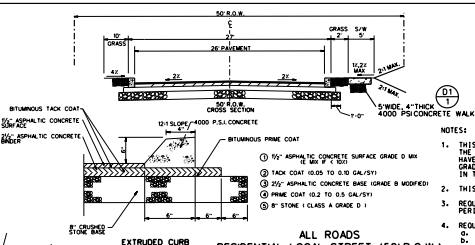


SITE DATA

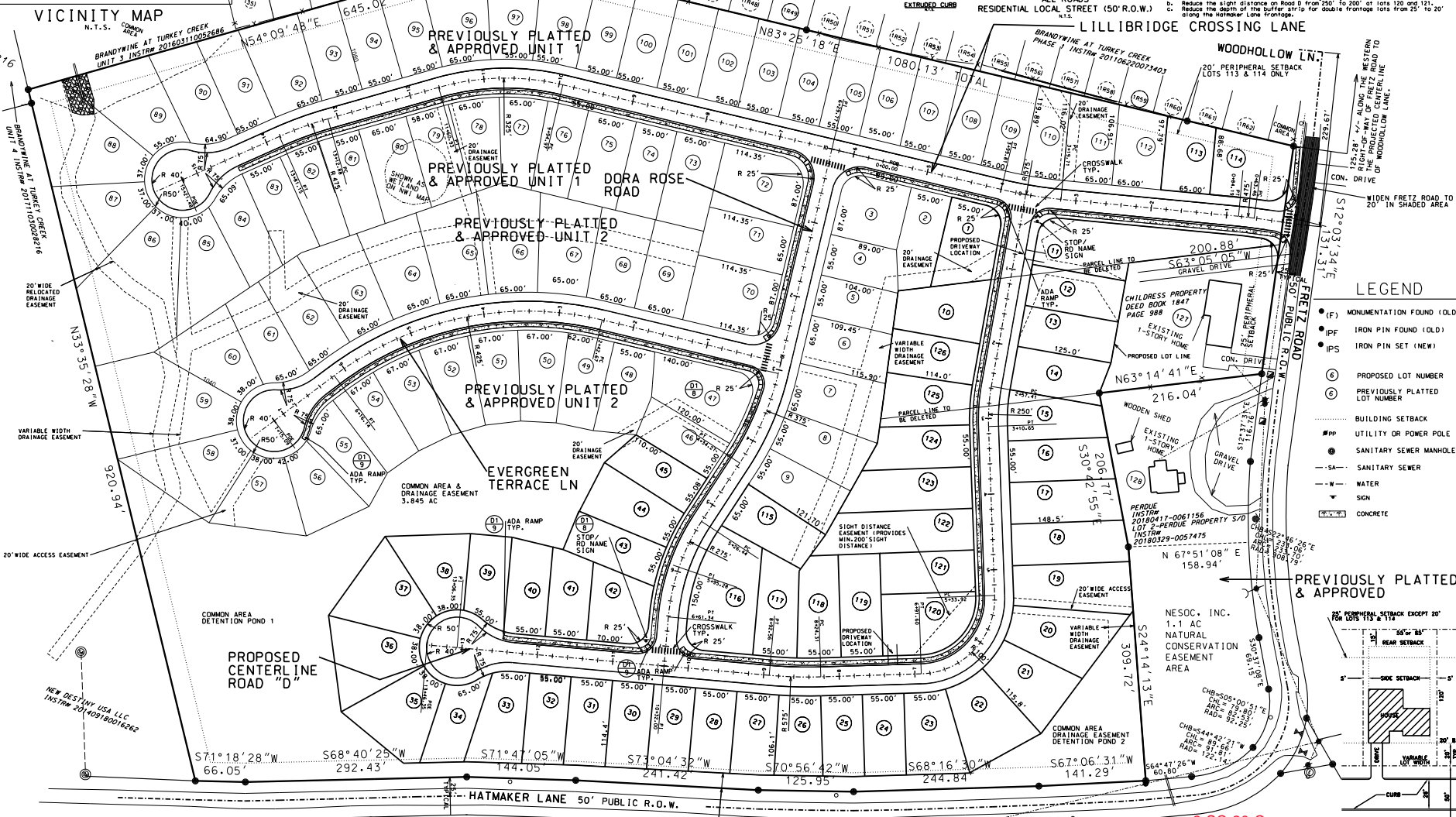
ZONING: PR
 TOTAL LOTS SHOWN: 128 LOTS
 NEW AND CHANGED CONCEPT PLAN AREA: 15.07 ACRES
 TOTAL PROJECT AREA INCLUDING PREVIOUS APPROVALS: 34.55 ACRES
 DENSITY: 128 / 34.55 = 3.71 LOTS/ACRE
 OPEN SPACE: 3.51 ACRES
 OSR: 4,945/34.55 = 14.3%
 PARKING: 2 GARAGE SPACES PER LOT



CERTIFICATION OF CONCEPT PLAN

I HEREBY CERTIFY THAT I AM A SURVEYOR, LICENSED TO DO SURVEYING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THE PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-METRO COUNTY SUBDIVISION REGULATIONS WHICH HAS BEEN ITEMIZED AND DESCRIBED IN A REPORT FILED WITH THE METROPOLITAN PLANNING COMMISSION.

Scott Williams
 TENNESSEE CERTIFICATE NO. 1914 SURVEYOR



- NOTES:**
- THIS PLAN IS TO SHOW A PROPOSED CONCEPT SUBDIVISION LAYOUT. THE FINAL NUMBER OF LOTS AND OTHER DIMENSIONS OR DETAILS HAVE BEEN SHOWN. FINAL DESIGN FACTORS INCLUDING ROAD AND LOT GRADES, UTILITIES, FACILITIES, ETC. MAY CAUSE A REDUCTION IN THE FINAL NUMBER OF ALLOWABLE LOTS.
 - THIS PROPERTY IS ZONED PR.
 - REQUESTED SETBACKS ARE FRONT - 20', SIDE - 5', REAR - 15'.
 - REQUESTED SUBDIVISION VARIANCES:
 - Reduce the horizontal curve on Road D beginning at STA 4+33.92 from 250' to 100'.
 - Reduce the sight distance of Road D from 250' to 200' of lots 125 and 121.
 - Reduce the depth of the buffer strip for double frontage lots from 25' to 20' along the Hatmaker Lane Frontage.

- LEGEND**
- (M) MONUMENTATION FOUND (OLD)
 - (IF) IRON PIN FOUND (OLD)
 - (IPF) IRON PIN FOUND (NEW)
 - (IPS) IRON PIN SET (NEW)
 - (P) PROPOSED LOT NUMBER
 - (P) PREVIOUSLY PLATTED LOT NUMBER
 - BUILDING SETBACK
 - UTILITY OR POWER POLE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER
 - WATER
 - SIGN
 - CONCRETE

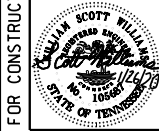
REVISIONS

NO.	DATE	DESCRIPTION
1	1/27/2020	ISSUE FOR CONSTRUCTION
2	1/27/2020	ISSUE FOR CONSTRUCTION
3	1/27/2020	ISSUE FOR CONSTRUCTION
4	1/27/2020	ISSUE FOR CONSTRUCTION

CONCEPT/SITE LAYOUT PLAN

WINDSOR FOREST S/D

2-SC-20-C, 2-F-20-UR
 1/27/2020
 KNOXVILLE, TENNESSEE 37922
 W. SCOTT WILLIAMS & ASSOCIATES
 1000 PINEAPPLE DRIVE, SUITE 100
 KNOXVILLE, TENNESSEE 37922



W. SCOTT WILLIAMS & ASSOCIATES

REGISTERED PROFESSIONAL SURVEYOR
 STATE OF TENNESSEE
 LICENSE NO. 1914

CLIENT:
 SCOTT DAVIS INVESTMENTS, LLC
 MESANA INVESTMENTS, LLC
 865-806-8008

ORIGINAL ISSUE:
 NOV. 20, 2019

SHEET NO.:
 CC1

JOB NO. 1793

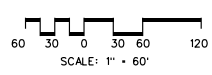
2-SC-20-C
 2-F-20-UR
 Revised: 1/27/2020

TYPICAL LOT LAYOUT AND DRIVEWAY CONNECTION

NOT FOR CONSTRUCTION



VICINITY MAP
N.T.S. COMMON AREA

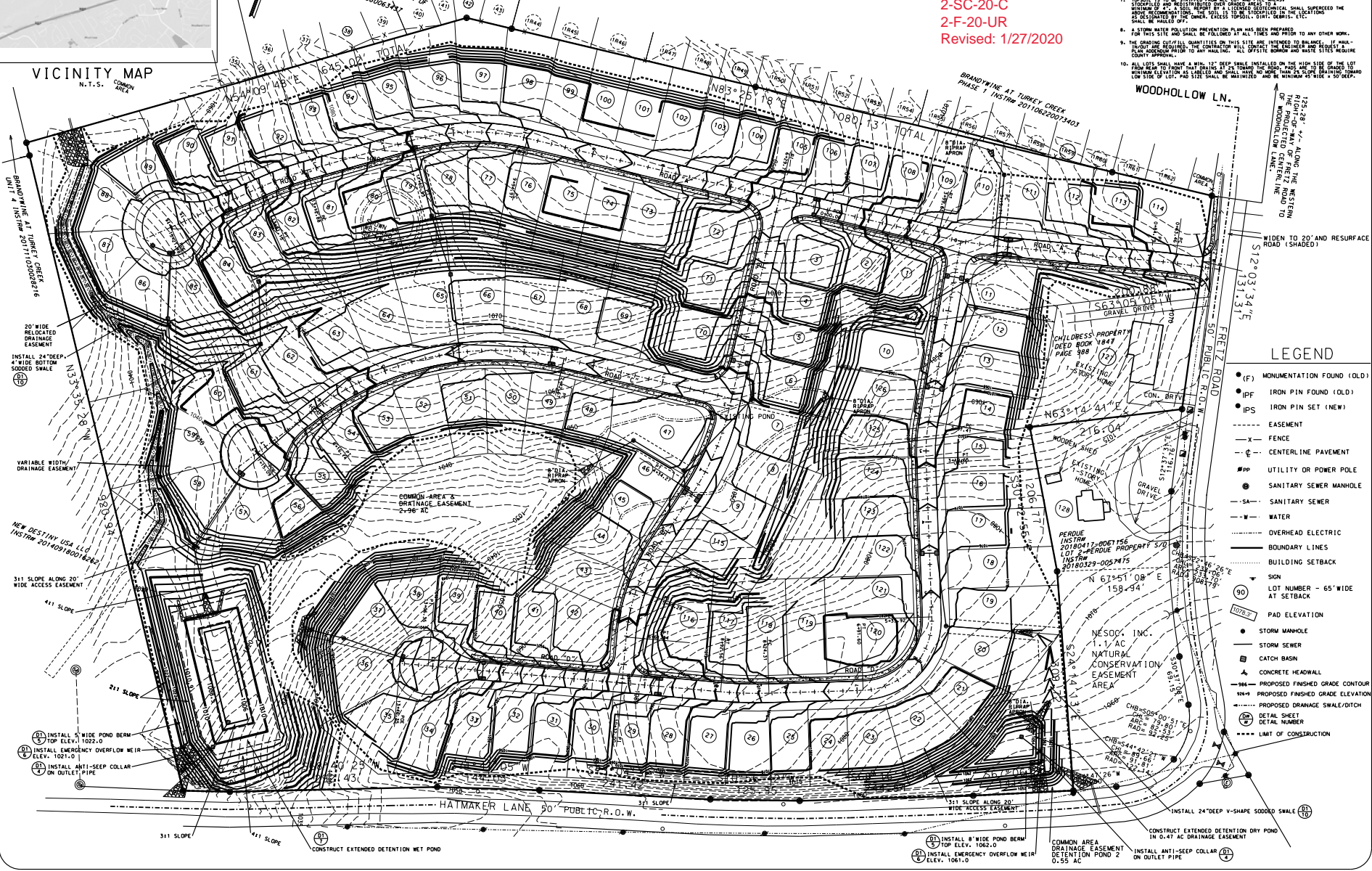


SITE DATA
 ZONING: PR
 TOTAL LOTS SHOWN: 128 LOTS
 IMPERVIOUS AREA: 11.35 ACRES

SWPP QUALITY ASSURANCE NOTES:
 Quality assurance of erosion prevention and sediment controls shall be conducted by qualified personnel performing site assessment of each outfall involving drainage totaling 10 or more acres or five or more acres, if draining to impaired water bodies. The contractor shall ensure the proper conduct of each qualifying outfall within a month of construction commencement. (See COP sec 3.1.2 for assessment language)

2-SC-20-C
2-F-20-UR
 Revised: 1/27/2020

- GRADING NOTES (SEE S&P-4 FOR EROSION CONTROL NOTES):
1. PREPARE FOR PAVED AND UNPAVED AREAS SHALL BE 1/2" BELOW FINISHED GRADE TO PROVIDE FOR PROPER DRAINAGE. EXCEPT WHERE NOTED OTHERWISE, ALL GRADE SHALL BE 1/2" BELOW FINISHED GRADE TO PROVIDE FOR PROPER DRAINAGE. EXCEPT WHERE NOTED OTHERWISE, ALL GRADE SHALL BE 1/2" BELOW FINISHED GRADE TO PROVIDE FOR PROPER DRAINAGE.
 2. ALL SLOPES SHALL BE AS SHOWN, NO SLOPE SHALL BE GREATER THAN 2:1 H:V.
 3. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE ENGINEER AND TO THE SATISFACTION OF THE LOCAL HEALTH DEPARTMENT.
 4. THE CONTRACTOR SHALL NOTIFY ENGINEER OF VARIANCES FROM EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
 5. ALL GRADING AND DRAINAGE OPERATIONS AND SPECIFICATIONS OF EACH COUNTY SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE LOCAL HEALTH DEPARTMENT.
 6. NO TREES ARE TO BE REMOVED UNLESS OTHERWISE SPECIFIED BY THE ENGINEER. ALL OTHERS DELETTERIOUS MATERIAL SHALL NOT BE BURIED OR DISPOSED ON SITE.
 7. TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS. STRIPPED AND RECOVERED TOPSOIL SHALL BE STORED IN A PROTECTED AREA. EXCEPT WHERE NOTED OTHERWISE, THE SOILS TO BE STRIPPED IN THE LOCATIONS AS INDICATED ON THIS PLAN SHALL BE STRIPPED AND STORED AS SPECIFIED ON THIS PLAN. OTHER SOILS SHALL BE HAULED OFF.
 8. A STORM WATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED FOR THIS SITE AND SHALL BE FOLLOWED AT ALL TIMES AND PRIOR TO ANY OTHER WORK.
 9. THE GRADING OUTFALL QUANTITIES ON THIS SITE ARE INTENDED TO MAINTAIN FLOW THROUGH THE EXISTING DRAINAGE SYSTEMS AND TO MAINTAIN THE EXISTING DRAINAGE SYSTEMS. THE CONTRACTOR SHALL VERIFY THE EXISTING DRAINAGE SYSTEMS AND SHALL BE RESPONSIBLE FOR ANY NECESSARY REPAIRS OR IMPROVEMENTS TO THE EXISTING DRAINAGE SYSTEMS.
 10. ALL LOTS SHALL HAVE A MIN. 12" DEEP SWALE INSTALLED ON THE HIGH SIDE OF THE LOT FROM THE DRIVE. THIS SWALE SHALL BE TO THE ROAD. AND THE SWALE SHALL BE INSTALLED AS SHOWN AND SHALL HAVE NO MORE THAN 2% SLOPE DRAINING TOWARD THE SIDE OF THE LOT. NO SIDE SHALL BE MAINTAINED AND BE MINIMUM OF SIDE = 20 FEET.



- LEGEND**
- (F) MONUMENTATION FOUND (OLD)
 - IPF IRON PIN FOUND (OLD)
 - IPS IRON PIN SET (NEW)
 - EASEMENT
 - X- FENCE
 - C- CENTERLINE PAVEMENT
 - MP UTILITY OR POWER POLE
 - SA SANITARY SEWER MANHOLE
 - SA SANITARY SEWER
 - W WATER
 - OVERHEAD ELECTRIC
 - BOUNDARY LINES
 - BUILDING SETBACK
 - SIGN
 - 90 LOT NUMBER - 65' WIDE AT SETBACK
 - 100.0 PAD ELEVATION
 - STORM MANHOLE
 - STORM SEWER
 - CATCH BASIN
 - ▲ CONCRETE HEADWALL
 - PROPOSED FINISHED GRADE CONTOUR
 - PROPOSED FINISHED GRADE ELEVATION
 - PROPOSED DRAINAGE SWALE/DITCH
 - 27 DETAIL SHEET
 - 27 DETAIL NUMBER
 - LIMIT OF CONSTRUCTION

NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	1/27/2020	ISSUED FOR PERMITS
2	1/27/2020	ISSUED FOR PERMITS
3	1/27/2020	ISSUED FOR PERMITS
4	1/27/2020	ISSUED FOR PERMITS
5	1/27/2020	ISSUED FOR PERMITS

GRADING & DRAINAGE PLAN
 WINDSOR FOREST S/D
 2-SC-20-C, 2-F-20-UR
 151 ANDVILLE, TENNESSEE 37165
 615.447.1333 FAX 615.447.1000



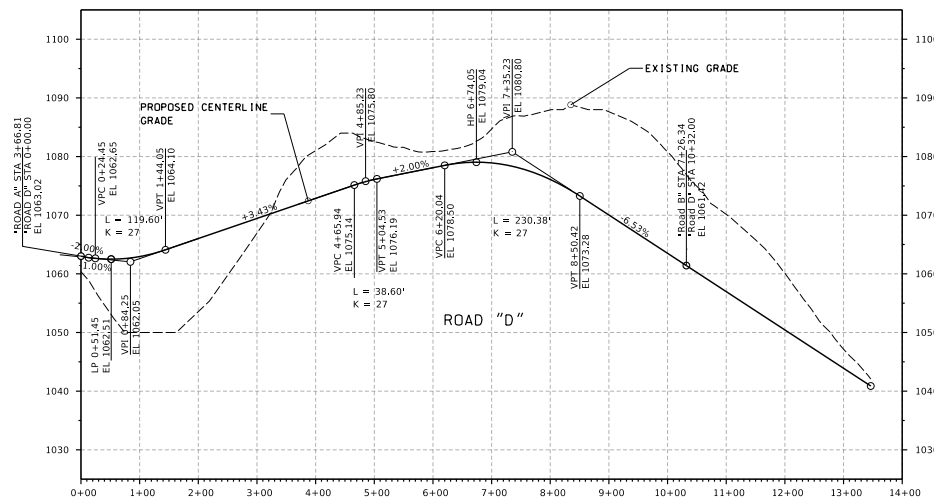
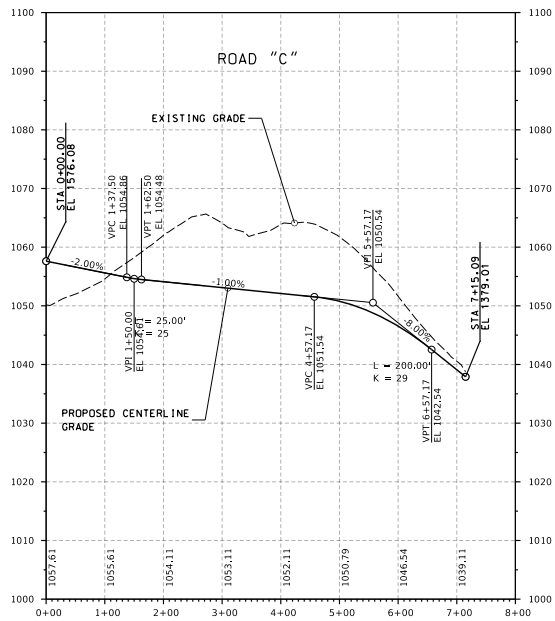
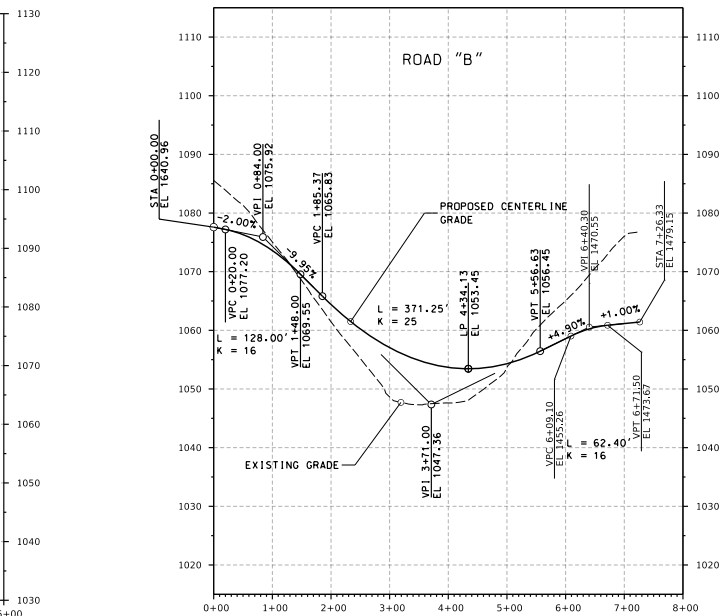
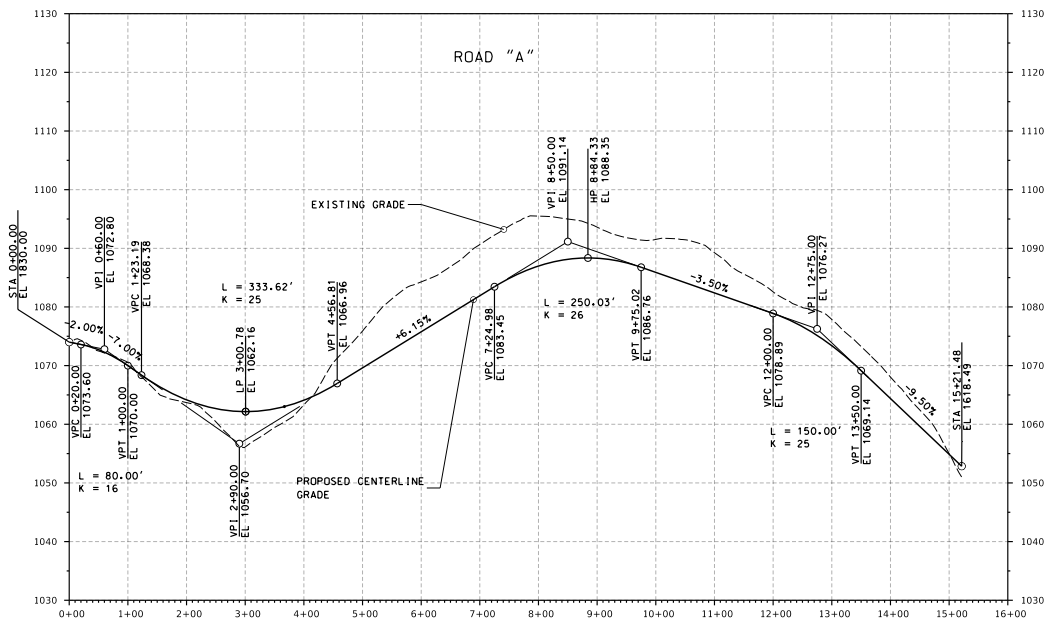
W. SCOTT WILLIAMS & ASSOCIATES
 CONSULTING ENGINEERS
 151 ANDVILLE, TENNESSEE 37165
 615.447.1333 FAX 615.447.1000

CLIENT:
SCOTT DAVIS INVESTMENTS, LLC
MESANA INVESTMENTS, LLC
 865-806-8008

ORIGINAL ISSUE:
JAN. 23, 2018

SHEET NO.
C2

JOB NO. 1793



2-SC-20-C
2-F-20-UR
Revised: 1/27/2020

NO.	DATE	DESCRIPTION
1	1/23/18	NEW CONCEPT
2	1/24/19	REVISION

ROAD PROFILES
WINDSOR FOREST S/D
905 FRETZ ROAD
KNOXVILLE, TENNESSEE 37919
G.P. MANNING, P.E.
C.T. MARR, P.E.



W. SCOTT WILLIAMS & ASSOCIATES
CIVIL ENGINEERING
LAND SURVEYING
17921
905 FRETZ ROAD
KNOXVILLE, TN 37919
E-MAIL: scott@wsa-tn.com

CLIENT:
SCOTT DAVIS INVESTMENTS, LLC
865-806-8008

ORIGINAL ISSUE:
JULY 18, 2018

SHEET NO.
C3

JOB NO. 1793