAPING/IRRIGATION CONTRACTOR SHALL COORDINATE ALL MATERIALS AND/OR ANY DEVIATIONS FROM THIS PLAN WITH OWNER BEFORE INSTALLATION.
- CONTRACTOR SHALL USE DETAILS AS PROVIDED IN THIS PLAN SET UNLESS ADDITIONAL DETAILS ARE PROVIDED BY A LANDSCAPE ARCHITECT IF USED ON THE PROJECT.
- CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES AND LANDSCAPING REQUIREMENTS.
- CONTRACTOR SHALL PLANT SOD WITHIN 8'-10' OF ALL OUTSIDE CURBS AND ALL INTERIOR SPACES, OR AS NOTED ON THIS PLAN. SEED AND MULCH TO BE USED FOR ALL OTHER DISTURBED AREAS.
- CONTRACTOR SHALL ENSURE ALL PLANTINGS WILL BE ADEQUATELY IRRIGATED.
- ALL PLANTS HAVE TO BE APPROVED BY THE OWNER/GOVERNING AUTHORITY.
- SEE GENERAL NOTES ON LANDSCAPING DETAIL SHEET.
- ALL AREAS TO BE SEEDED OR SODDED, SHALL RECEIVE 4" OF TOPSOIL AFTER COMPACTION. SOD AND SEED SHALL BE BERMUDA UNLESS LOCAL CONDITIONS REQUIRE OTHER. VARIATIONS FROM BERMUDA MUST BE APPROVED BY OWNER.
- CONTRACTOR SHALL HAVE LANDSCAPING CONTRACTOR GROUP SHRUBS LISTED AS CHOICES ABOVE IN A MANNER TO PROVIDE AESTHETICALLY PLEASING RESULTS.
- ALL RIVERROCK MUST BE FULLY WASHED PRIOR TO PLACEMENT IN BEDS.
- ALL LANDSCAPING BEDS SHALL HAVE BROWN METAL EDGING AROUND THE ENTIRE BED EXCEPT FOR AGAINST CONCRETE CURB OR SIDEWALK. GREEN METAL EDGING WILL NOT BE ACCEPTED. EDGING SHALL EXTEND 1" ABOVE GRASS AND ALL STAKES SHALL BE TOWARDS RIVER ROCK. RIVER ROCK SHALL BE AT LEAST 1" BELOW HEIGHT OF EDGING. ABSOLUTELY NO ORGANIC MULCH OF ANY KIND IS ALLOWED. ALL BEDS TO HAVE A MINIMUM OF 3" SETTLED RIVER ROCK PLACED OVER A MINIMUM 4 OZ WEED FABRIC. FABRIC SHALL BE SECURED WITH 6" LANDSCAPING PINS. FABRIC SHALL BE PLACED OVER SHRUBS AND CUT TO FIT. FABRIC SHALL BE INSPECTED BY PHOTOGRAPH SUBMITTAL PRIOR TO RIVER ROCK PLACEMENT. CANOPY TREES SHALL HAVE A 6' LANDSCAPE DIAMETER RING AND CRAPE MYRTLES TO HAVE A 4' DIAMETER RING. RIVERROCK SHALL ALWAYS BE FULLY ENCOMPASSED IN METAL EDGING WHERE SURROUNDED BY SOD.
- AS-BUILT IRRIGATION PLANS TO BE SUBMITTED TO OWNER AT TURNOVER OF PROJECT.

REVISIONS

01/24/2025	PC REVIEW
02/12/2025	RELEASE FOR REVIEW
02/14/2025	RELEASE FOR REVIEW

TACO BELL RESTAURANT
2904 CHAPMAN HIGHWAY, KNOXVILLE TN 37920
SITE #317565

TACALA
9790 CORPORATE WOODS DRIVE
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WWW.TACALACOM

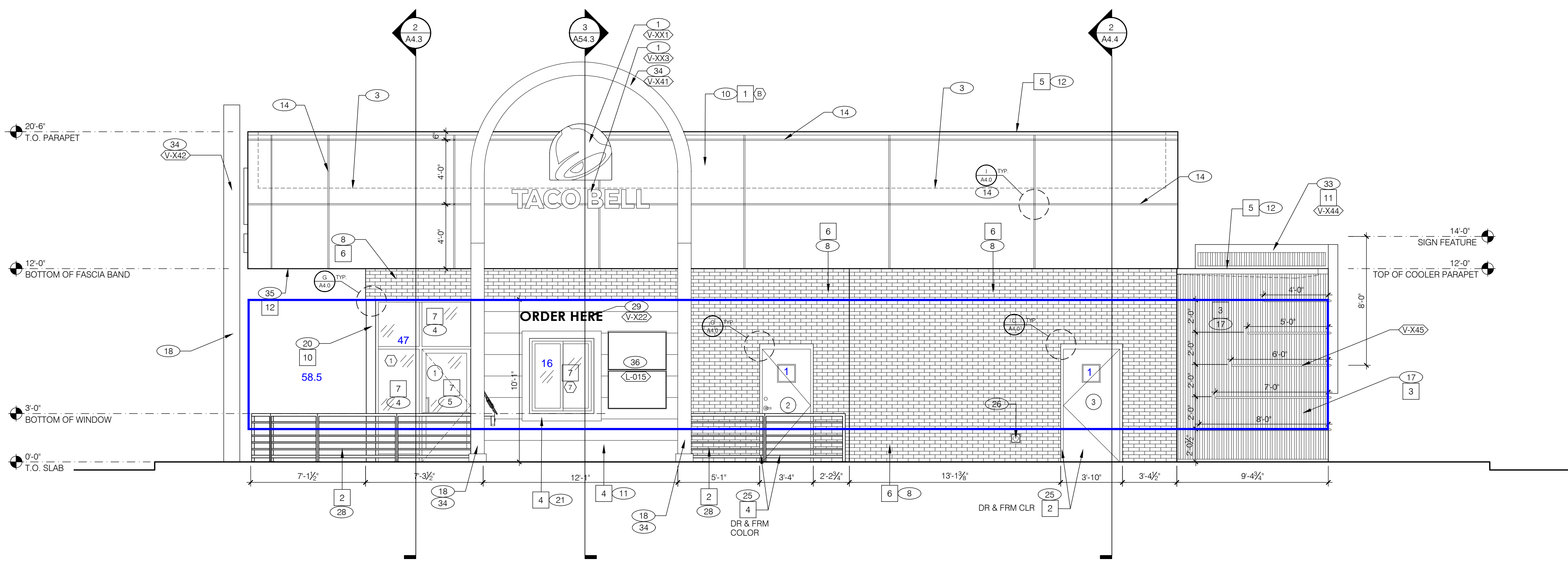


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LANDSCAPING PLAN

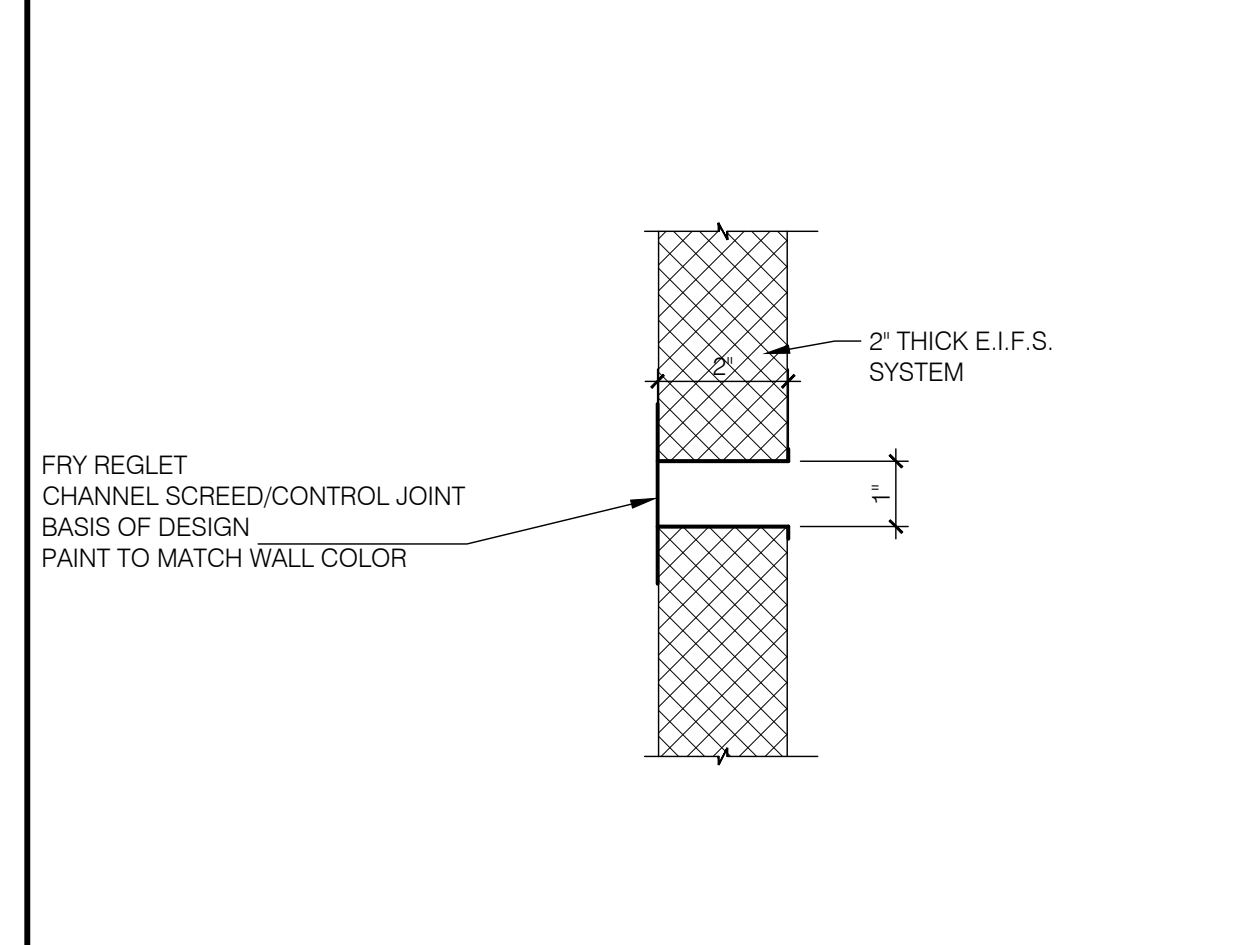
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DATE: 02-18-2025

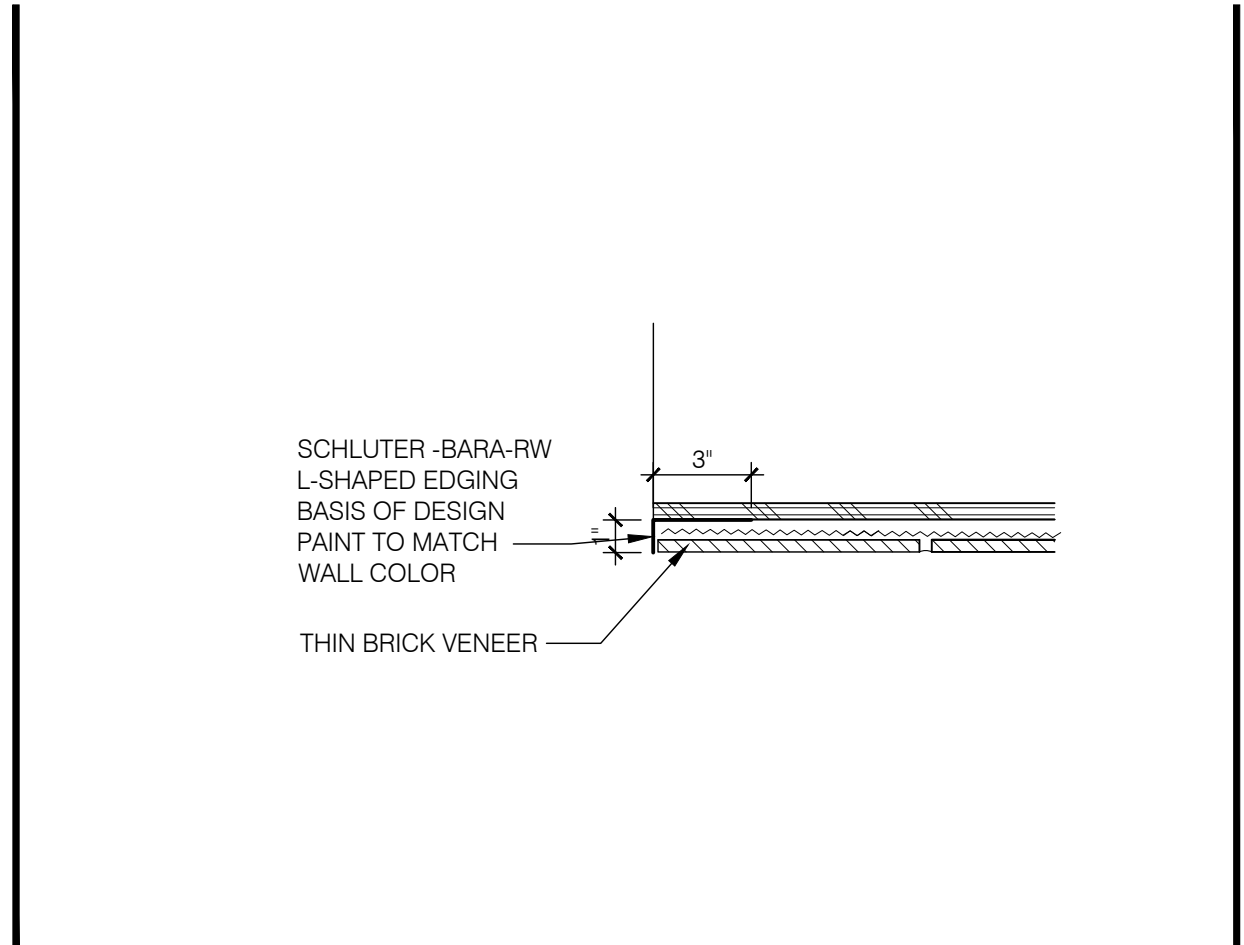


TRANSPARENCY CALCULATION: 30% MINIMUM
TOTAL ELEVATION AREA: 536 SF
TRANSPARENT AREAS: 123.5 SF: 23%

CHAPMAN HWY FACING ELEVATION FRONT ELEVATION 1/4"=1'-0" A



EIFS REVEAL N.T.S. I



DOOR AND WINDOW TRIM N.T.S. G

* REQUIRES LIGHT FIXTURE(S). SEE ELECTRICAL.
^ CANOPY COLOR TO MATCH STOREFRONT DARK BRONZE COLOR
~ TURN BUCKLE COLOR ABOVE DRIVE-THRU CANOPY TO MATCH STOREFRONT COLOR
< TURN BUCKLE COLOR FOR DINING ROOM CANOPIES TO BE URBANE BRONZE COLOR
% REQUIRES RECESSED HEATERS AND CEILING FANS. SEE ELECTRICAL.

(V-XXX)	QTY	ITEM DESCRIPTION	ELEC
V-XX1	3	'BELL' LIGHTED SIGN, 3'-10"W X 3'-6"H: 823-TAC19-LRG-BELL TB5266	X
V-XX3	1	LETTERS LIGHTED, LINEAR, 16" H, WHITE: 823-18-CL16-TB-LN-WH TB5157	X
V-XX6	1	BACK-LIT 'BELL' LOGO SIGN	X
V-X15	1	DRIVE-THRU CANOPY, 11'-4" X 4'-0"	X
V-X16	1	REAR CORNER 'L' CANOPY, 22'-0" X 8'-10" (21'-0" X 4'10"; 4'-0" X 1'-0")	X
V-X20	1	ART WORK - SURFACE APPLIED VINYL	X
V-X21	1	LIVE MAS - LIGHTED SIGN	X
V-X22	1	ORDER HERE SIGN	X
V-X41	1	SIDE ENTRY ARCH	X
V-X42	1	FRONT ENTRY ARCH	X
V-X44	1	REAR LOGO FEATURE	X
V-X45	18	LINEAR LIGHT ACCENTS	X

SCHEDULE MODIFIERS E

(V-XXX)	QTY	ITEM DESCRIPTION	ELEC
V-XX1	3	'BELL' LIGHTED SIGN, 3'-10"W X 3'-6"H: 823-TAC19-LRG-BELL TB5266	X
V-XX3	1	LETTERS LIGHTED, LINEAR, 16" H, WHITE: 823-18-CL16-TB-LN-WH TB5157	X
V-XX6	1	BACK-LIT 'BELL' LOGO SIGN	X
V-X15	1	DRIVE-THRU CANOPY, 11'-4" X 4'-0"	X
V-X16	1	REAR CORNER 'L' CANOPY, 22'-0" X 8'-10" (21'-0" X 4'10"; 4'-0" X 1'-0")	X
V-X20	1	ART WORK - SURFACE APPLIED VINYL	X
V-X21	1	LIVE MAS - LIGHTED SIGN	X
V-X22	1	ORDER HERE SIGN	X
V-X41	1	SIDE ENTRY ARCH	X
V-X42	1	FRONT ENTRY ARCH	X
V-X44	1	REAR LOGO FEATURE	X
V-X45	18	LINEAR LIGHT ACCENTS	X

CANOPY & BLDG ACCENT SCHED N.T.S. D

(A) BASE THICKNESS - 2" THICK E.I.F.S.
(B)
(C)
(D)

NOTE:
- REFER TO WALL LEGEND E / A1.0 FOR EXTERIOR WALL ASSEMBLIES LEGEND.
- DRAINABLE E.I.F.S. SYSTEM SHALL COMPLY WITH ALL STANDARDS, SPECS, DETAILS, TRIMS, & CRITERIA OF MFR. SPECIFICATIONS FOR A DRAINABLE SYSTEM.
NOTE:
- E.I.F.S. TO BE SMOOTH FINISH.

E.I.F.S. LEGEND N.T.S. B

SYMBOL	AREA	MANUFACTURER	COLOR
1	EIFS PARAPET BAND COLOR	SHERWIN WILLIAMS	SW 6990 'CAVIAR' - GLOSSY FINISH
2	DOORS, FRAMES, RAILINGS	SHERWIN WILLIAMS	SW 6990 'CAVIAR' - EGG SHELL FINISH
3	COOLER PANEL SYSTEM	MBCI	RAL9011 BLACK PANTONE 7.2 PANEL
4	HARDIE PANEL ARCHITECTURAL COLLECTION - FINE SAND-GROOVED	JAMES HARDIE	PAINTED SW 6990 'CAVIAR' EGG SHELL FINISH
5	PARAPET CAP COLOR	SHERWIN WILLIAMS	SW 6990 'CAVIAR' GLOSSY FINISH
6	BRICK VENEER MORTAR	INTERSTATE DAVIS COLORS	INTERSTATE THIN BRICK, WIRECUT, PEWTER TRUE-TONE - MC 88 (MEDIUM) OR EQUAL
7	STOREFRONT WINDOWS	TUBELITE OR EQUAL	BLACK ANODIZED
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL
9	PARAPET BACK ROOFING	VERSICO/MULE HIDE	THE COLOR SHALL BE FACTORY COLORED 'WHITE.' EQUAL ALTERNATE ALLOWED.
10	BREAK METAL, STOREFRONT, TRIM, FLASHING	SHERWIN WILLIAMS	SW 6990 'CAVIAR' EGG SHELL FINISH
11	ACCENT PANELS	BY SIGN VENDOR	WHITE
12	PATIO CEILING PANELS	MBCI	SLATE GRAY ARTISAN SOFFIT

EXTERIOR FINISH SCHEDULE H

MISCELLANEOUS
A. SEE SHT A1.1 'WINDOW TYPES' FOR WINDOW ELEVATIONS.
B. SEE SCOPE OF WORK FOR RESPONSIBILITIES.
C. 'HIGH IMPACT' MESH SHALL BE USED WHERE NOTED.
D. THE PAINT COLORS SHOWN ARE COLOR REFERENCES FOR THE E.I.F.S. SUPPLIER.
E. E.I.F.S. TEXTURE TO BE 'MEDIUM' WITH PURE WHITE MARBLE AGGREGATE - NO QUARTZ.
F. PAINT ALL EXPOSED FOUNDATIONS U.N.O.

SEALERS (REFER TO SPECS):
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL WEEPS @ WINDOWS SILLS.
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY/TRELLIS.

CRITICAL FINISH NOTES:
A. BUILDING FINISH OPENINGS THAT ARE DESIGNATED AS 'CRITICAL' SHALL BE MAINTAINED TO PROVIDE FOR THE STANDARD INSTALLATION OF STANDARD SIGNAGE / BUILDING ELEMENTS. VERIFY DIMENSIONS WITH SIGN VENDOR.
B. IMPROPER INSTALLATION OF STONE WAINSCOT MAY RESULT IN GENERAL CONTRACTORS HAVING TO REMOVE AND REAPPLY ALL STONE MATERIAL.

GENERAL NOTES F

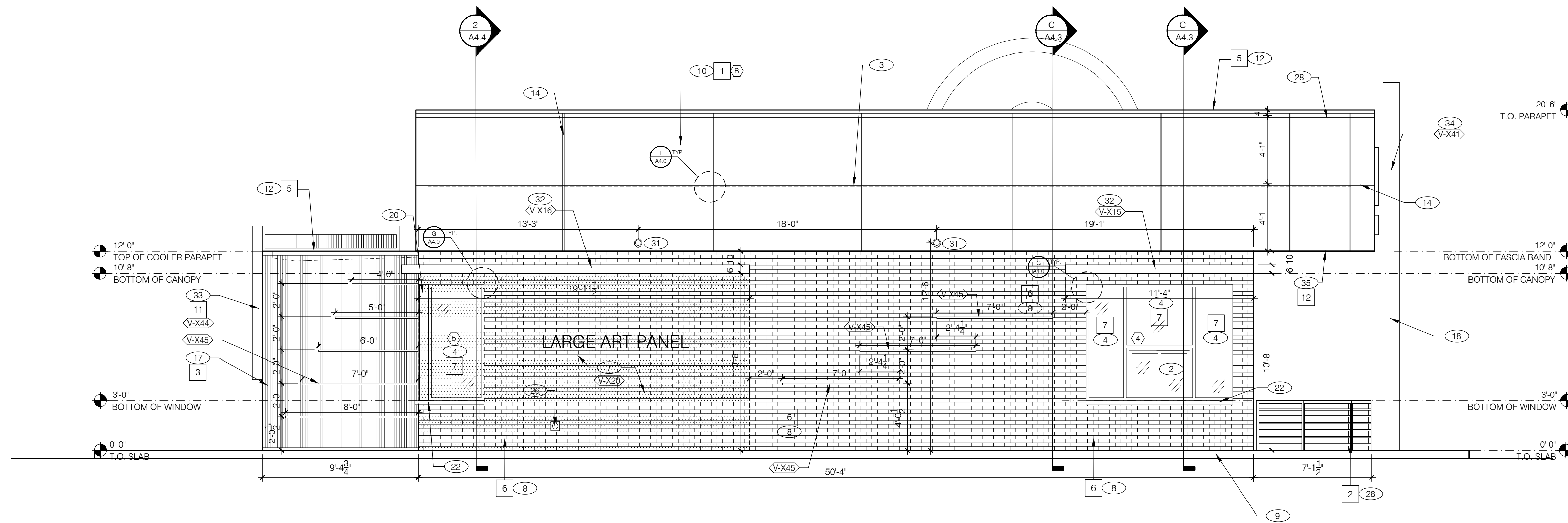
- (1) BUILDING SIGNAGE. SEE SCOPE OF WORK.
- (2) DRIVE THROUGH WINDOW. SEE SHEET A1.0 AND A1.1.
- (3) ROOF BEYOND.
- (4) STOREFRONT WINDOW SYSTEM, TYPICAL.
- (5) ENTRY DOOR, STOREFRONT SYSTEM.
- (6) SWITCH GEAR. PAINT TO MATCH WALL.
- (7) ART WORK PANEL BY VENDOR - ATTACH TO EXTERIOR FINISH.
- (8) THIN BRICK VENEER WITH SPEEDYMASON PANEL SYSTEM
- (9) ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING AND SITE PLAN.
- (10) 2" DRAINABLE EIFS SEE EIFS LEGEND THIS SHEET. (R-8 INSULATION)
- (11) HARDIE PANELING 4x8 SHEETS, GROOVES ORIENTED HORIZONTALLY
- (12) PARAPET COPING. USE MULE HIDE PRE-FINISHED EDGE TRIM. SEE DETAIL 2/A6.0.
- (13) CO2 FILLER VALVE AND COVER. SEE DETAIL 5/A6.2 SIM.
- (14) EIFS REVEAL JOINT - SEE DETAIL I/A4.0, PAINTED TO MATCH WALL.
- (15) GAS SERVICE. GAS LINE TO ENTER BUILDING AT 42" A.F.F.
- (16) WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR
- (17) METAL PANEL SIDING AT COOLER ENCLOSURE
- (18) STRUCTURAL ROOF COLUMN - WITHIN ARCH FEATURE
- (19) RTU LOCATION BEYOND.
- (20) BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3, 4, 7 A6.1
- (21) 5 1/2" HARDIE TRIM BAND AROUND WALK UP WINDOW
- (22) PRE-CAST SILL
- (23) STEEL BOLLARD, SEE DETAILS.
- (24) REAR LOGO FEATURE
- (25) PAINT DOOR AND FRAME SW6990 CAVIAR
- (26) HOSE BIB BOX. SEE DETAIL 8/A6.2
- (27) EXTERIOR MENU BOARD
- (28) RAILINGS, SEE D & J A/8.4
- (29) ORDER HERE SIGN
- (30) H.C. SIGNAGE.
- (31) DOWNSPOUT NOZZLE - NICKLE BRONZE ZURN Z199 SEAL ENTIRE PERIMETER AT EIFS.
- (32) WINDOW CANOPIES SEE DETAIL 6/A6.1 FOR BRACING DETAIL.
- (33) LIGHTED 'LIVE MAS' SIGN
- (34) EXTERIOR ARCHWAYS, LIGHTED BY VENDOR
- (35) METAL SOFFIT PANELS - BY VENDOR
- (36) EXTERIOR MENU BOARDS

KEY NOTES c

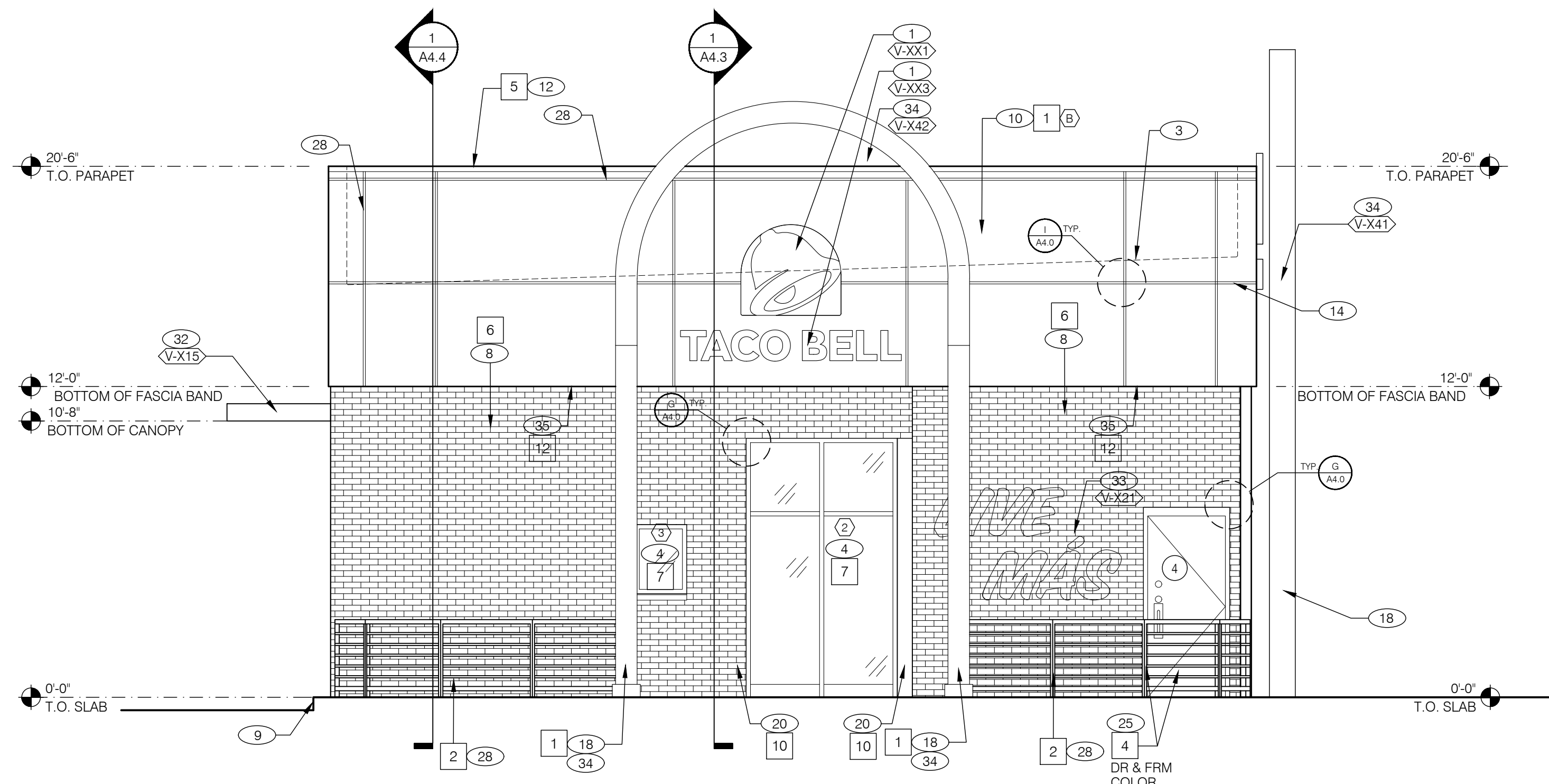
TACO BELL
2904 CHAPMAN HWY
KNOXVILLE, TN

BLACK DESIGN
ARCHITECTURE
274 S. AVENUE NORTH
BIRMINGHAM, AL 35203
7.205.988.8921
F. 205.988.8921
EMAIL: INFO@BLACKDESIGNARCH.COM

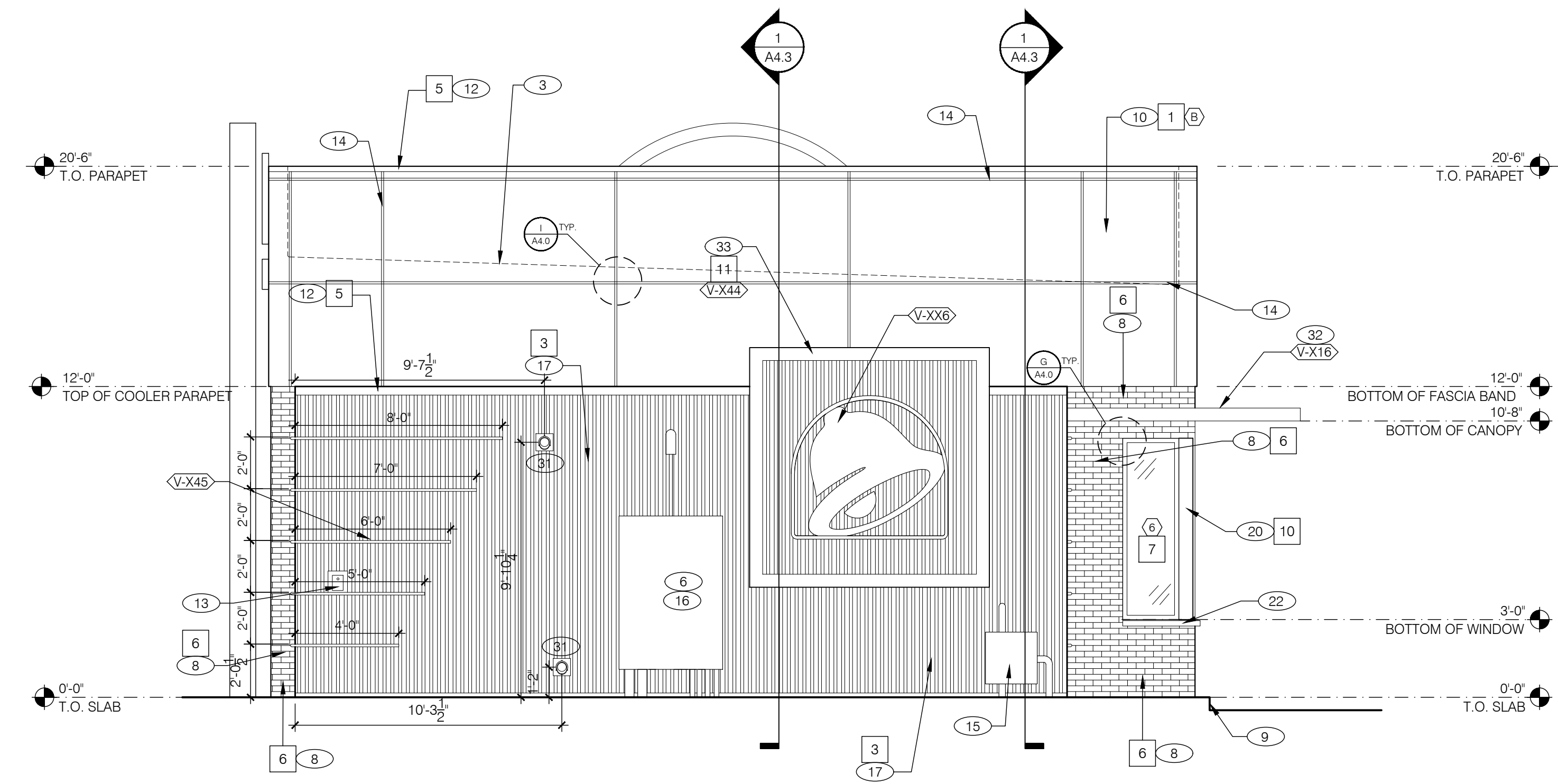
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PROJECT NUMBER:	24-1271
ISSUE DATE:	
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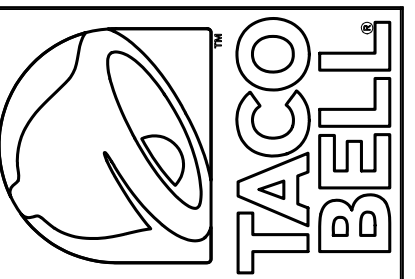
MAP EAST ELEVATION (LONG FACADE ALONG MARTIN MILL PIKE) REAR ELEVATION 1/4" = 1'-0" A



MAP NORTH ELEVATION LEFT ELEVATION 1/4" = 1'-0" C

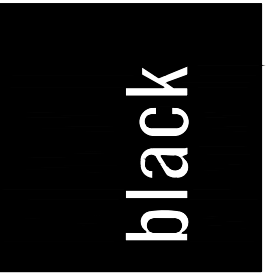


MAP SOUTH ELEVATION RIGHT ELEVATION 1/4" = 1'-0" B



TACO BELL
2904 CHAPMAN HWY
KNOXVILLE, TN

**BLACK DESIGN
ARCHITECTURE**
272 1/2 AVENUE NORTH
BIRMINGHAM, AL 35203
726-888-8921
726-888-8922
EMAIL: LB@BLACKDESIGNARCH.COM



SHEET TITLE:	EXTERIOR ELEVATIONS
PROJECT NUMBER:	24-1271
ISSUE DATE:	
DRAWN BY:	JS
CHECKED BY:	LB

SHEET NUMBER
A4.1



MAP NORTH ELEVATION LEFT ELEVATION B



CHAPMAN HWY FACING ELEVATION FRONT ELEVATION A



MAP SOUTH ELEVATION RIGHT ELEVATION D



MAP EAST ELEVATION (LONG FACADE ALONG MARTIN MILL PIKE) REAR ELEVATION C

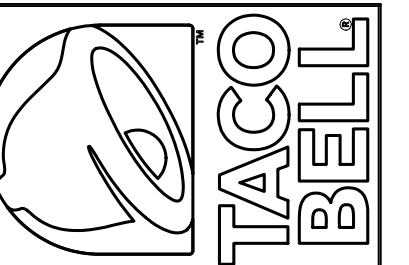
SYMBOL	AREA	MANUFACTURER	COLOR
1	EIFS PARAPET BAND COLOR	SHERWIN WILLIAMS	SW 6990 "CAVIAR" - GLOSSY FINISH
2	DOORS, FRAMES, RAILINGS	SHERWIN WILLIAMS	SW 6990 "CAVIAR" - EGG SHELL FINISH
3	COOLER PANEL SYSTEM	MBCI	RAL9011 BLACK PANTONE 7.2 PANEL
4	ORDER AREA	JAMES HARDIE	PAINTED SW 6990 "CAVIAR" EGG SHELL FINISH ARCHITECTURAL COLLECTION - FINE SAND-GROOVED
5	PARAPET CAP COLOR	SHERWIN WILLIAMS	SW 6990 "CAVIAR" GLOSSY FINISH
6	BRICK VENEER MORTAR	INTERSTATE DAVIS COLORS	INTERSTATE THIN BRICK, WIRECUT, PEWTER TRUE-TONE - MC 88 (MEDIUM) OR EQUAL
7	STOREFRONT WINDOWS	TUBELITE OR EQUAL	BLACK ANODIZED
10	BREAK METAL, STOREFRONT, TRIM, FLASHING	SHERWIN WILLIAMS	SW 6990 "CAVIAR" EGG SHELL FINISH
11	ACCENT PANELS	BY SIGN VENDOR	WHITE

EXTERIOR FINISH SCHEDULE E

PLANNING
FILE #
3-B-25-SU

ISSUE FOR
REVIEW
02/17/2025

REVISION	NO.	DATE	DESCRIPTION



TACO BELL
2904 CHAPMAN HWY
KNOXVILLE, TN

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ARCHITECTURE
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BIRMINGHAM, AL 35203
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SHEET TITLE:	COLORED EXTERIOR ELEVATIONS
PROJECT NUMBER:	24-1271
ISSUE DATE:	
DRAWN BY:	JDS
CHECKED BY:	LB

SHEET NUMBER
A4.5



**PLANNING FILE #
3-B-25-SU**

PROJECT: TACO BELL CUMBERLAND AVE
KNOXVILLE, TN

PROJ. NO. 23-1160



**BLACK DESIGN
ARCHITECTURE**

REFERENCE SHEET: A4.5

S.D. #: 1

DRAWING TITLE: MARTIN MILL RD
EXTERIOR VIEW

ISSUED:
02/17/25