



**PRELIMINARY
NOT FOR
CONSTRUCTION**

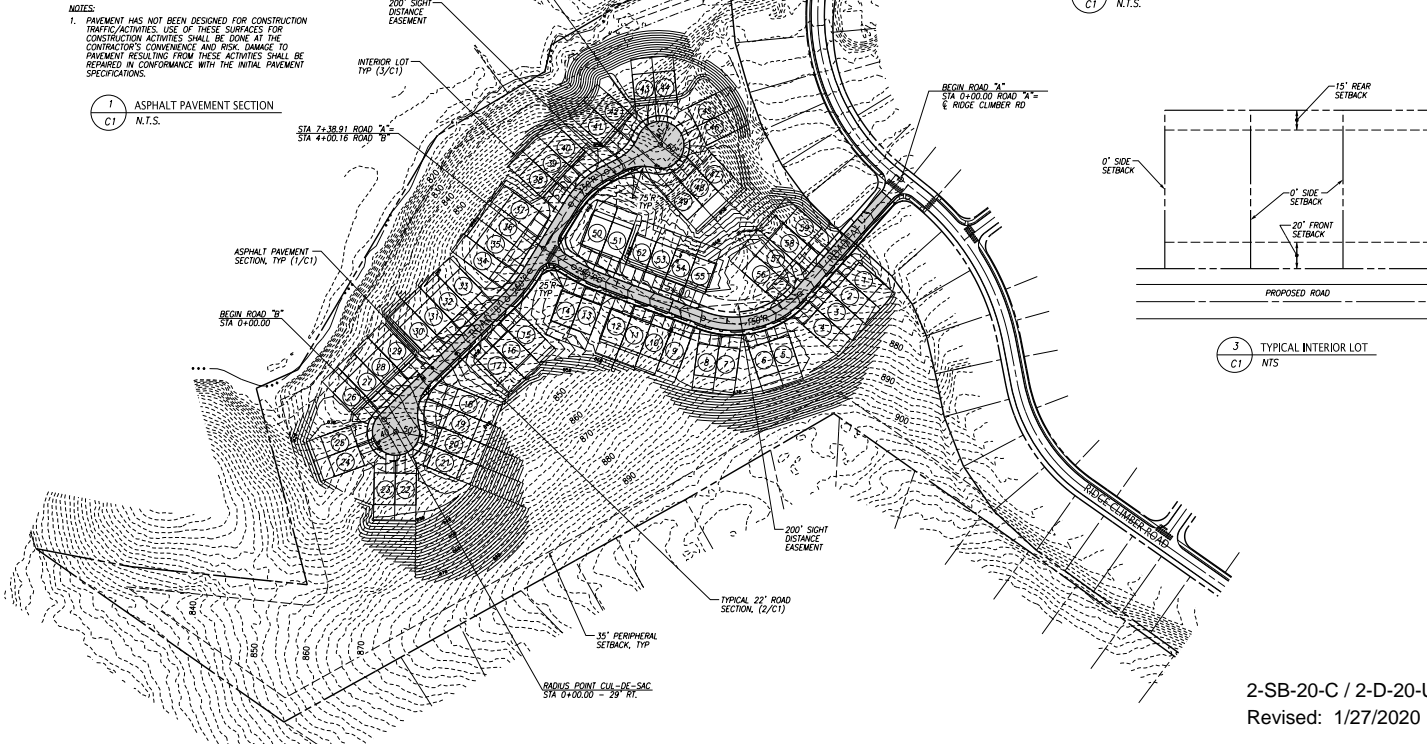
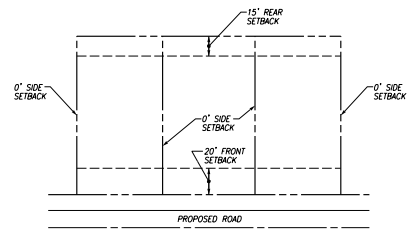
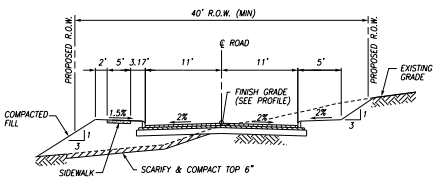
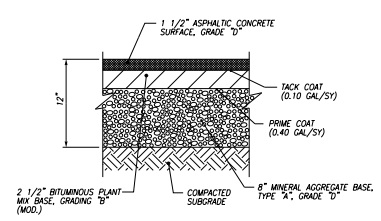
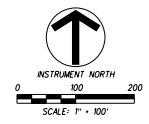
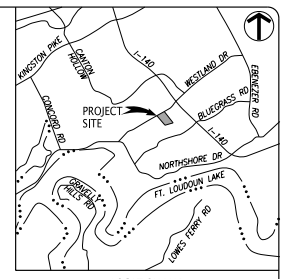
WESTLAND OAKS UNIT 3
9900 WESTLAND DRIVE
KNOXVILLE, TENNESSEE 37922

MESANA INVESTMENTS, LLC
P.O. BOX 1116
KNOXVILLE, TN 37939
CONTACT: MR. SCOTT DAVIS
TELEPHONE NO.: 865.693.3356
EMAIL: swd444@gmail.com

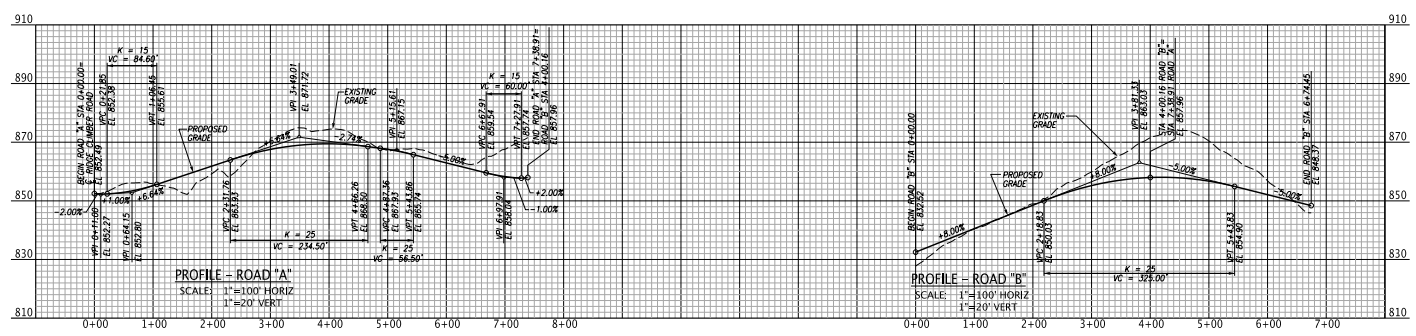
CONCEPT PLAN

PROJ. NO.	ISSUED BY	DATE	REVISION/ISSUE
525.004.2	WCF	07/27/20	REVISED PER PLANNING STAFF COMMENTS
	WCF	07/16/20	ADDED PROPOSED CONTOURS
	WCF	12/23/19	ISSUED CONCEPT PLAN FOR REVIEW

Project: 525.004.2
Date: 12/13/19
Scale: 1"=100'
C1



2-SB-20-C / 2-D-20-UR
Revised: 1/27/2020



- GENERAL NOTES:**
- THE TOPOGRAPHIC & BOUNDARY DATA WAS TAKEN FROM RECENT EXISTING CONTOURS ARE AT 2-FT. INTERVALS.
 - PROPERTY CONCERNED REFLECTS PARCEL 154.002 AS SHOWN IN KNOX COUNTY CLY MAP 154. ZONING FOR THE PROPERTY IS PL. PLANNED RESIDENTIAL ZONE. TOTAL AREA = 19.2 AC.
 - OWNER: MESANA INVESTMENTS, LLC
P.O. BOX 11315
KNOXVILLE, TN 37939
 - ACCESS TO LOTS IS RESTRICTED TO INTERNAL STREETS.
 - PROPOSED IMPROVEMENTS INCLUDE 22' WIDE PUBLIC ROAD, EXTRUDED CURB, STORM SEWER, SANITARY SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE TV.
 - THE PROPOSED DENSITY IS 59 DU/19.2 AC = 3.07 DU/AC.
 - PLANNING COMMISSION CASE NUMBER: 2-SB-20-C/2-D-20-UR

- VARIANCE REQUESTS:**
- REDUCE MINIMUM HORIZONTAL CURVE RADIUS FROM 250-FT. TO 150-FT. FOR ROAD "A" FROM STA 2+480.76 TO STA 4+41.41.
 - REDUCE MINIMUM HORIZONTAL CURVE RADIUS FROM 250-FT. TO 150-FT. FOR ROAD "B" FROM STA 4+488.82 TO STA 5+2.12.

- UTILITY OWNERS:**
- WATER & SEWER**
FIRST UTILITY DISTRICT (FUD)
122 BURNWOOD ROAD
KNOXVILLE, TN 37922
CONTACT: MR. TROY WEDDING
OFFICE PHONE: 865.772.504
- ELECTRIC**
LENOIR CITY UTILITY BOARD (LCUB)
P.O. BOX 448
LENOIR CITY, TN 37771
CONTACT: MR. JAY HINES
OFFICE PHONE: 865.986.6591
- GAS**
KNOXVILLE UTILITIES BOARD (KUB)
P.O. BOX 59017
KNOXVILLE, TN 37909-8017
CONTACT: MR. CHRIS MCCORMACK
OFFICE PHONE: 865.558.2123
- TELEPHONE**
AT&T
9733 PARKSIDE DRIVE
KNOXVILLE, TN 37922
CONTACT: MS. WENDY DALLY
OFFICE PHONE: 865.539.8571

ENGINEERING CERTIFICATION:

I HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER, LICENSED TO PRACTICE ENGINEERING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THIS PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-MOORE COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED AND DESCRIBED IN A REPORT FILED WITH THE METROPOLITAN PLANNING COMMISSION.

REGISTERED ENGINEER: WILLIAM C. FULGHUM, JR., P.E.
TENNESSEE CERTIFICATE NO. 0102940

- LEGEND:**
- PROPOSED ASPHALT PAVEMENT
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED LOT NUMBER
 - PROPOSED PROPERTY/ROW LINE
 - EXISTING PROPERTY LINE
 - PROPOSED ROAD CENTER LINE
 - EXISTING CONTOUR
 - 890 PROPOSED CONTOUR
 - 890 PROPOSED CONTOUR
 - LIMITS OF DISTURBANCE

File Name: I:\2020\2020-05-20\2020\Concept Plan\20200520.dwg
Plot Date: 1/27/2020

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