

TOTAL AREA = 31.39 ACRES
1,367,515 sq.ft.
TOTAL BUILDING LOTS=62
OPEN SPACE LOTS: 2



Knox County Department of Engineering and Public Works

The Knox County Department of Engineering and Public Works hereby approves this plat on _____ day of _____, 20____.

Engineering Director

Zoning
Zoning Shown on Official Map _____
Date: _____
By: _____
Addressing Department Certification
I, the undersigned, hereby certify that the subdivision name and all street names conform to the Knoxville or Knox County Street Naming and Addressing Ordinance, the Addressing Guidelines and Procedures, and these regulations.
Signed: _____
Date: _____

Taxes and Assessments
This is to certify that all property taxes and assessments due on this property have been paid.
City Tax Clerk: Signed: _____
Date: _____
Knox County Trustee: Signed: _____
Date: _____

Planning Commission Certification of Approval for Recording -- Final Plat

This is to certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations of Knoxville and Knox County and with existing official plans, with the exception of any variances and waivers noted on this plat and in the minutes of the Knoxville-Knox County Planning Commission, on this the _____ day of _____, 20____, and that the record plat is hereby approved for recording in the office of the Knox County Register of Deeds. Pursuant to Section 13-3-405 of Tennessee Code Annotated, the approval of this plat by the Planning Commission shall not be deemed to constitute or effect an acceptance by the City of Knoxville or Knox County of the dedication of any street or other ground upon the plat.

Signed: _____
Date: _____

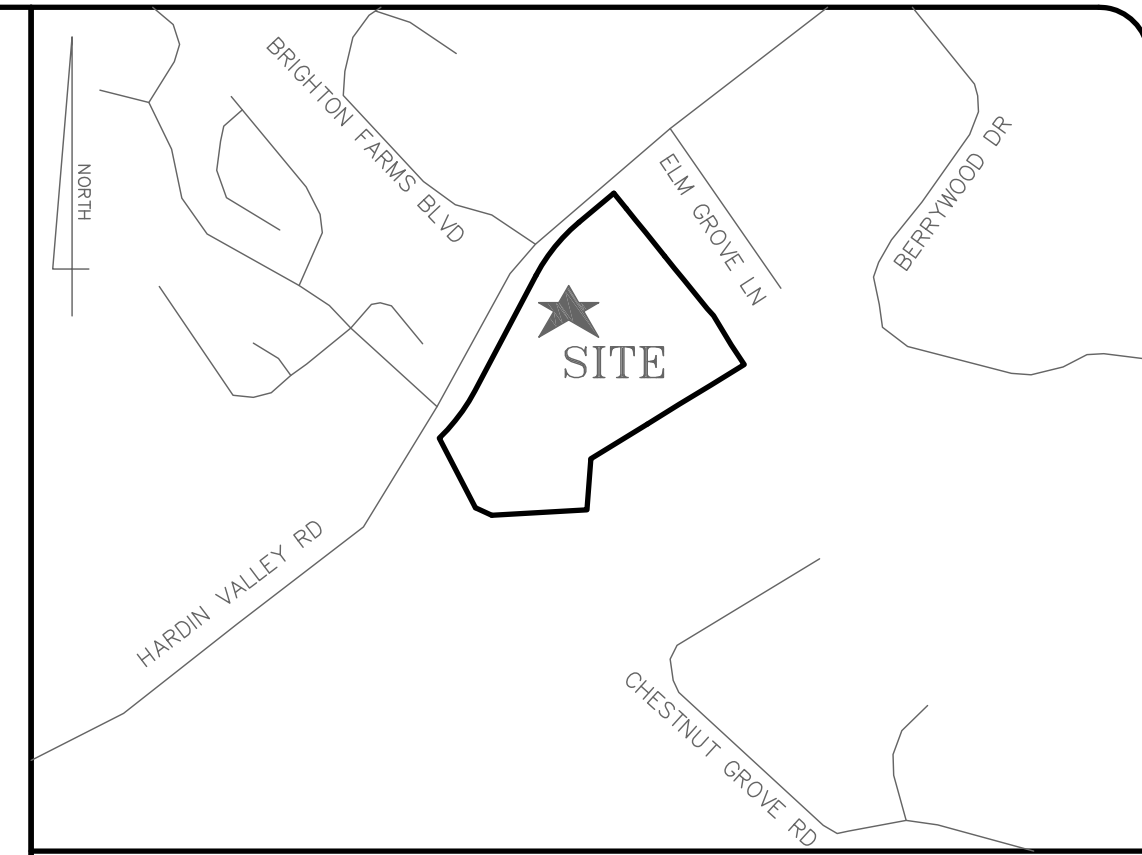
LINE LEGEND

---	DRAINAGE EASEMENT
---	DETENTION EASEMENT
---	PERIPHERAL SETBACK
---	SANITARY SEWER EASEMENT
---	WALKING TRAIL EASEMENT
---	ZERO SETBACK LINE

SYMBOL LEGEND

○	FOUND MONUMENTATION w/ SIZE & TYPE
●	IRON ROD SET SEE NOTE 1
---	SIGHT DISTANCE EASEMENT
---	DRAINAGE EASEMENT
---	SANITARY SEWER EASEMENT
○	MONUMENT FOUND
△	PERMANENT MONUMENT (MAG NAIL WITH DISK OR BR SPIKE)

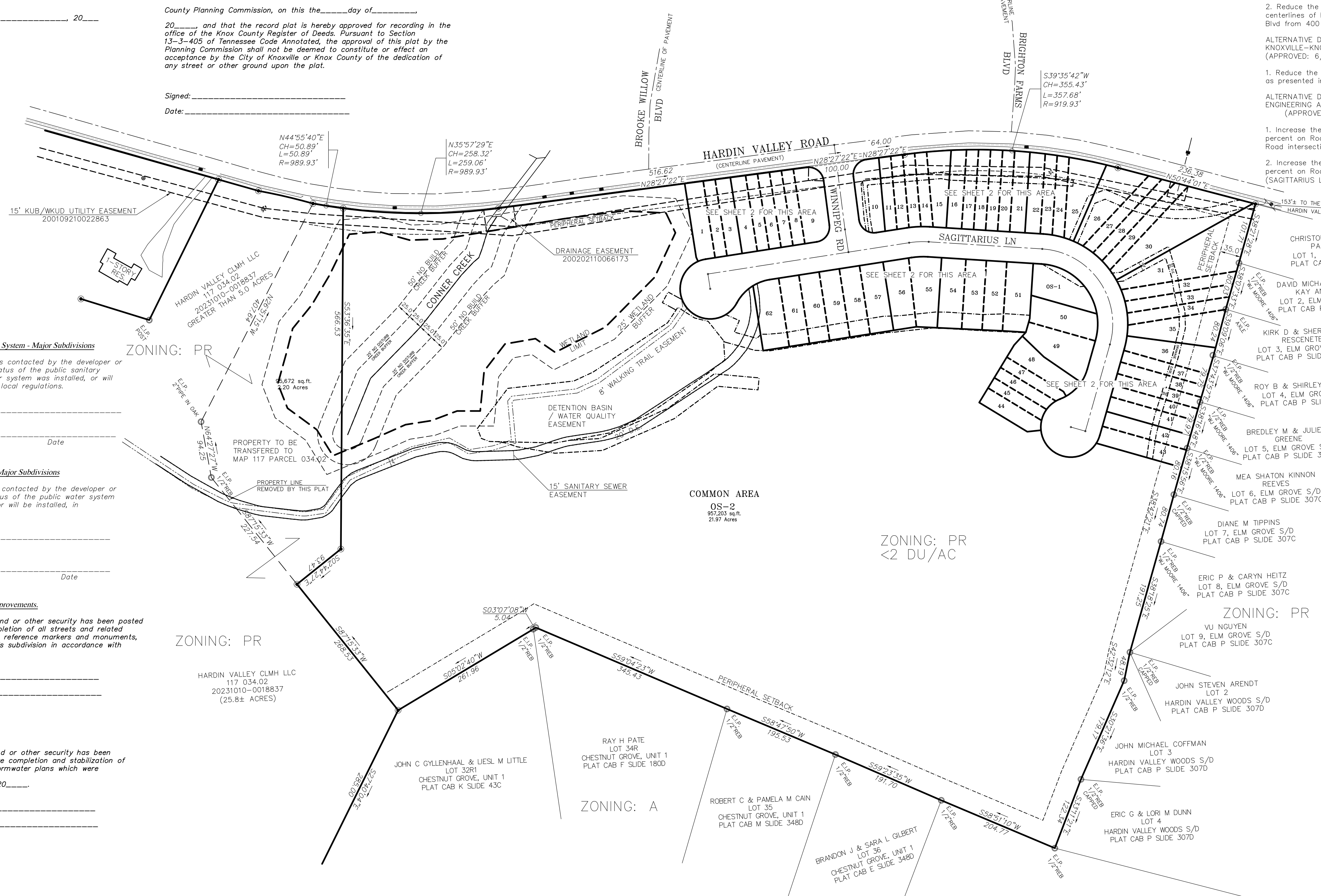
Certificate of Ownership and General Dedication
(I, We), the undersigned owner(s) of the property shown herein, hereby adopt this as (my, our) plan of subdivision and dedicate the streets as shown to the public use forever and hereby certify that (I, am, we, are) the owner(s) in fee simple of the property, and as property owner(s) have an unrestricted right to dedicate right-of-way and/or grant easement as shown on this plat.
Owner(s) Printed Name: _____ Signature(s): _____
Date: _____
HARDIN VALLEY CLM LLC
119 WEST 23RD ST STE 206
NEW YORK, NY 10011



Property owners are responsible for maintenance of Stormwater facilities. The covenant for maintenance of stormwater facilities is recorded as instrument # _____.

- VARIANCES: (APPROVED: 6/2/2023)
1. Reduce the minimum intersection separation between centerlines of Road 'A' (WINNIPEG RD) and Brighton Farms Blvd from 400 ft to 290 ft.
 2. Reduce the minimum intersection separation between centerlines of Road 'A' (WINNIPEG RD) and Brooke Willow Blvd from 400 ft to 310 ft.
- ALTERNATIVE DESIGN STANDARDS REQUIRING KNOXVILLE-KNOX COUNTY PLANNING COMMISSION APPROVAL (APPROVED: 6/2/2023)
1. Reduce the minimum lot frontage from 25 ft to 20 ft, as presented in the Concept Plan.
 2. Increase the maximum intersection grade from 1 to 2 percent on Road 'A' (WINNIPEG RD) at the Hardin Valley Road intersection.
- ALTERNATIVE DESIGN STANDARDS REQUIRING KNOX COUNTY ENGINEERING AND PUBLIC WORKS APPROVAL (APPROVED: 6/1/2023)
1. Increase the maximum intersection grade from 1 to 2 percent on Road 'A' (WINNIPEG RD) at the Hardin Valley Road intersection.
 2. Increase the maximum intersection grade from 1 to 2 percent on Road 'A' (WINNIPEG RD) at the Road 'B' (SAGITTARIUS LN) intersection.

1. IRON PINS SET AT ALL CORNERS, BY THIS SURVEY, UNLESS OTHERWISE NOTED. ALL NEW PROPERTY MONUMENTS ARE 1/2" x 18" REBAR IRON PINS WITH PLASTIC CAP STAMPED "LYNCH 2447".
2. CLT TAX MAP 117 PARCEL 034 AND MAP 117 PARCEL 034.02.
3. DEED REFERENCES - 20231010-0018837 (FOR BOTH PARCELS)
4. THIS PROPERTY IS ZONED PR <2 DU/AC MINIMUM SETBACKS: FRONT: 20' SIDE: 5' REAR: 15' PERIPHERAL: 35'
5. THIS PROPERTY DOES NOT LIE WITHIN A 100/500 YEAR FLOOD ZONE PER FIRM FLOOD INSURANCE RATE MAP NUMBER: 47093C0233G AND 47093C0241G EFFECTIVE DATE: AUGUST 5, 2013.
6. ALL UNDERGROUND UTILITIES ARE REFERENCED TO UTILITY COMPANIES MAPS AND ARE TO BE CONSIDERED APPROXIMATE.
7. NORTH ROTATION: NAD83(NSRS2007)
8. THE REQUIRED UTILITY AND DRAINAGE EASEMENT SHALL BE TEN (10) FEET IN WIDTH INSIDE ALL EXTERIOR LOT LINES ADJOINING STREETS AND PRIVATE RIGHTS-OF-WAY INCLUDING PREVIOUSLY APPROVED JOINT PERMANENT EASEMENTS (JPEs). EASEMENTS OF FIVE (5) FEET IN WIDTH SHALL BE PROVIDED ALONG BOTH SIDES OF ALL INTERIOR LOT LINES AND ON THE INSIDE OF ALL OTHER EXTERIOR LOT LINES. THESE EASEMENTS ARE NOT REQUIRED ALONG SPECIFIC LOT LINES FOR PROPERTY THAT IS ZONED TO ALLOW LESS THAN A FIVE (5) FOOT BUILDING SETBACK AND SHALL BE CLEARLY NOTED ON THE FINAL PLAT.
9. 15' PERMANENT UTILITY EASEMENT 7.5' ON EACH SIDE OF ALL WATER AND SANITARY SEWER LINES AS INSTALLED.
10. 20' DRAINAGE EASEMENT 10' ON EACH SIDE OF ALL DRAINAGE PIPES AND CENTERLINE OF SWALES AS CONSTRUCTED UNLESS SHOWN OTHERWISE.
11. FOR APPROVED SUBDIVISION VARIANCES AND CONDITIONS OF APPROVAL OF THE CONCEPT PLAN AND DEVELOPMENT PLAN, REFER TO KNOXVILLE-KNOX COUNTY PLANNING'S FILES 6-SB-23-C AND 6-B-23-DP.
12. ALL LOTS TO HAVE ACCESS TO INTERNAL ROAD SYSTEM ONLY.
13. HOMEOWNERS ASSOCIATION DOCUMENTATION RECORDED AS INSTRUMENT NUMBER: _____
14. THE SIGHT DISTANCE ON THE INTERSECTING PUBLIC ROAD DOES MEET THE REQUIREMENTS OF SUBDIVISION REGULATIONS [SR SECTION 3.04.J]
15. WALKING TRAIL EASEMENT LIES 4' ON EACH SIDE OF CENTERLINE OF 5' TRAIL AS CONSTRUCTED.
16. THE PURPOSE OF THIS PLAT IS TO DEDICATE 2.2 ACRES OF THE PROPERTY TO THE ADJOINING PROPERTY (PARCEL 117 034.02) AND TO CREATE A 62 LOT SUBDIVISION AS SHOWN.
17. THE DESIGN PLAN WAS APPROVED BY THE KNOX COUNTY ENGINEERING AND PUBLIC WORKS ON NOVEMBER 16, 2023.

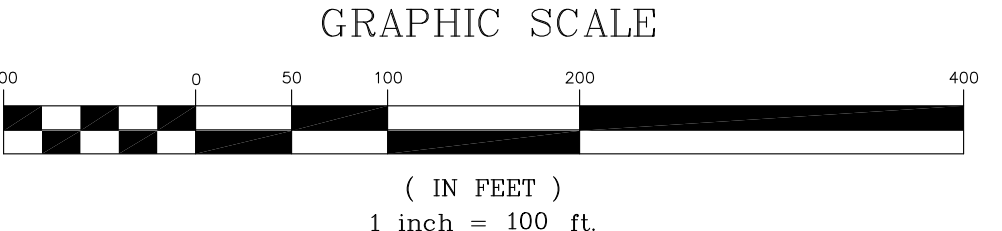


Certification of Approval of Public Sanitary Sewer System - Major Subdivisions
I hereby certify that the utility provider was contacted by the developer or owner of the property to determine the status of the public sanitary sewer system and the public sanitary sewer system was installed, or will be installed, in accordance with State and local regulations.
Utility Provider _____
Authorized Signature for Utility _____ Date _____

Certification of Approval of Public Water System - Major Subdivisions
I hereby certify that the utility provider was contacted by the developer or owner of the property to determine the status of the public water system and the public water system was installed, or will be installed, in accordance with State and local regulations.
Utility Provider _____
Authorized Signature for Utility _____ Date _____

Guarantee of Completion of Streets and Related Improvements
I, the undersigned, hereby certify that a bond or other security has been posted with the appropriate agency to ensure completion and stabilization of all streets and related improvements including indicated permanent reference markers and monuments, benchmarks and property monuments in this subdivision in accordance with required standards and specifications.
Signed: _____ Date: _____
Dept: _____ Title: _____

Guarantee of Completion of Stormwater Facilities
I, the undersigned, hereby certify that a bond or other security has been posted with the appropriate agency to ensure completion and stabilization of all stormwater facilities as shown on the stormwater plans which were approved the _____ day of _____, 20____.
Signed: _____ Date: _____
Dept: _____ Title: _____



GPS SURVEY NOTE:
ALL BOUNDARY MONUMENTS AND SURVEY CONTROL WAS PERFORMED USING GPS RECEIVER: TOPCON VR NETWORK ROVER, DUAL FREQUENCY WAS USED (L1,L2) GPS SURVEY PERFORMED WAS NETWORK ADJUSTED REAL TIME KINEMATICS BASED ON TDOT GNSS NETWORK NAD83(NSRS2007) VERTICAL DATUM IS NAVD83, GEOID09. PRECISION OF THE GPS WORK RPA: 4 CM PLUS 50 PARTS PER MILLION (BASED ON THE DIRECT DISTANCE BETWEEN THE TWO CORNERS BEING TESTED). DISTANCES HAVE NOT BEEN REDUCED TO GRID.

NOTE:
NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR AND OTHER EASEMENTS AND/OR EXCEPTIONS NOT APPARENT IN THE FIELD MAY OR MAY NOT EXIST AND MAY BE REVEALED BY A TITLE SEARCH BY A TITLE ATTORNEY.

SEE SHEET 1 OF 2 FOR PLAT NOTES AND CERTIFICATIONS.
ALL REQUIRED CERTIFICATIONS AND APPLICABLE NOTES FOR THIS PLAT ARE PROVIDED ON PAGE # 1.

DATE	PROJECT HISTORY	DETAILS
12/19/24	SUBMITTED FOR REVIEW	PS COMMENTS RECEIVED
01/03/25	PS COMMENTS RECEIVED	PS EMAIL STATING THAT 01/31 WAS DEADLINE FOR REVIEW
01/23/25	RECEIVED ROAD NAMES FROM CLIENT	FINALIZED COMMENTS AND SENT BACK ADDITIONAL PS COMMENTS
01/27/25	ADDITIONAL PS COMMENTS	(01/24/2025) AND ENG. COMMENTS - SENT REVISED DRAWING TO PLANNING.
01/29/25	ADDITIONAL PS COMMENTS - SENT CORRECTIONS AND CLOSURES ON 01/29/25	
01/31/25	ADDITIONAL PS COMMENTS	

Certification of Final Plat -- All Indicated Markers, Monuments and Benchmarks to be Set When Construction is Completed.

I hereby certify that I am a registered land surveyor licensed to practice surveying under the laws of the State of Tennessee. I further certify that this plat and accompanying drawings, documents, and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized, described and justified in a report filed with the Planning Commission, or for variances and waivers which have been approved as identified on the final plat. The bond or other security that is posted to guarantee the completion of streets and related improvements shall also guarantee the installation of the indicated permanent reference markers and monuments, and benchmarks and property monuments upon completion of the subdivision.

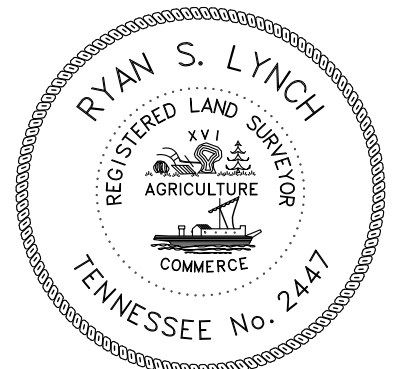
Registered Land Surveyor _____
Tennessee License No. _____
Date: _____

Certification of Class and Accuracy of a Survey

I HEREBY CERTIFY THAT THIS IS A CATEGORY "IV" SURVEY IN ACCORDANCE WITH THE TENNESSEE STANDARDS OF PRACTICE.

Certification of the Accuracy of a Survey
Survey accuracy shall meet the requirements of the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.

I hereby certify that this survey was prepared in compliance with the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.
Registered Land Surveyor _____
Tennessee License No. _____
Date: _____



Certification of no Recorded Easements

This is to certify that there are no known recorded drainage or utility easements on lot line(s) being eliminated on this subdivision plat.

Registered Land Surveyor _____
Tennessee License No. _____
Date: _____

2-SB-25-F

REVISIONS

DRAWN BY: M. STRANGE	1 01/06/2025 PS COMMENTS
CHECKED BY: R. LYNCH	2 01/23/2025 ADDED STREET NAMES
APPROVED BY: R.S.L.	3 01/27/2025 PS COMMENTS
SCALE: 1"=100'	4 01/29/2025 PS COMMENTS
DATE: 12/02/2024	5 01/31/2025 PS COMMENTS
	6

SURVEY FOR:
HARDIN VALLEY INVESTMENTS LP
P.O. Box 325
Athens, Tennessee 37371
Phone: 423-887-3823

FINAL PLAT OF:
CRUZ LANDING
Hardin Valley Road
Knoxville, Tennessee 37932
District 16, Knox County, Tennessee

PROJECT NO.
4627-02
SHEET NO.
1 of 2

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM

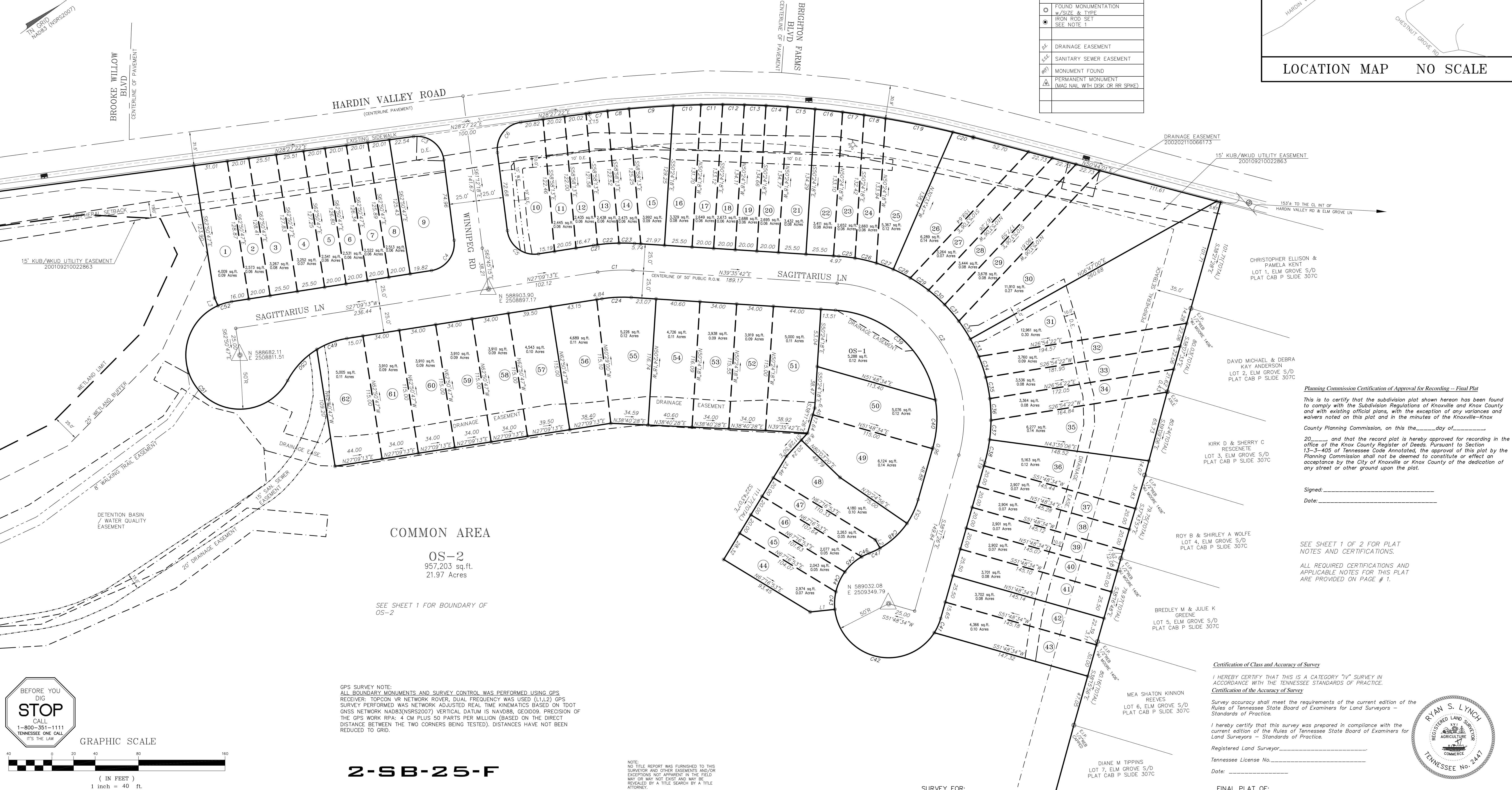
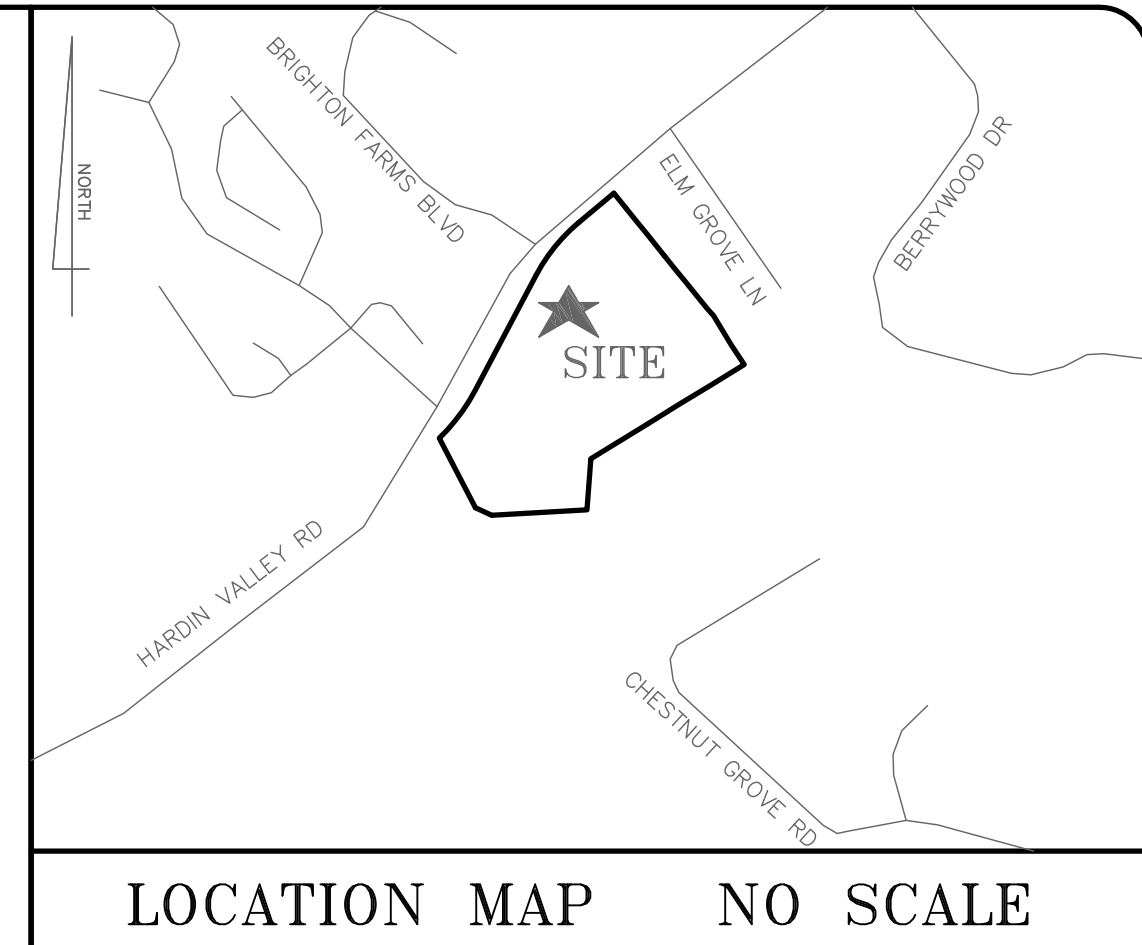
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1,367,515 sq.ft.
TOTAL BUILDING LOTS=62
OPEN SPACE LOTS: 2

CURVE TABLE				CURVE TABLE				CURVE TABLE				CURVE TABLE							
CURVE	BEARING	CHORD	RADIUS	LENGTH	CURVE	BEARING	CHORD	RADIUS	LENGTH	CURVE	BEARING	CHORD	RADIUS	LENGTH	CURVE	BEARING	CHORD	RADIUS	LENGTH
C1	S33°22'27"W	32.51	150.00	32.57	C14	S39°15'57"W	20.00	919.93	20.00	C27	S56°16'11"W	16.58	150.00	16.58	C40	N50°56'17"W	44.13	100.00	44.50
C2	N89°17'52"W	194.58	125.00	223.00	C15	S40°40'59"W	25.50	919.93	25.51	C28	S62°48'53"W	17.68	150.00	17.69	C41	N29°51'01"W	14.51	50.00	14.56
C3	S73°37'32"W	35.46	25.00	39.42	C16	S42°16'20"W	25.53	919.93	25.53	C29	S70°34'47"W	20.25	150.00	20.27	C42	N49°13'14"E	94.40	50.00	123.45
C4	N17°01'32"W	34.85	25.00	38.55	C17	S43°41'30"W	20.05	919.93	20.05	C30	S77°45'27"W	20.01	150.00	20.02	C43	S50°40'22"E	16.29	50.00	16.36
C5	N72°58'28"E	35.86	25.00	39.99	C18	S44°46'30"W	20.09	919.93	20.09	C31	S85°25'38"W	20.12	150.00	20.14	C44	S29°40'22"E	20.15	50.00	20.29
C6	S16°22'28"E	35.25	25.00	39.12	C19	S47°32'28"W	63.38	919.93	63.39	C32	N86°58'18"W	19.65	150.00	19.66	C45	S05°59'43"E	20.88	50.00	21.04
C7	S28°58'54"W	10.87	919.93	16.87	C20	S50°07'28"W	19.56	919.93	19.56	C33	N79°47'00"W	17.97	150.00	17.98	C46	S10°29'57"W	7.74	50.00	7.75
C8	S30°02'47"W	20.00	919.93	20.00	C21	S27°44'21"W	3.58	175.00	3.58	C34	N72°28'32"W	20.27	150.00	20.29	C47	N10°42'10"E	11.08	75.00	11.09
C9	S32°01'44"W	40.98	919.93	40.98	C22	S31°36'03"W	20.00	175.00	20.01	C35	N64°46'37"W	20.01	150.00	20.02	C48	N06°33'33"E	33.81	75.00	34.10
C10	S34°06'11"W	25.62	919.93	25.62	C23	S37°14'09"W	14.41	175.00	14.41	C36	N57°06'33"W	20.11	150.00	20.12	C49	S15°48'32"W	29.51	75.00	29.70
C11	S35°31'31"W	20.05	919.93	20.05	C24	S33°22'27"W	27.09	125.00	27.14	C37	N49°50'25"W	17.92	150.00	17.94	C50	S10°45'22"E	39.38	75.00	39.85
C12	S36°46'24"W	20.02	919.93	20.02	C25	S42°28'17"W	15.05	150.00	15.06	C38	N42°18'10"W	21.51	150.00	21.53	C51	N83°02'54"E	94.54	50.00	190.28
C13	S38°01'12"W	20.01	919.93	20.01	C26	S49°13°29"W	20.29	150.00	20.30	C39	S77°57'17"W	124.12	100.00	133.90	C52	S19°36'51"W	13.12	50.00	13.16
										C53	N28°53'19"W	24.25	75.00	24.36					

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N28°57'03"E	22.96
L2	S83°32'03"E	8.76
L3	S77°55'32"E	7.65

LINE LEGEND	
---	DRAINAGE EASEMENT
---	EASEMENT
---	DETENTION EASEMENT
---	PERIPHERAL SETBACK
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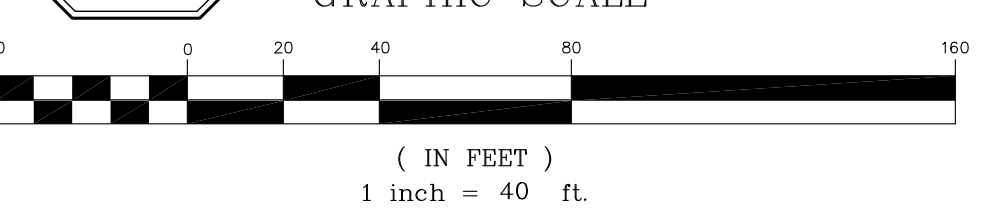
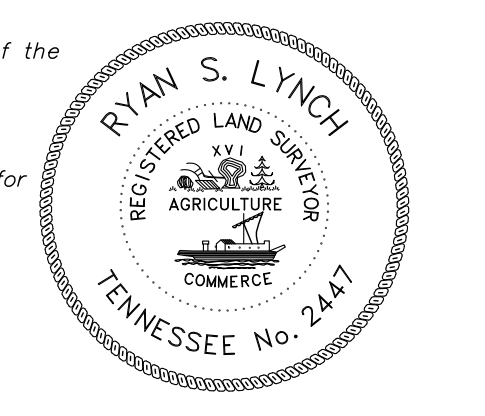


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Tennessee License No. _____
Date: _____



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Phone: 423-887-3823

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865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM