

CLUBHOUSE PARKING DETAIL
NTS

LOCATION MAP
(NOT TO SCALE)

2-SB-23-C
Revised: 3/30/2023

GENERAL NOTES:

1. THE BOUNDARY AND TOPOGRAPHIC DATA WAS TAKEN FROM KGIS THAT WAS OBTAINED NOVEMBER 30, 2020.
2. PROPERTY CONCERNED REFLECTS PARCEL 060PA025 AS SHOWN IN KNOX COUNTY CLT MAP 60. ZONING FOR THE PROPERTY IS RN-2, SINGLE-FAMILY RESIDENTIAL NEIGHBORHOOD ZONING DISTRICT, CITY BLOCK NO. 32650., WARD NO. 32. TOTAL AREA = 70.34± AC.
3. BUILDING SETBACKS ARE 20'-FT. IN FRONT, MIN. 5'-FT. ON SIDE (AVG. COMBINED TOTAL 15'-FT.), AND 25'-FT. IN REAR. CORNER SETBACK IS 12'-FT.
4. ACCESS TO LOTS IS RESTRICTED TO INTERNAL STREETS.
5. 10' UTILITY & DRAINAGE EASEMENT INSIDE ROAD FRONTAGE AND S/D PERIMETER LOT LINES. 5' EACH SIDE OF ALL INTERIOR LOT LINES.
6. PROPOSED IMPROVEMENTS INCLUDE: 26' WIDE PUBLIC ROAD, EXTRUDED CURB, STORM SEWER, SANITARY SEWER, WATER, ELECTRIC, TELEPHONE, AND CABLE TV.
7. MPC FILE NUMBER: 2-SB-23-C

PROPOSED DENSITY

PARCEL ZONED PR ALLOWED DENSITY	ZONE RN-2
PROPERTY ZONED PR AREA	70.34 AC
SINGLE FAMILY DWELLING UNITS	290 UNITS
PROPOSED DENSITY	4.12 DU/AC
COMMON AREA	±13.20 AC

- VARIANCE REQUEST:**
1. REDUCE INTERSECTION SPACING FROM 300' TO 190' FOR ROAD "A" & LOCARNO DRIVE

LEGEND:

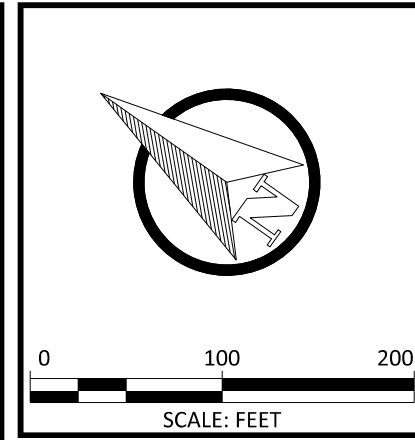
	PROPOSED ASPHALT PAVEMENT
	PROPOSED LOT NUMBER
	PROPOSED PROPERTY/ROW LINE
	EXISTING PROPERTY LINE
	PROPOSED ROAD CENTER LINE

- UTILITY OWNERS:**
- WATER & SEWER**
KNOXVILLE UTILITIES BOARD (KUB)
4505 MIDDLEBROOK PIKE
KNOXVILLE, TN 37921
CONTACT: TIM BRANSON
OFFICE PHONE: 865.558.2552
 - GAS**
KNOXVILLE UTILITIES BOARD (KUB)
4505 MIDDLEBROOK PIKE
KNOXVILLE, TN 37921
CONTACT: TIM BRANSON
OFFICE PHONE: 865.558.2552
 - ELECTRIC**
KNOXVILLE UTILITIES BOARD (KUB)
4505 MIDDLEBROOK PIKE
KNOXVILLE, TN 37921
CONTACT: TIM BRANSON
OFFICE PHONE: 865.558.2552
 - TELEPHONE**
AT&T-BELLSOUTH TELECOMMUNICATIONS, LLC
9733 PARKSIDE DRIVE
KNOXVILLE, TN 37922
CONTACT: ROBERT KNIGHT
OFFICE PHONE: 865.456.5736

ENGINEERING CERTIFICATION:

I HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER, LICENSED TO PRACTICE ENGINEERING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THE PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED AND DESCRIBED IN A REPORT FILED WITH THE METROPOLITAN PLANNING COMMISSION.

REGISTERED ENGINEER CHRISTOPHER H. GOLLIHER, P.E.
TENNESSEE CERTIFICATE NO. 119773



ARDURRA
COLLABORATE. INNOVATE. CREATE.
2160 Lakeside Centre Way, Suite 201
Knoxville, TN 37922
Phone: (865) 690-6419
www.Ardurra.com

RAND PARTNERS, LLC
118 N. PETERS RD
SUITE 304
KNOXVILLE, TN 37923
JAKE STENZIANO
STENZIANO12@YAHOO.COM
585-329-4796

NO.	DATE	REVISION	BY
C	03/30/23	REVISED PER MPC COMMENTS	PRA
B	03/21/23	REVISED LOT LAYOUT	PRA
A	03/17/23	REVISED FOR CONVERTING DUPLICATES TO SINGLE FAMILY HOMES	PRA

BUFFAT MILL ESTATES
5233 MCINTYRE ROAD
KNOXVILLE, TN 37914

LAYOUT AND PAVING PLAN

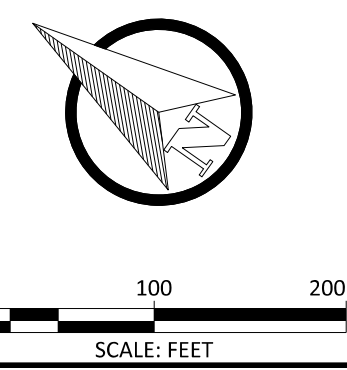
PRELIMINARY NOT FOR CONSTRUCTION

JOB NO: 720.001
DATE: 12/12/2022

C1

CONCEPT PLAN
12/12/2022

HILLSIDE PROTECTION
 HILLSIDE PROTECTION AREA: 28.18 AC
 ALLOWED DISTURBED HILLSIDE PROTECTION AREA: 19.20 AC
 DISTURBED HILLSIDE PROTECTION AREA: 19.15 AC
 % DISTURBED HILLSIDE PROTECTION AREA: 67.96%



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BUFFAT MILL ESTATES
 5233 MCINTYRE ROAD
 KNOXVILLE, TN 37914

PRELIMINARY GRADING PLAN

PRELIMINARY NOT FOR CONSTRUCTION

JOB NO: 720.001
 DATE: 12/12/2022

C2

CONCEPT PLAN
 12/12/2022



APPROXIMATE LIMITS OF DISTURBANCE, TYP

APPROXIMATE LIMITS OF DISTURBANCE, TYP

HILLSIDE PROTECTION

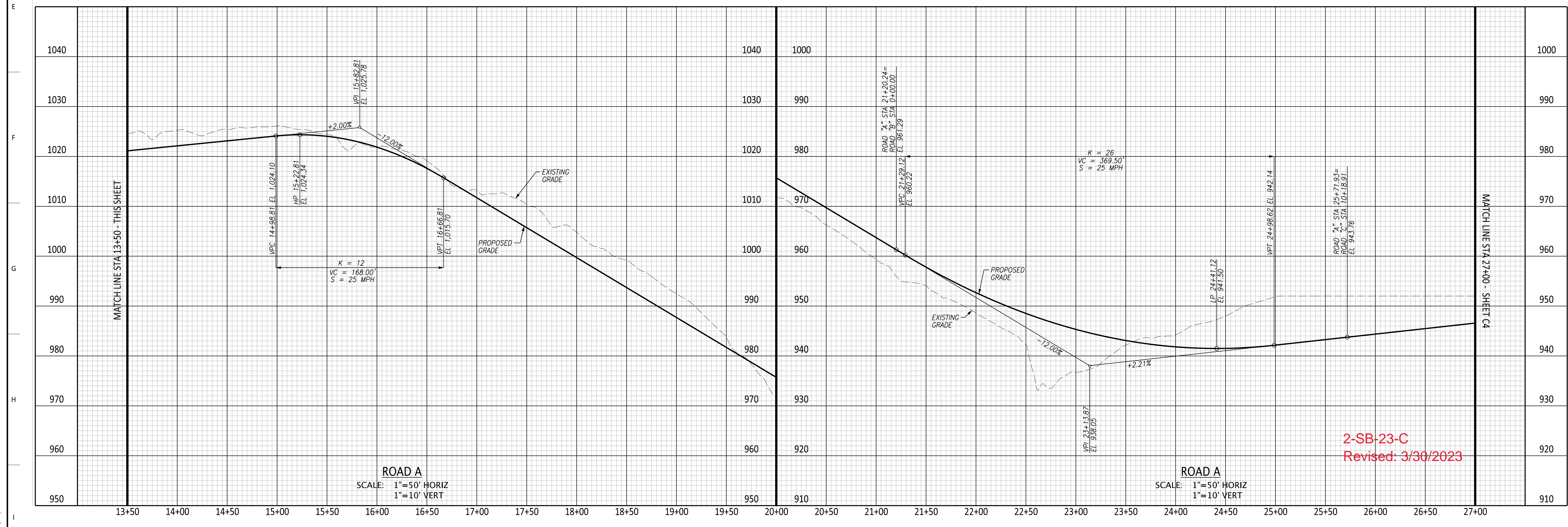
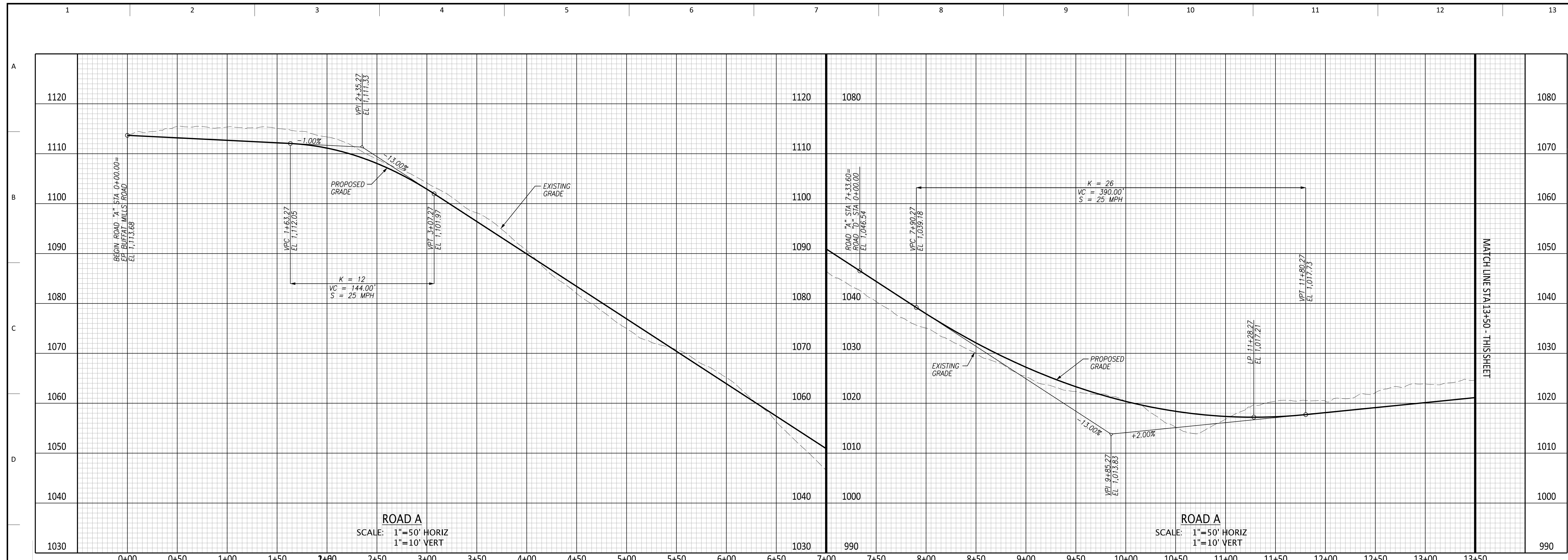
APPROXIMATE LIMITS OF DISTURBANCE, TYP

2-SB-23-C
 Revised: 3/30/2023

LEGEND:

	PROPOSED PROPERTY/ROW LINE
	EXISTING PROPERTY LINE
	LIMITS OF DISTURBANCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	HILLSIDE PROTECTION

File Name: A:\230_720\001\WORKS\220001\c202.dgn
 Plot Date: 3/30/2023



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NO.	DATE	BY	REVISION
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B	03/20/23	PRA	REVISED FOR VPC COMMENTS

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 KNOXVILLE, TN 37914

ROAD PROFILES

**PRELIMINARY
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 CONSTRUCTION**

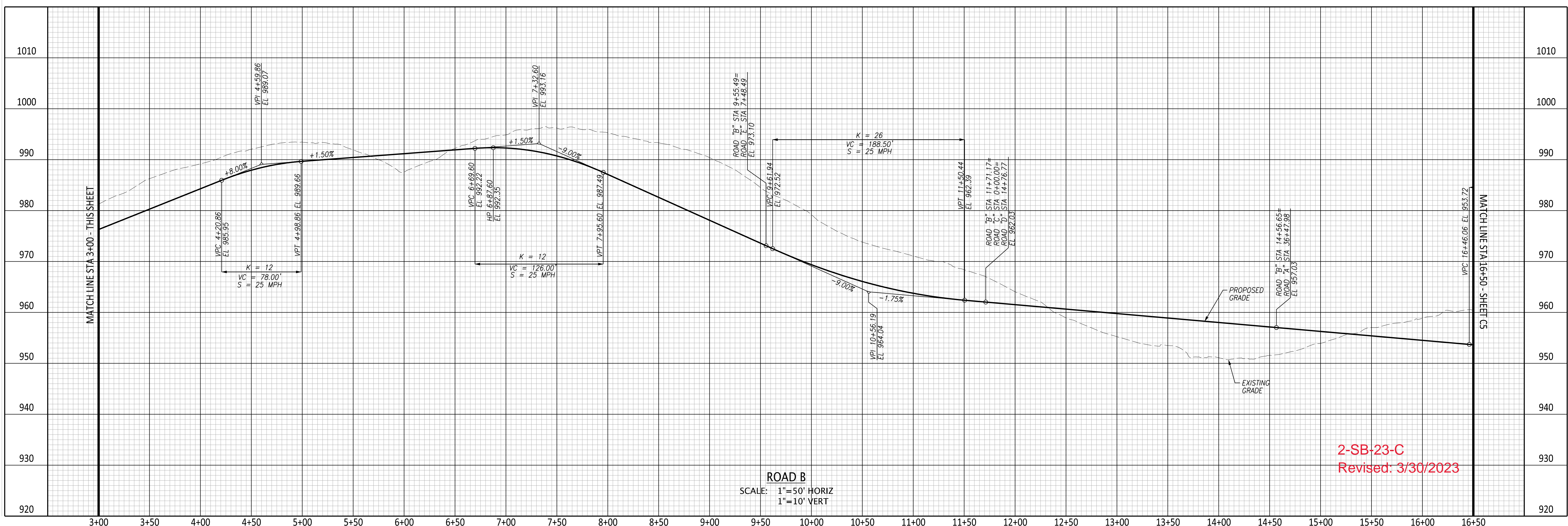
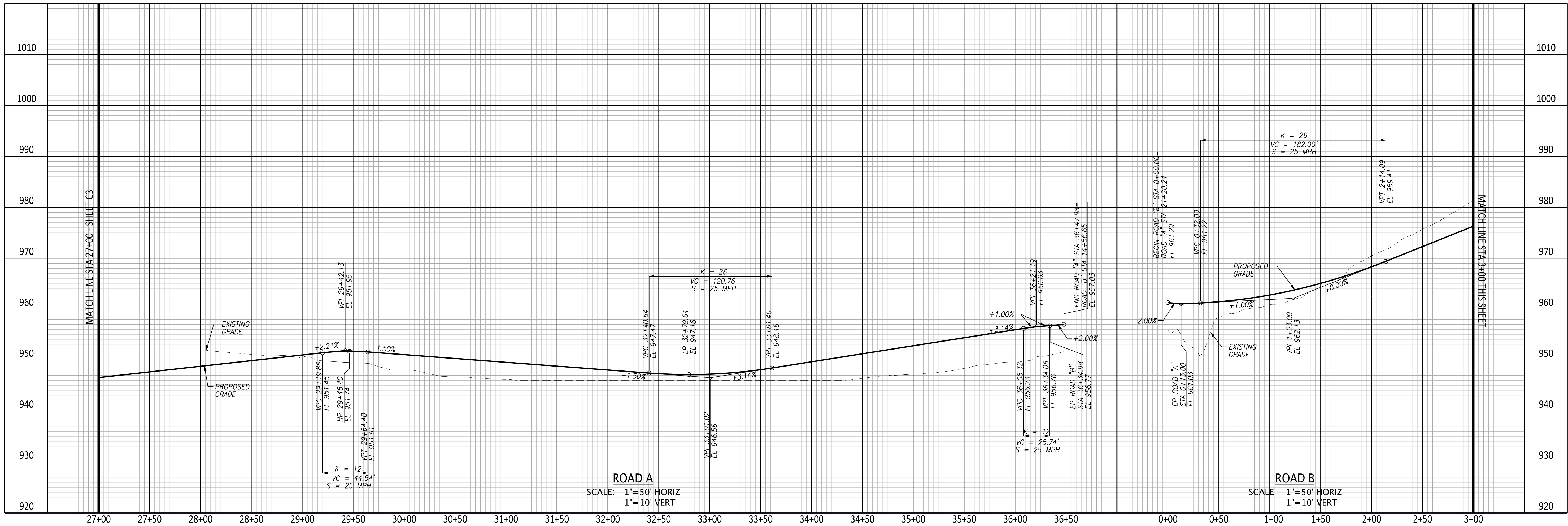
JOB NO: 720.001
 DATE: 12/12/2022

C3

CONCEPT PLAN
 12/12/2022

File Name: \\1270\720\001\DWG\1220001\c300.dgn
 Plot Date: 3/30/2023

File Name: \\1270.720.001\WORKS\220001\p04.dgn
 Plot Date: 3/30/2023



2-SB-23-C
 Revised: 3/30/2023



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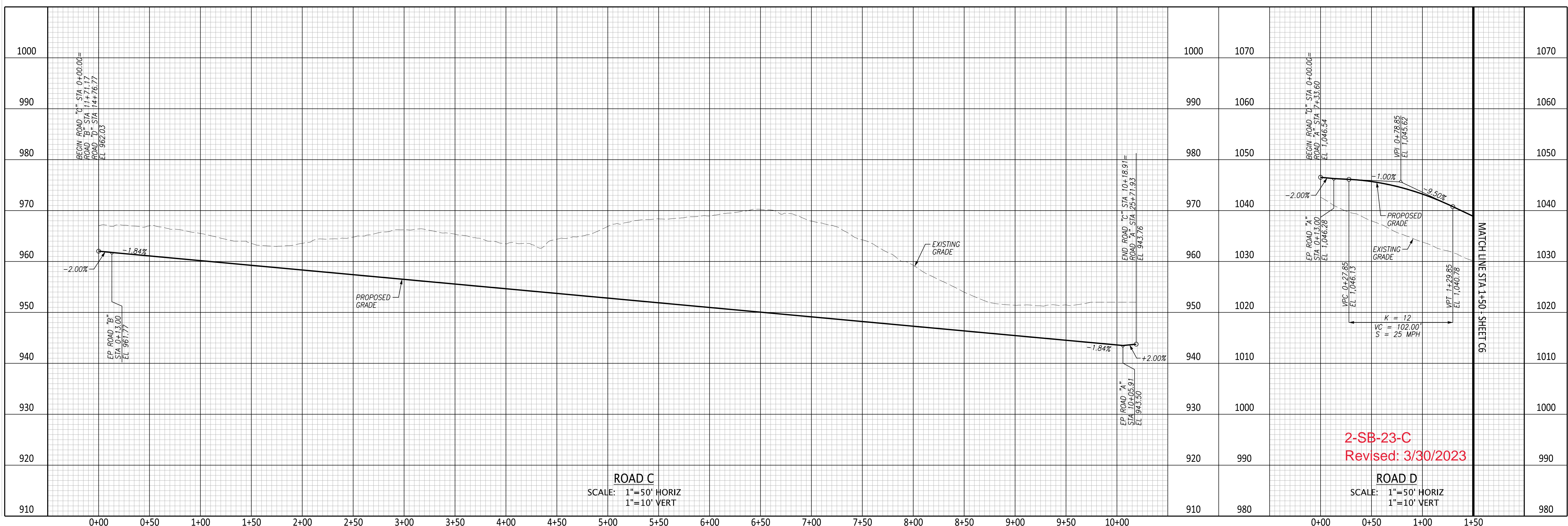
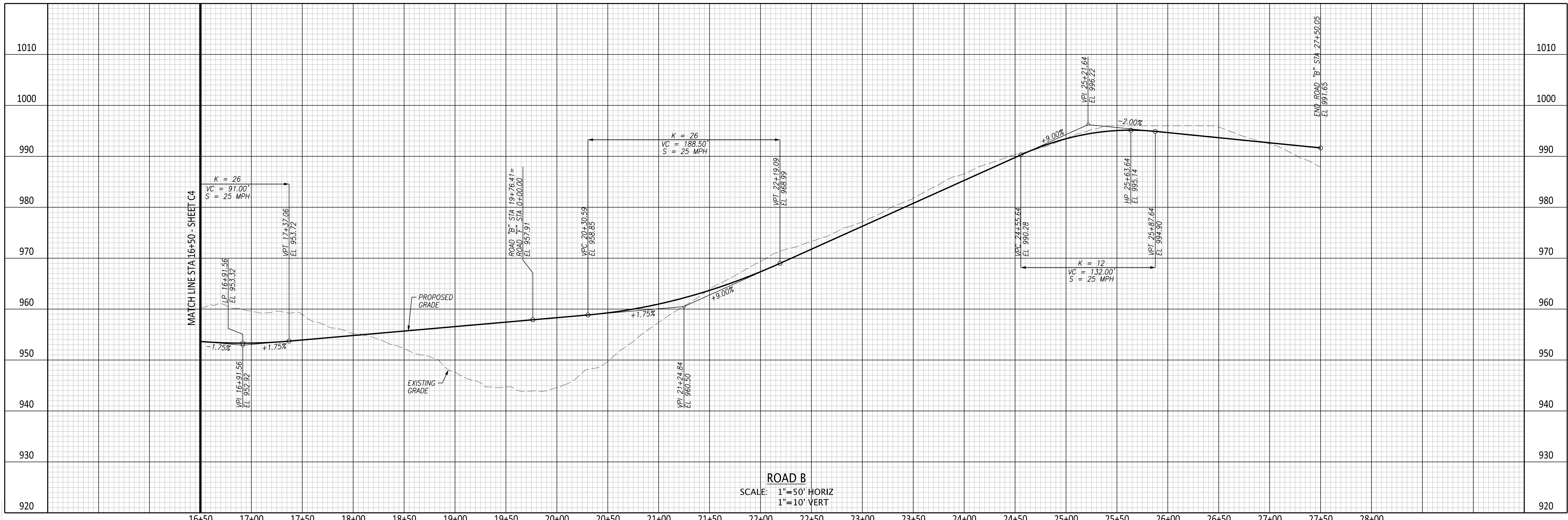
ROAD PROFILES

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C4

CONCEPT PLAN
 12/12/2022



File Name: A:\200\2001\0001\0001\20001\0005.dgn
 Plot Date: 3/30/2023



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ROAD PROFILES

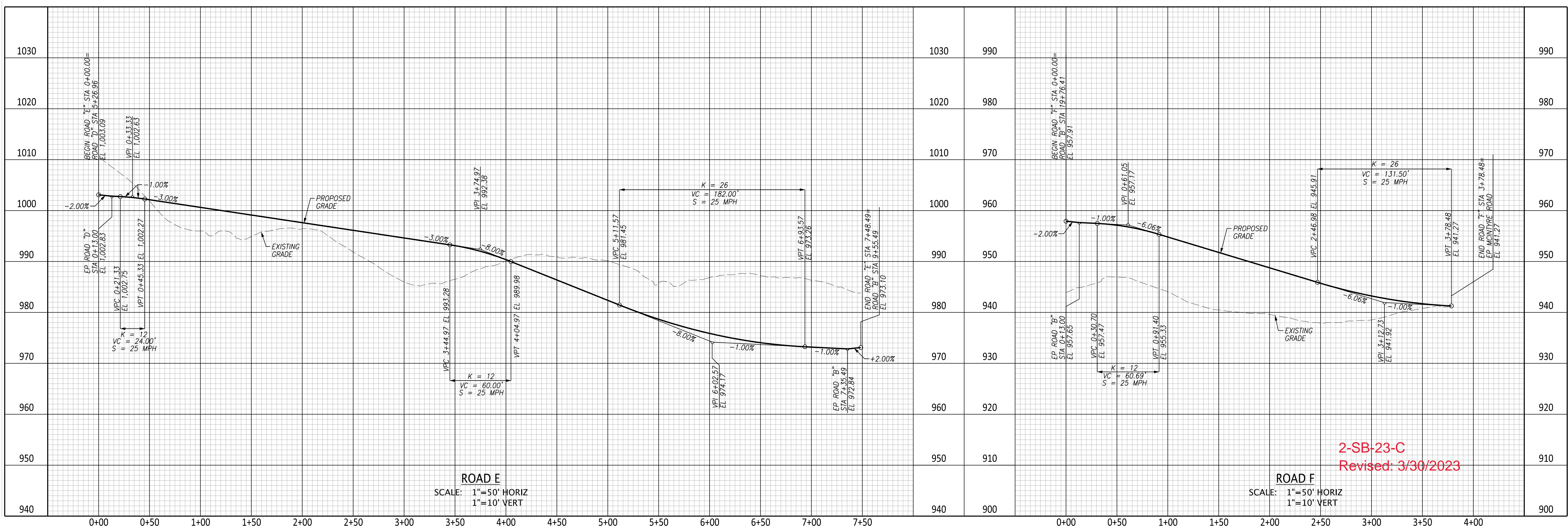
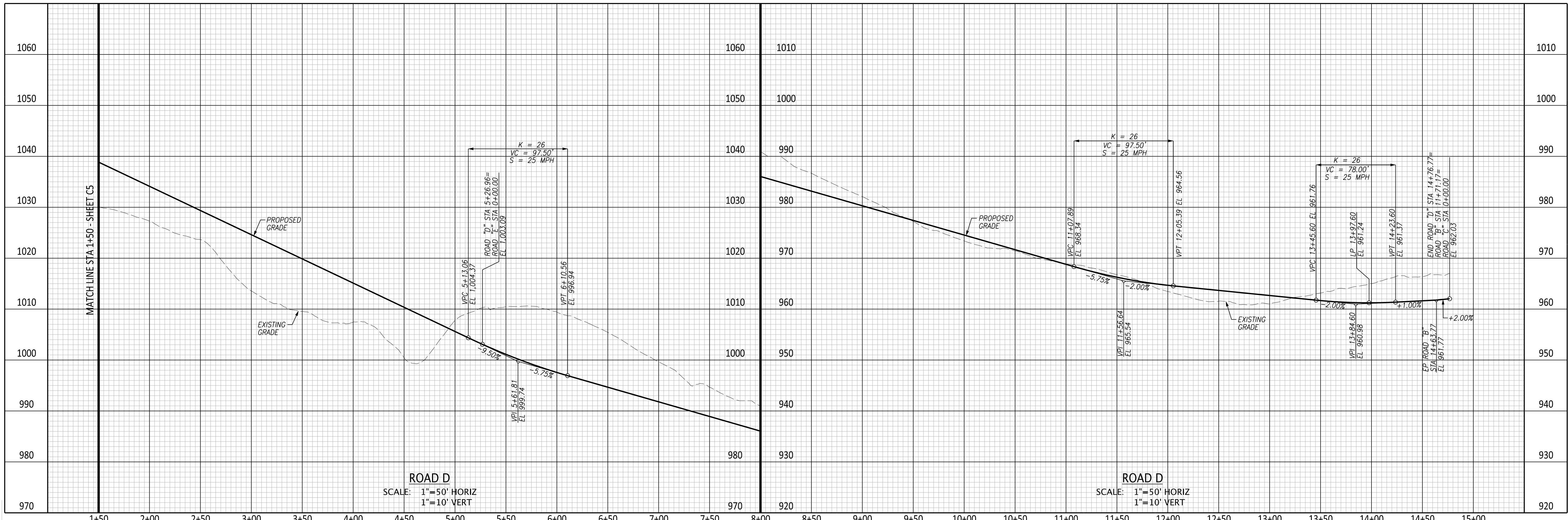
PRELIMINARY
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JOB NO: 720.001
 DATE: 12/12/2022

C5

CONCEPT PLAN
 12/12/2022

File Name: \\1270.720.001\WORKS\220001\c06.dgn
 Plot Date: 3/30/2023



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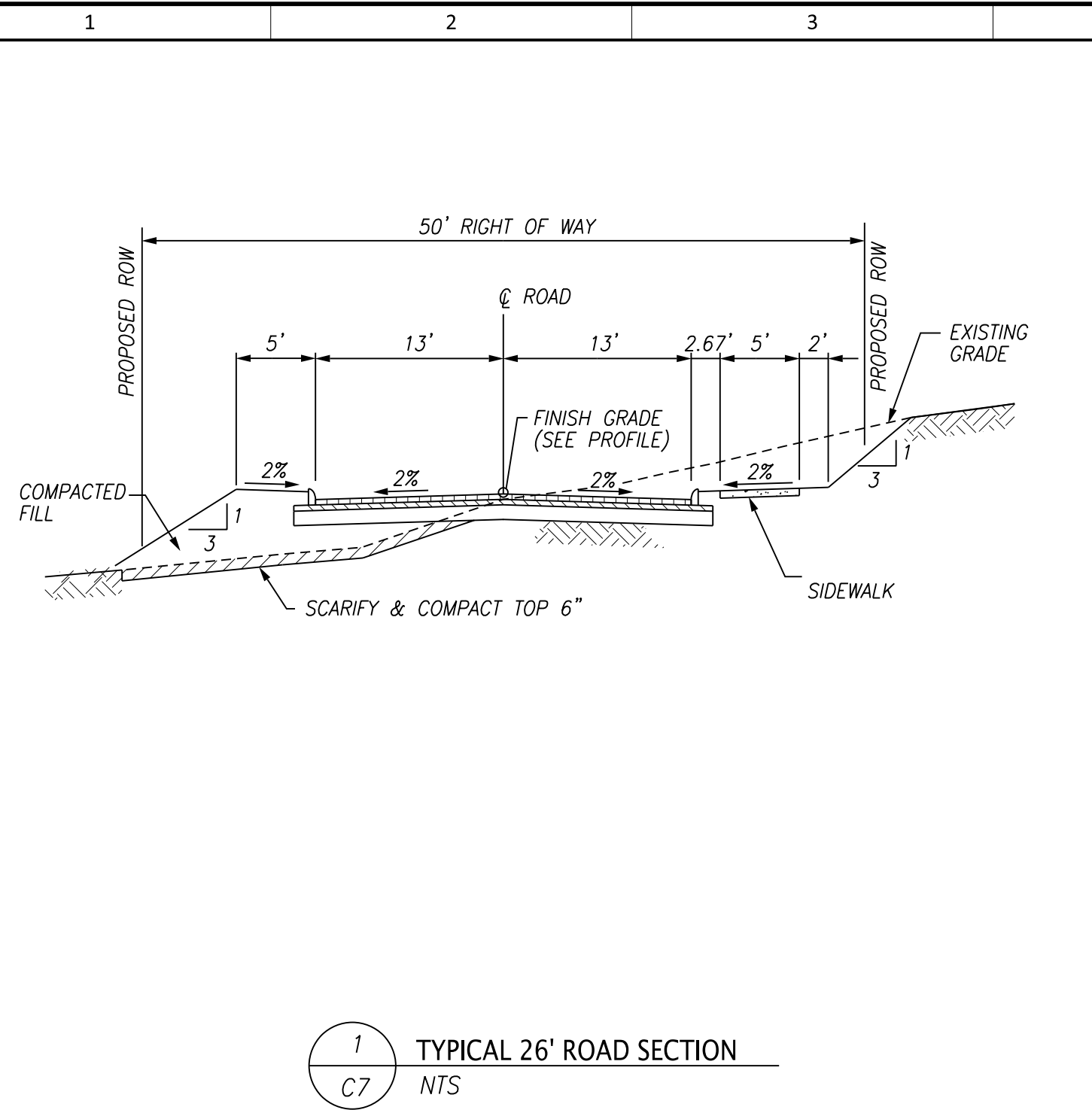
ROAD PROFILES

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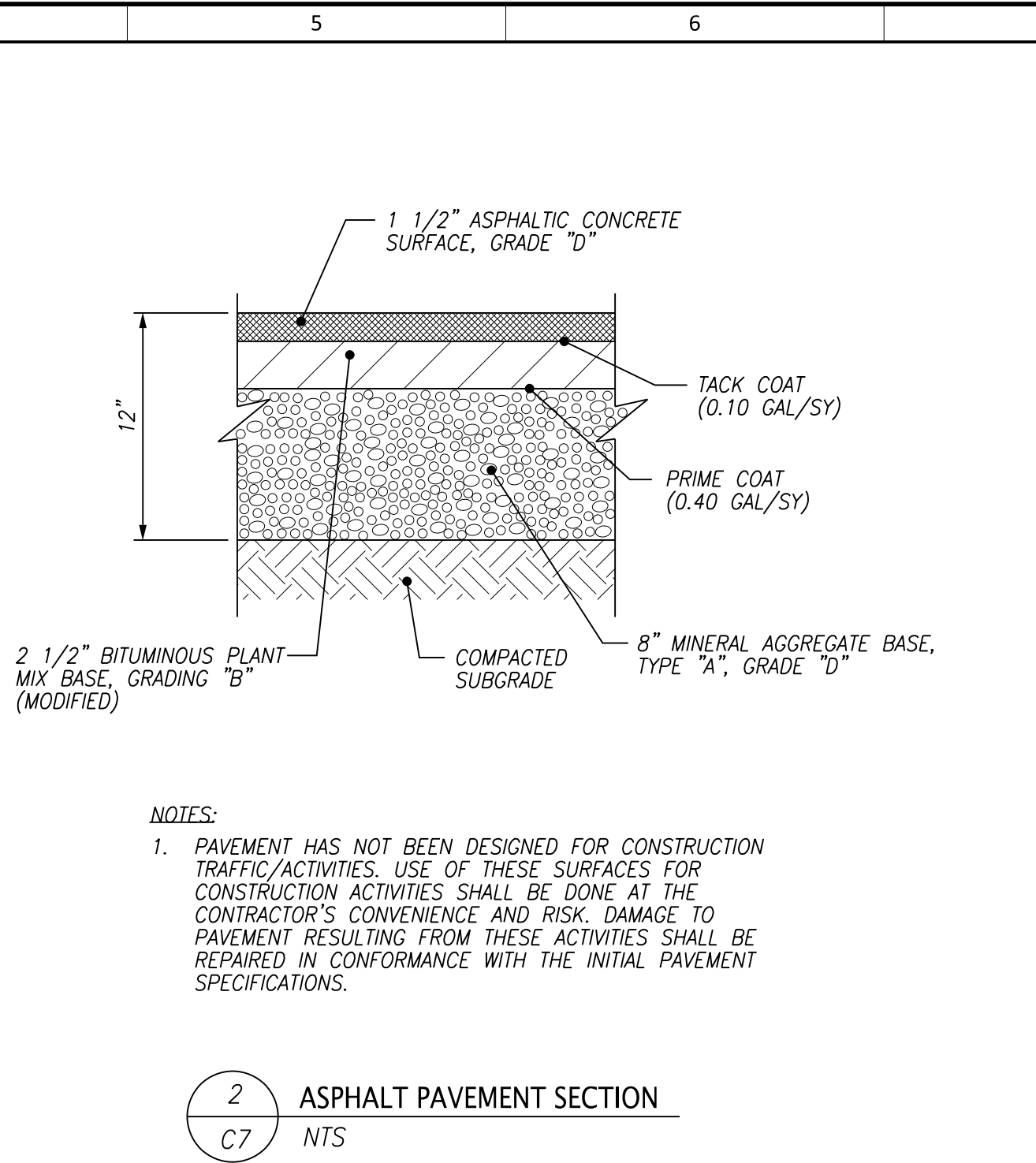
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C6

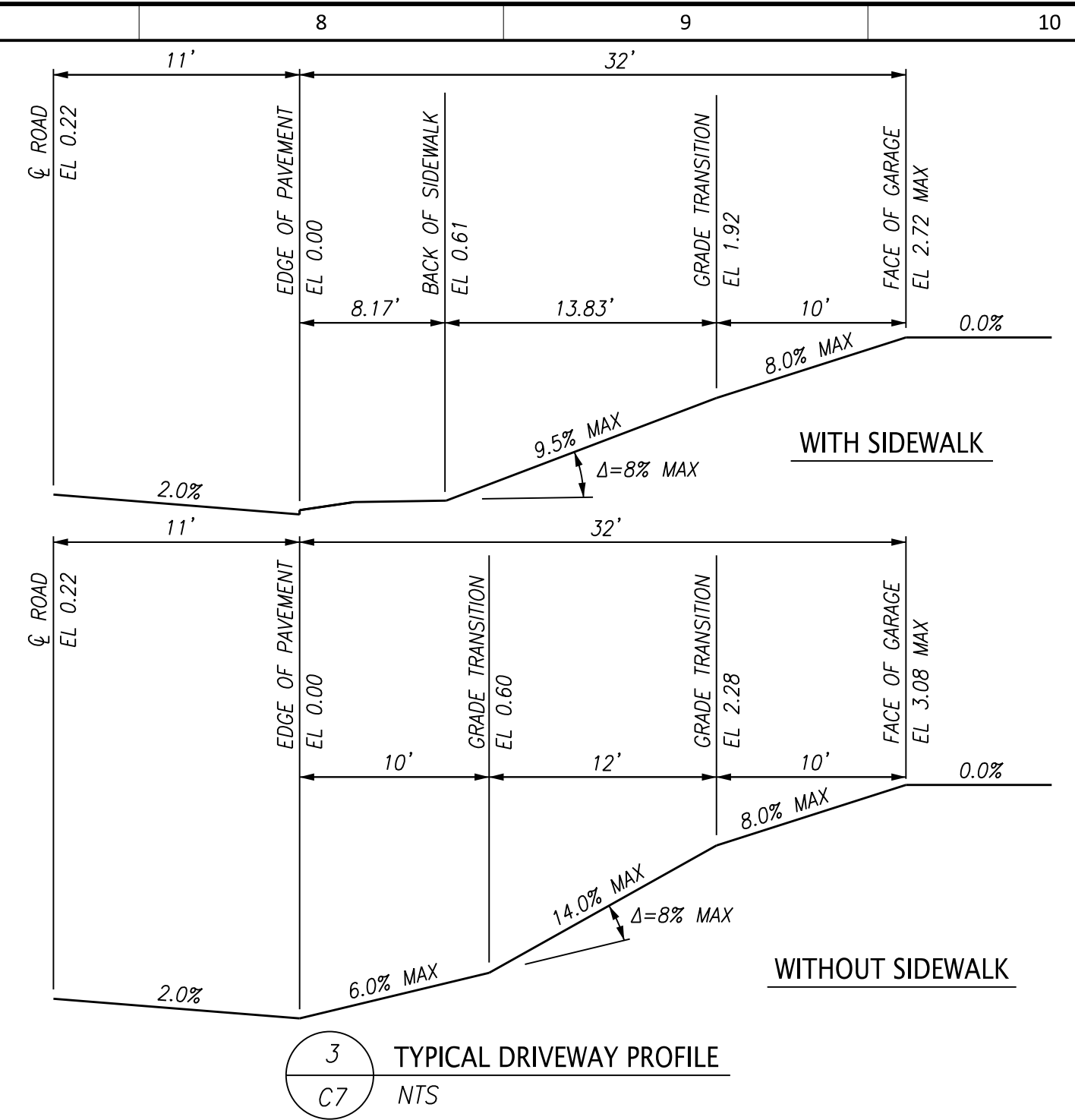
CONCEPT PLAN
 12/12/2022



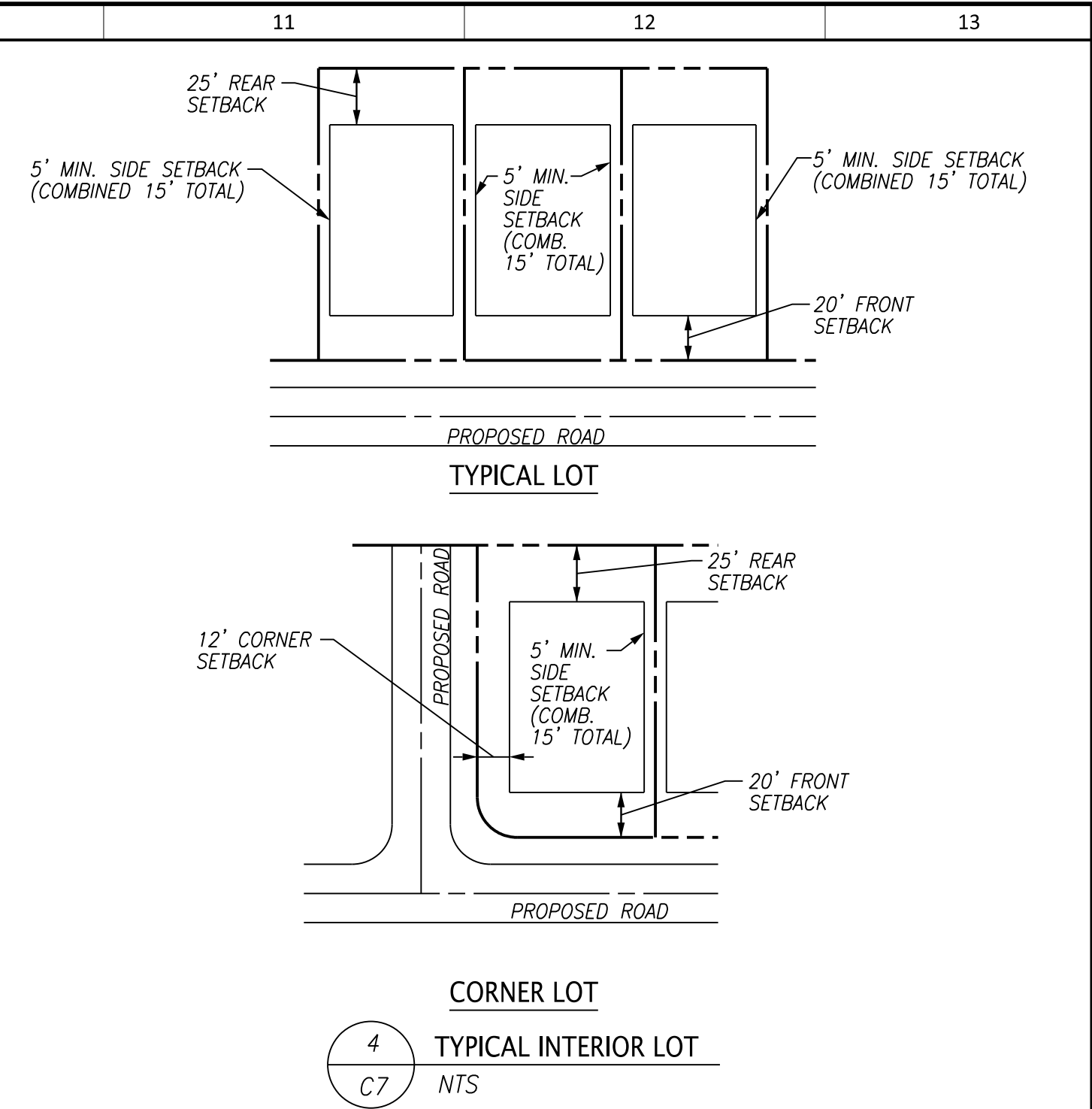
1 TYPICAL 26' ROAD SECTION
C7 NTS



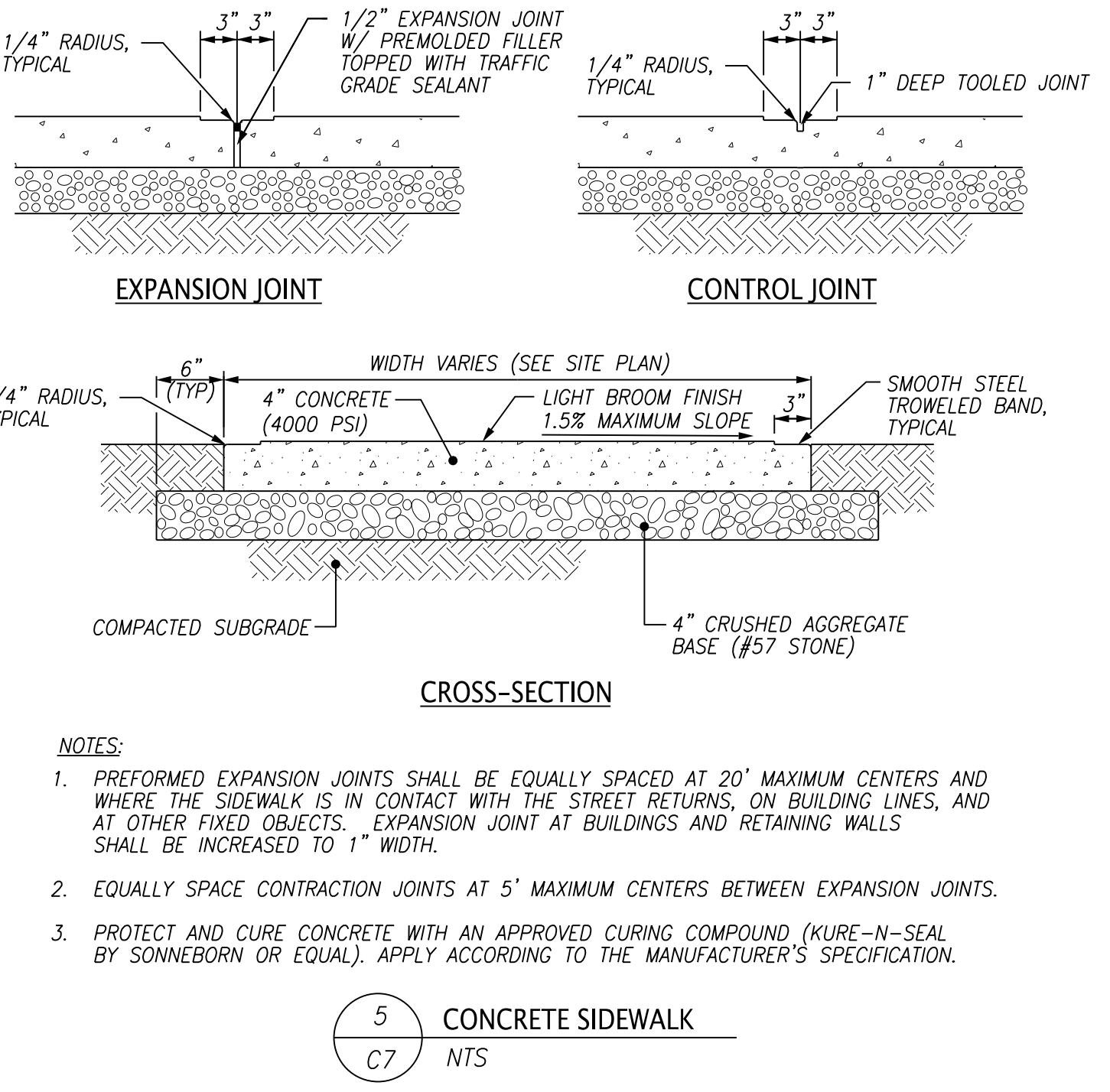
2 ASPHALT PAVEMENT SECTION
C7 NTS



3 TYPICAL DRIVEWAY PROFILE
C7 NTS



4 TYPICAL INTERIOR LOT
C7 NTS



5 CONCRETE SIDEWALK
C7 NTS

- NOTES:
1. PREFORMED EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 20' MAXIMUM CENTERS AND WHERE THE SIDEWALK IS IN CONTACT WITH THE STREET RETURNS, ON BUILDING LINES, AND AT OTHER FIXED OBJECTS, EXPANSION JOINT AT BUILDINGS AND RETAINING WALLS SHALL BE INCREASED TO 1" WIDTH.
 2. EQUALLY SPACE CONTRACTION JOINTS AT 5' MAXIMUM CENTERS BETWEEN EXPANSION JOINTS.
 3. PROTECT AND CURE CONCRETE WITH AN APPROVED CURING COMPOUND (KURE-N-SEAL BY SONNEBORN OR EQUAL), APPLY ACCORDING TO THE MANUFACTURER'S SPECIFICATION.



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DETAILS

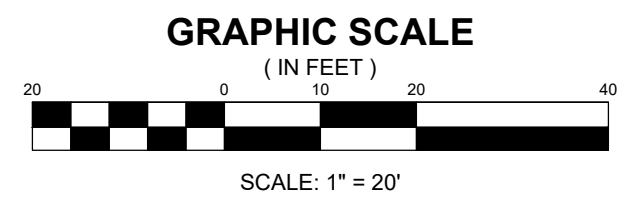
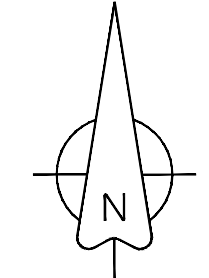
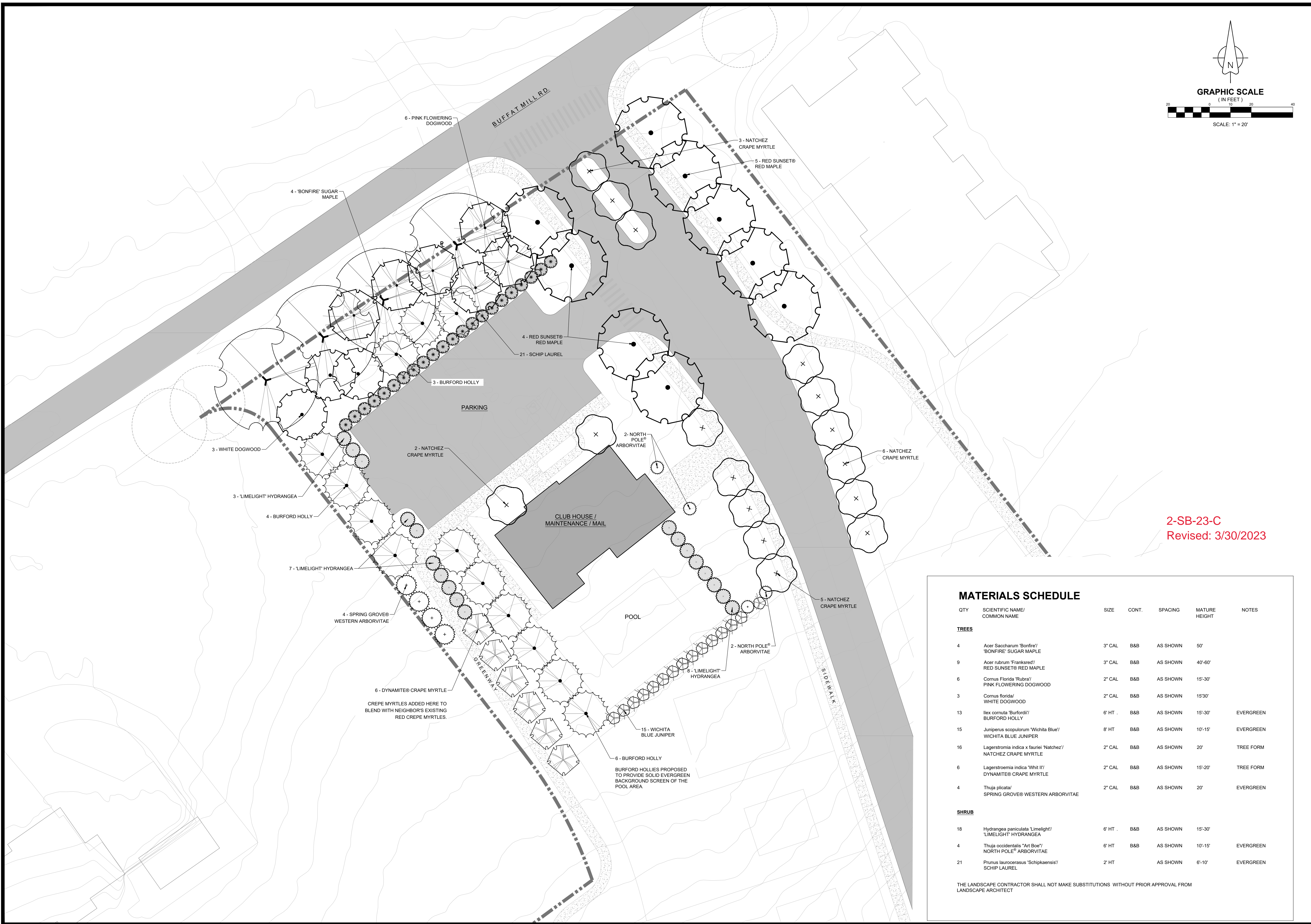
**PRELIMINARY
NOT FOR
CONSTRUCTION**

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DATE:	12/12/2022

C7

CONCEPT PLAN
12/12/2022

2-SB-23-C
Revised: 3/30/2023



2-SB-23-C
Revised: 3/30/2023

MATERIALS SCHEDULE

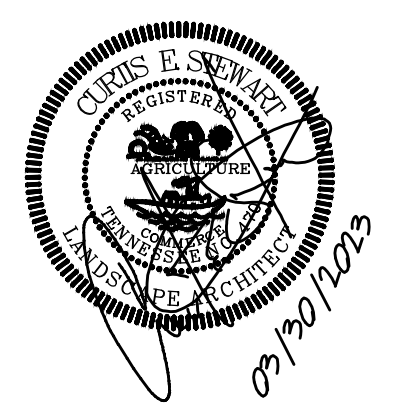
QTY	SCIENTIFIC NAME/ COMMON NAME	SIZE	CONT.	SPACING	MATURE HEIGHT	NOTES
TREES						
4	<i>Acer Saccharum</i> 'Bonfire' / 'BONFIRE' SUGAR MAPLE	3" CAL	B&B	AS SHOWN	50'	
9	<i>Acer rubrum</i> 'Franksred' / RED SUNSET® RED MAPLE	3" CAL	B&B	AS SHOWN	40'-60'	
6	<i>Cornus Florida</i> 'Rubra' / PINK FLOWERING DOGWOOD	2" CAL	B&B	AS SHOWN	15'-30'	
3	<i>Cornus florida</i> / WHITE DOGWOOD	2" CAL	B&B	AS SHOWN	15'30"	
13	<i>Ilex cornuta</i> 'Burfordii' / BURFORD HOLLY	6" HT.	B&B	AS SHOWN	15'-30'	EVERGREEN
15	<i>Juniperus scopulorum</i> 'Wichita Blue' / WICHITA BLUE JUNIPER	8" HT	B&B	AS SHOWN	10'-15'	EVERGREEN
16	<i>Lagerstromia indica</i> x <i>fauriei</i> 'Natchez' / NATCHEZ CRAPE MYRTLE	2" CAL	B&B	AS SHOWN	20'	TREE FORM
6	<i>Lagerstromia indica</i> 'Whit III' / DYNAMITE® CRAPE MYRTLE	2" CAL	B&B	AS SHOWN	15'-20'	TREE FORM
4	<i>Thuja plicata</i> / SPRING GROVE® WESTERN ARBORVITAE	2" CAL	B&B	AS SHOWN	20'	EVERGREEN
SHRUB						
18	<i>Hydrangea paniculata</i> 'Limelight' / 'LIMELIGHT' HYDRANGEA	6" HT.	B&B	AS SHOWN	15'-30'	EVERGREEN
4	<i>Thuja occidentalis</i> 'Art Boer' / NORTH POLE® ARBORVITAE	6" HT	B&B	AS SHOWN	10'-15'	EVERGREEN
21	<i>Prunus laurocerasus</i> 'Schipkaensis' / SCHIP LAUREL	2" HT		AS SHOWN	6'-10'	EVERGREEN

THE LANDSCAPE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS WITHOUT PRIOR APPROVAL FROM LANDSCAPE ARCHITECT

NO.	DATE	REVISIONS

DATE: 03/30/2023
SCALE: AS SHOWN
DRAWN BY: T-SQUARE
REVIEWER: CES

LANDSCAPE PLAN
5233 MCINTYRE RD.
KNOXVILLE, TENNESSEE

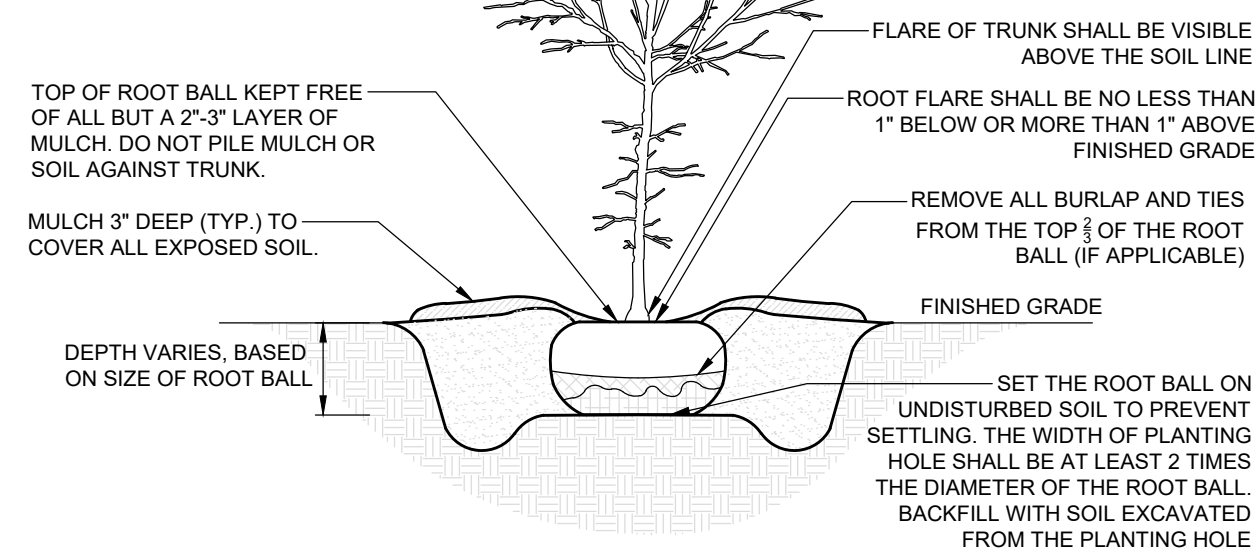


PROJECT
22-1224

SHEET
L-1.0

DO NOT CUT CENTRAL LEADER. PRUNE ONLY BROKEN BRANCHES APART FROM THE SHIPPING TWINE SO THEY NATURALLY HANG.

DO NOT PAINT ANY WOUNDS OR CUTS.



TREE PLANTING DETAIL

NOT TO SCALE

ALL PLANT MATERIAL TO MEET AMERICAN STANDARDS FOR NURSERY STOCK & ANSI Z60.1, LATEST EDITION STANDARDS.

24" RADIUS MULCH RING ON ALL PROPOSED TREES 8" DIA. MULCH RING IF IN LAWN. NO MULCH AT TRUNK.

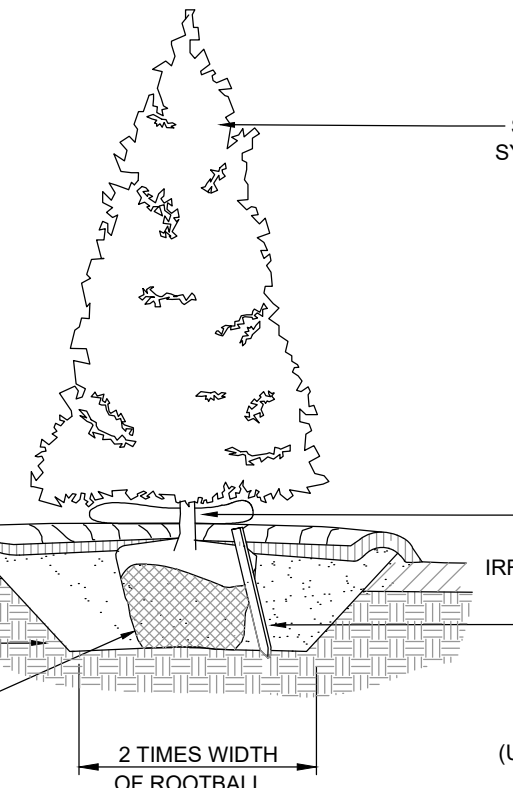
MIN. 3" MULCH DEPTH. CREATE MULCH RING JUST BEYOND DRIP LINE.

FINISHED GRADE

UNDISTURBED SOIL

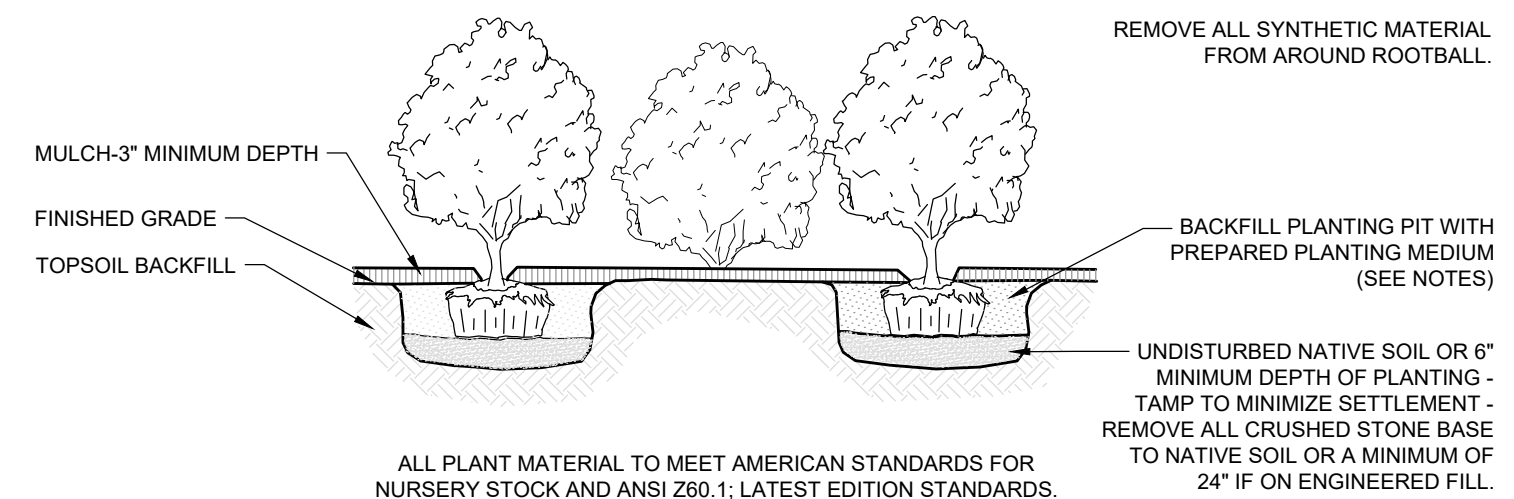
BACKFILL MIX, FREE OF TRASH & STONE

REMOVE ALL WIRE BASKETS & TWINE. CUT BURLAP IN 5 PLACES OR REMOVE. ROLL BURLAP AWAY FROM TRUNK.



EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE



ALL PLANT MATERIAL TO MEET AMERICAN STANDARDS FOR NURSERY STOCK AND ANSI Z60.1, LATEST EDITION STANDARDS.

SEE SPECIFICATION SECTION 32 9300: SHRUBS FOR PROPER INSTALLATION PROCEDURES AND PRODUCTS TO BE IMPLEMENTED DURING CONSTRUCTION PROCESS

SHRUB PLANTING IN GROUP DETAIL

NOT TO SCALE

GENERAL NOTES:

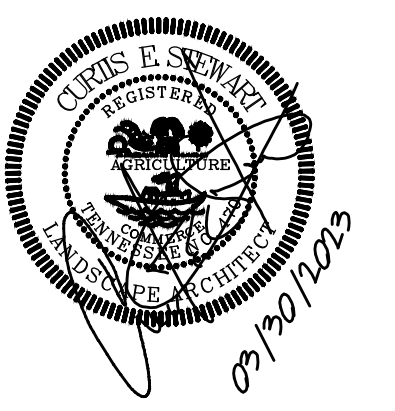
- UTILITY SERVICES MAY EXIST ON SITE. THE LOCATION OF ALL SURFACE AND UNDERGROUND UTILITIES, RIGHT-OF-WAYS, EASEMENTS, ETC., SHALL BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH SHOULD OCCUR TO THE SATISFACTION OF THE OWNER AND UTILITY COMPANIES. COMMENCEMENT OF PROJECT INSTALLATION INDICATES ACKNOWLEDGMENT OF AND ACCEPTANCE BY THE CONTRACTOR OF EXISTING CONDITIONS.
- ACTUAL AS-BUILT AND/OR EXISTING SITE CONDITIONS MAY VARY AS SHOWN ON THIS PLAN.
- DAMAGE BY CONTRACTOR TO UNDISTURBED AREAS OUTSIDE THE LIMITS OF CONSTRUCTION SHALL BE REPAIRED BY CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR CONDUCTING SITE INSPECTION PRIOR TO BIDDING WORK, TO DETERMINE SITE CONDITIONS AND AREAS TO BE IMPROVED. SUBMISSION OF BID INDICATES CONTRACTOR HAS VERIFIED SITE CONDITIONS AND PLANT MATERIAL QUANTITIES.
- FINAL ACCEPTANCE: THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE WILL PROVIDE THE FINAL INSPECTION. SHOULD THE INSPECTION FIND WORK INCOMPLETE, THE CONTRACTOR SHALL REMEDY THE DEFICIENCIES.
- IF THE SUBSTANTIAL COMPLETION OR FINAL INSPECTION REQUIRE REINSPECTION BY LANDSCAPE ARCHITECT DUE TO FAILURE OF WORK TO COMPLY WITH CONTRACTOR'S CLAIMS ON INITIAL INSPECTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATING THE LANDSCAPE ARCHITECT FOR REINSPECTION SERVICES AT THE RATE OF ONE HUNDRED DOLLARS (\$100) PER HOUR PER PERSON PLUS ALL RELATED TRAVEL EXPENSES FOR EACH REQUESTED REINSPECTION TRIP.
- AFTER FINAL ACCEPTANCE AND PRIOR TO END OF WARRANTY PERIOD, CONTRACTOR SHALL REPLACE ALL PLANT MATERIAL THAT HAS DIED OR HAS DEFECTS, INCLUDING UNSATISFACTORY GROWTH, IN THE OPINION OF THE OWNER.
- DURING LANDSCAPE INSTALLATION KEEP PAVEMENTS CLEAN AND WORK AREA IN ORDERLY CONDITION. THE PROJECT SITE SHALL BE LEFT IN A CLEAN CONDITION AT THE END OF EVERY WORK DAY.
- CONTRACTOR TO REPAIR ANY PAVEMENTS, CURBS, AND OTHER IMPROVEMENTS DAMAGED AS A RESULT OF LANDSCAPE INSTALLATION ACTIVITY
- STEEL EDGING AS INDICATED SHALL BE "RYERSON" STEEL EDGING OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S WRITTEN SPECIFICATIONS FOR THIS TYPE APPLICATION. COLOR: BLACK.
- ROCK MULCH SHALL BE 4" TO 12" ROUNDED ROCK, NATURAL SAND/TAN COLOR. TOP OF MULCH SHALL BE APPROXIMATELY AT SURROUNDING GRADE. INSTALL LANDSCAPE FABRIC UNDER ALL AREAS TO RECEIVE ROCK MULCH. INSTALL ROCK MULCH TO A DEPTH ADEQUATE TO COMPLETELY COVER VISUALLY. THE LANDSCAPE FABRIC.
- THE LOCATION OF ALL PLANT MATERIALS SHOWN ON THE PLAN SHALL BE FIELD LOCATED AND STAKED/FLAGGED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE BEFORE THE DIGGING OF PLANTING HOLES. PLANTING SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY THE LANDSCAPE ARCHITECT.
- PROVIDE ONLY PLANTS THAT ARE FREE FROM DISEASES AND PESTS, AND THAT COMPLY WITH THE LATEST EDITION OF PUBLICATION ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN. DIMENSIONS FOR HEIGHTS, SPREAD, AND TRUNK SPECIFIED ON THE MATERIAL SCHEDULE IS A GENERAL GUIDE FOR THE MINIMUM DESIRED SIZE OF EACH PLANT.
- DO NOT MAKE SUBSTITUTIONS REGARDING PLANT SIZES OR SPECIES WITHOUT WRITTEN PERMISSION FROM THE OWNER OR LANDSCAPE ARCHITECT.
- REMOVE ALL METAL BASKETS, STRINGS AND OTHER TIES FROM TREES.
- FERTILIZE ALL PLANTS WITH 16-16-16 SLOW RELEASE FERTILIZER AT THE RATE OF: 3 POUNDS PER CUBIC YARD OF SOIL MIX. 3 POUNDS PER 100 SF OF BED FOR SHRUBS AND GROUND COVER.
- PLANTS DESIGNATED "B&B" IN THE PLANT LIST SHALL BE BALLED AND BURLAPPED. THEY SHALL BE DUG WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. BALLS SHALL BE FIRMLY WRAPPED WITH BURLAP OR SIMILAR MATERIAL AND BOUND WITH TWINE OR CORD.
- ONLY "HEMP" BURLAP AND TWINE SHALL BE USED. NO TREATED OR PRESERVED BURLAP OR TWINE IS ALLOWED. ALL HEMP TWINE ATTACHED TO THE TREE TRUNK IS TO BE REMOVED AFTER PLANTING. AT A MINIMUM THE TOP ONE-THIRD OF THE ROOT BALL IS TO HAVE ALL BURLAP AND TWINE REMOVED. IF ROOTS ARE GIRDLING OR CIRCLING THEY MUST BE LOOSENEED OR CUT.
- THE BALLS OF "B&B" PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE COVERED WITH MOIST SOIL OR MULCH, OR OTHER PROTECTION FROM DRYING WINDS AND SUN. ALL PLANTS INSTALLED OR STORED SHALL BE WATERED BY CONTRACTOR AS NECESSARY UNTIL FINAL ACCEPTANCE.
- FOLD DOWN OR CUT THE BURLAP FROM THE TOP 1/3 OF THE BALL OR TO THE WIDEST TOP EDGE OF THE BALL IN ORDER TO EXPOSE THE TOP PLANE OF THE BALL. REMOVE ALL NAILS, STAPLES, ETC USED TO HOLD THE BALL TOGETHER.
- TREE BALLS SHALL HAVE A MINIMUM DIAMETER IN FEET EQUAL TO 10" FOR EACH CALIPER INCH OF THE TREE.
- ALL PLANTS SHALL BE HANDLED SO THAT ROOTS ARE ADEQUATELY PROTECTED AT ALL TIMES. DURING SHIPMENT, THE ENTIRE PLANT SHALL BE PROTECTED BY TARPULINS OR OTHER SUITABLE COVERING. PLANT MATERIAL SUFFERING FROM WIND BURN OR OTHER WIND DAMAGE IS NOT ACCEPTABLE.
- NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT DAMAGES THE BARK, BREAKS BRANCHES, OR DESTROYS ITS NATURAL SHAPE. NO PLANT MATERIAL REQUIRED TO BE BALLED AND BURLAPPED SHALL BE ACCEPTED IF THE BALL IS CRACKED OR BROKEN EITHER BEFORE OR DURING THE PROCESS OF PLANTING, OR WHEN REQUIRED BURLAP, STAVES, ROPES OR PLATFORM HAVE BEEN REMOVED.
- ANY SERIES OF TREES OR SHRUBS TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY BY THE OWNER. ANY PLANTS INCORRECTLY ARRANGED SHALL BE RELOCATED WITH THE OWNER'S APPROVAL.
- PRE-EMERGENT HERBICIDE (TRIFLURALIN OR EQUIVALENT) SHALL BE APPLIED (ACCORDING TO MANUFACTURER'S INSTRUCTIONS) TO ALL PLANT BEDS, PRIOR TO PLANTING, FOR NOXIOUS WEED CONTROL.
- ALL PLANTING BEDS AND TREE AND SHRUB PLANTINGS SHALL RECEIVE A MINIMUM 3" DEEP SHREDDED HARDWOOD MULCH LAYER.
- CONTRACTOR IS RESPONSIBLE FOR THE WATERING AND MAINTENANCE OF ALL INSTALLED PLANT MATERIAL, INCLUDING GRASS AREAS, UNTIL FINAL ACCEPTANCE BY OWNER. WATER ALL PLANT MATERIAL AT TIME OF PLANTING.
- ALL PLANT MATERIAL IS TO BE GUARANTEED FOR ONE (1) YEAR. GUARANTEE PERIOD STARTS FROM DATE OF FINAL ACCEPTANCE.
- OWNER RETAINS THE RIGHT TO INSPECT TREES AND SHRUBS FOR SIZE AND CONDITION OR ROOT BALL, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED MATERIAL IMMEDIATELY FROM THE PROJECT SITE.
- REPLACEMENTS SHALL CLOSELY MATCH ADJACENT SPECIMENS OF THE SAME SPECIES AND SHALL CONFORM TO THE STANDARDS FOR PLANT MATERIALS SPECIFIED. ALL REPLACED MATERIAL SHALL IMMEDIATELY BE REMOVED FROM THE SITE AND ALL NECESSARY REPAIRS TO PLANTS, GRADES, LAWN AREAS, PAVING, AND OTHER AREAS DAMAGED DURING REPLACEMENT SHALL BE MADE AT NO COST TO THE OWNER.
- ONLY ONE REPLACEMENT PER TREE, SHRUB, OR PLANT WILL BE REQUIRED AT THE END OF THE WARRANTY PERIOD, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.

2-SB-23-C
Revised: 3/30/2023

NO.	DATE	REVISIONS

PLANTING DETAILS AND NOTES

5233 MCINTYRE RD.
KNOXVILLE, TENNESSEE



PROJECT
22-1224

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