

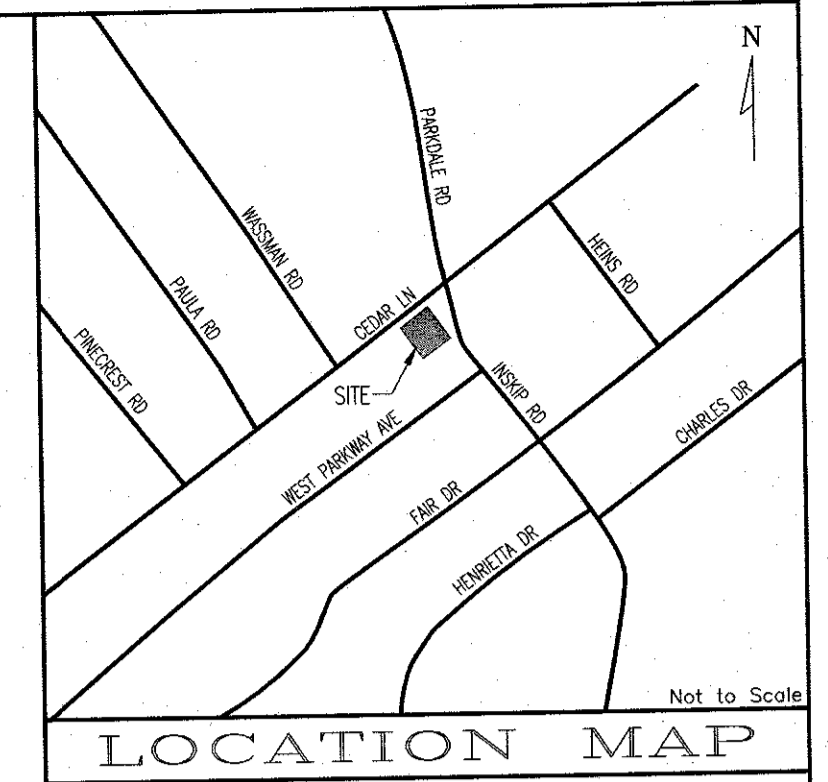
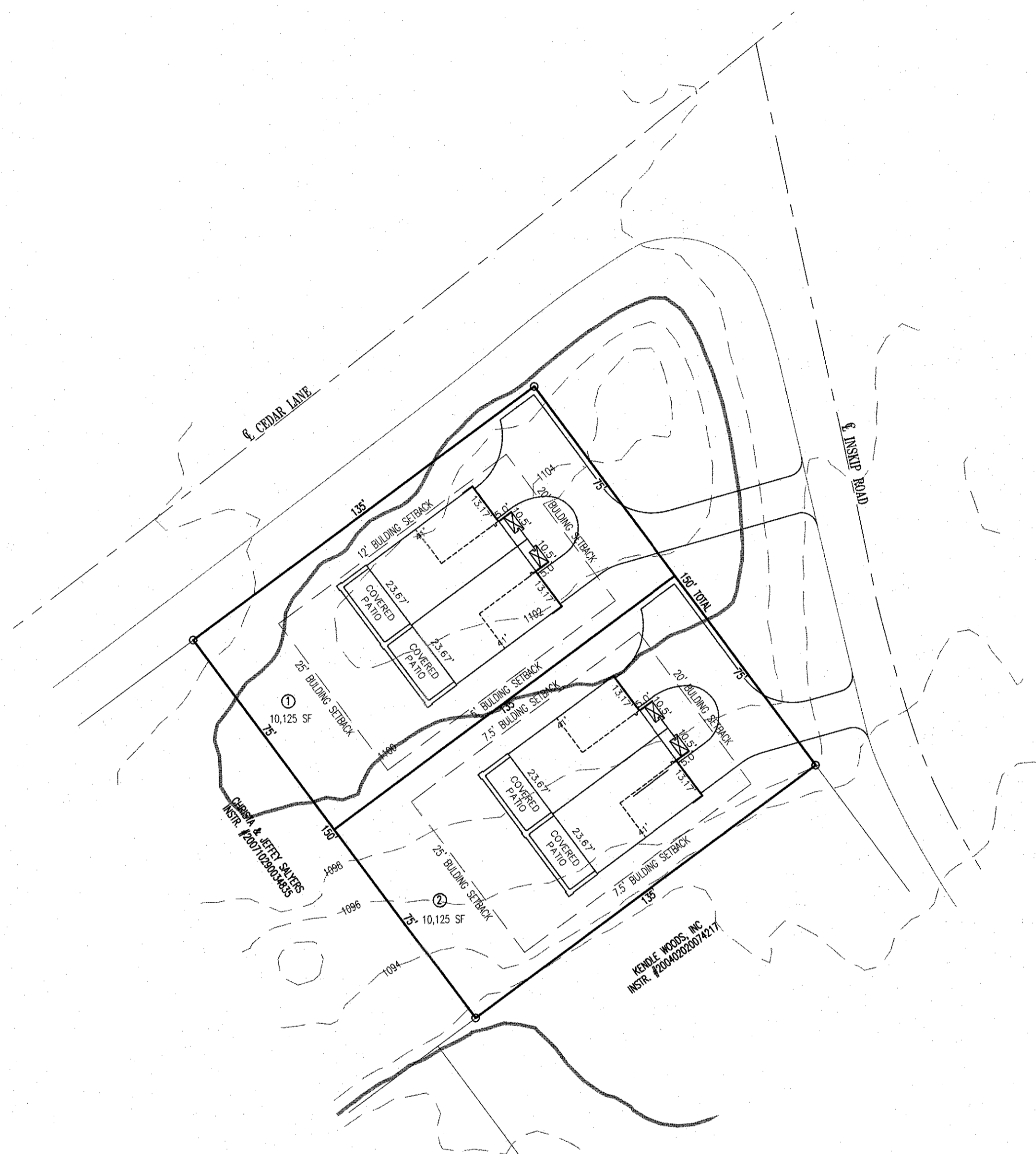
NOTE:
THREE DAYS PRIOR TO ANY FARTHWORK
OR CONSTRUCTION CONTRACTOR MUST
CONTACT:
TENNESSEE ONE-CALL
1-800-351-1111
RECORD AND SAVE YOUR CONFIRMATION
NUMBER.

NOTE:
CONTRACTOR TO NOTIFY ENGINEER
BEFORE START OF CONSTRUCTION

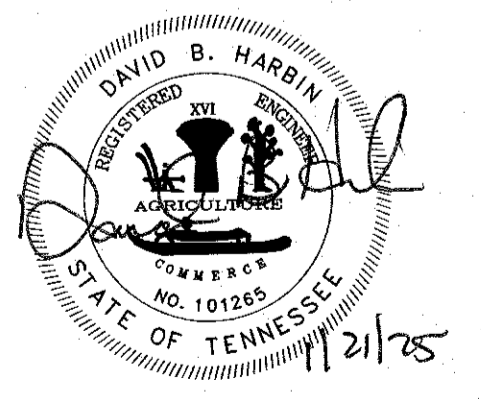
NOTE:
CONTRACTOR IS RESPONSIBLE FOR
ALL TRENCH SAFETY

CONTRACTOR SHALL SHORE AND
BRACE ALL OPEN CUT TRENCHES AS
REQUIRED BY STATE AND FEDERAL
LAWS AND LOCAL ORDINANCES; TO
CONFORM WITH RECOMMENDATIONS
SET FORTH IN AGC MANUAL OF
ACCIDENT PREVENTION IN
CONSTRUCTION; TO PROTECT LIFE,
PROPERTY, OR WORK; TO AVOID
EXCESSIVELY WIDE CUTS IN
UNSTABLE MATERIAL.

OSHA RULES SHALL BE ABIDED BY.



- NOTES:
- ALL DIMENSIONS ARE SCALED AND SUBJECT TO CHANGE ON THE FINAL PLAT.
 - A 10' DRAINAGE, UTILITY AND CONSTRUCTION EASEMENT EXISTS INSIDE ALL EXTERIOR LOT LINES AND ROAD LINES, 5' EACH SIDE OF INTERIOR ROAD LINES.
 - A 15' UTILITY EASEMENT EXISTS 7.5' EACH SIDE OF CENTERLINE OF SANITARY SEWER AS INSTALLED.
 - THIS PROPERTY CONTAINS APPROXIMATELY 20,250 SF SUBDIVIDED INTO 2 DUPLEX LOTS.
 - THIS PROPERTY IS ZONED RN-2.
 - ALL ROAD PROFILES ARE BASED ON LIDAR CONTOURS.
 - UTILITIES:
WATER: KNOXVILLE UTILITIES BOARD
SEWER: KNOXVILLE UTILITIES BOARD
ELECTRIC: KNOXVILLE UTILITIES BOARD
GAS: KNOXVILLE UTILITIES BOARD
TELEPHONE: BELL SOUTH
 - BUILDING SETBACKS ARE AS FOLLOWS:
FRONT- 20'
SIDE- 5' (15' COMBINED)
12' CORNER SETBACK
REAR- 25'
 - EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON AVAILABLE INFORMATION. CONTRACTOR IS RESPONSIBLE TO FIELD LOCATE ALL UTILITIES, BOTH HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION.
 - BUILDING COVERAGE LOT 1 = 2,068/10,125=20.4%
LOT 2 = 2,068/10,125=20.4%
 - IMPERVIOUS SURFACE LOT 1 = 4,026/10,125=39.8%
LOT 2 = 4,026/10,125=39.8%



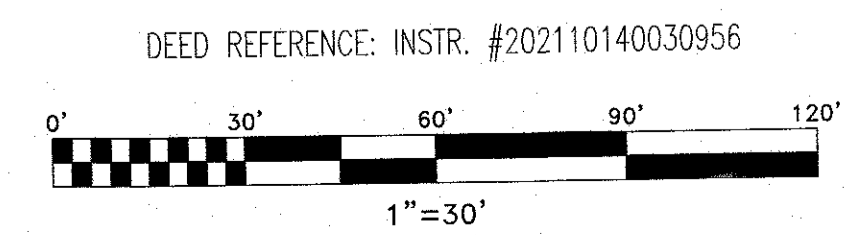
OWNER/DEVELOPER
JEFF WILLIAMS
8941 LINKSVIEW DR.
KNOXVILLE, TN 37922
PHONE:(865) 389-0788

2-E-25-SU rev 1.22.2025

BATSON, HIMES, NORVELL & POE
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE: (865) 588-6472
FAX: (865) 588-6473
email@bhn-p.com

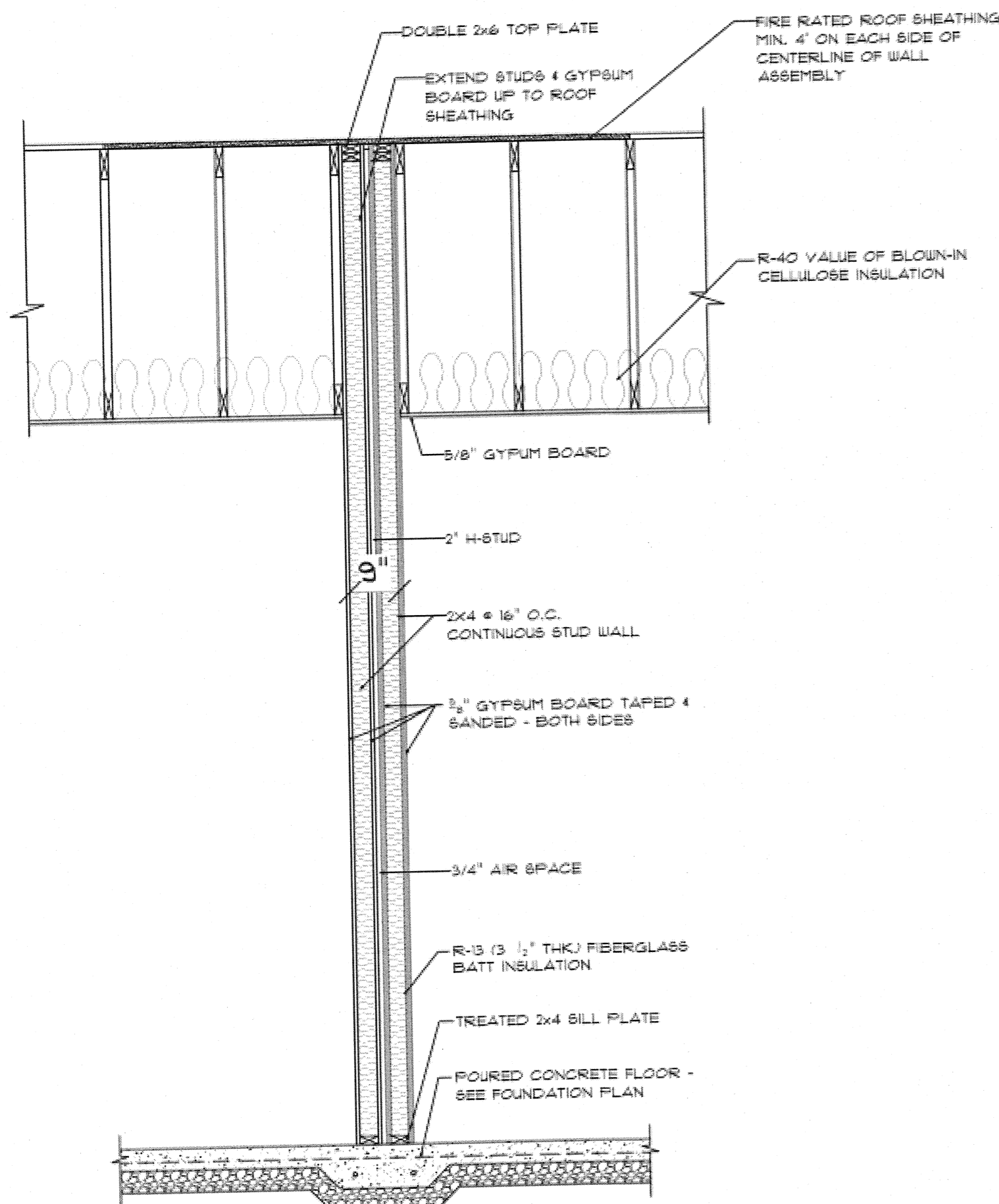
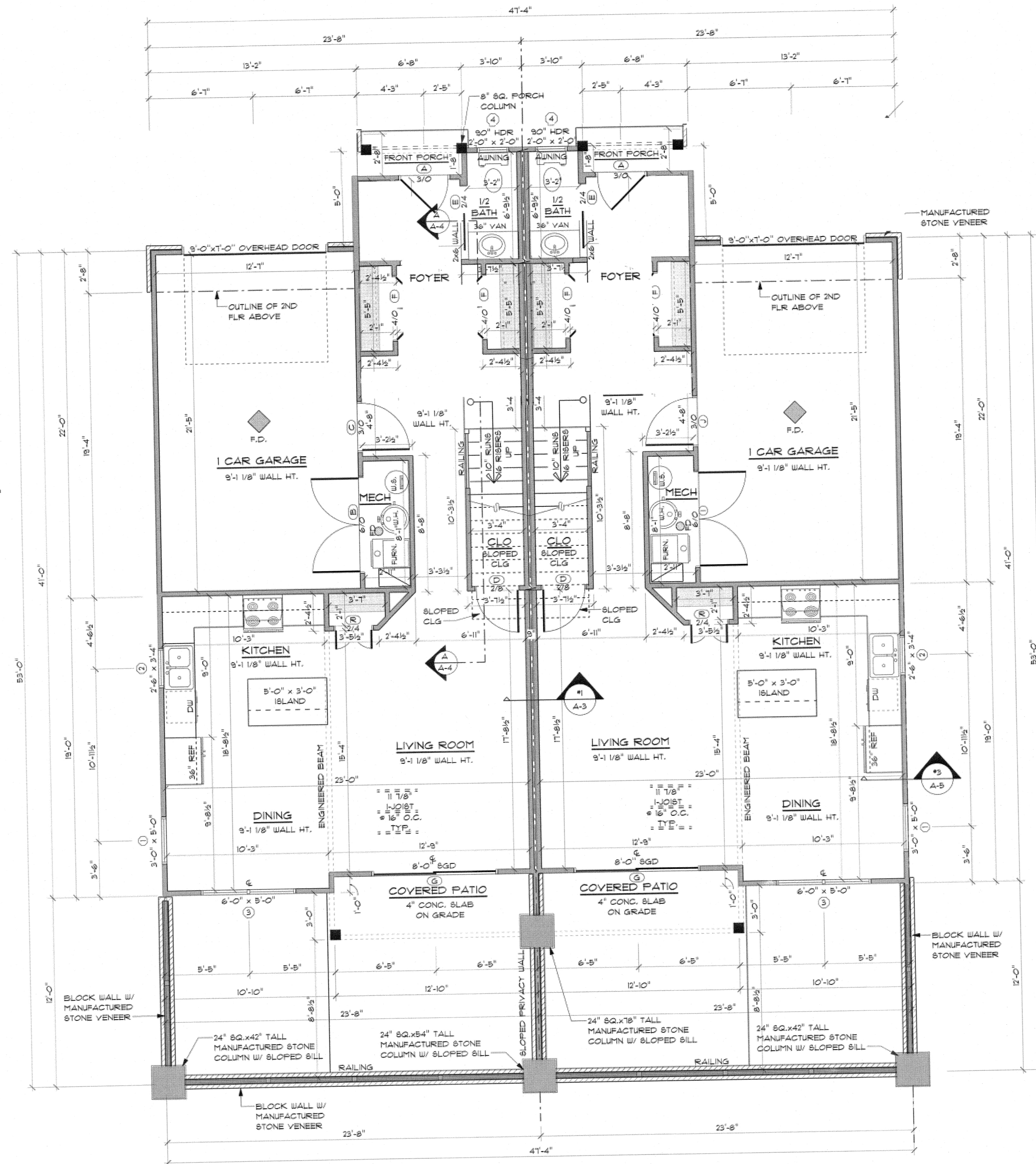
DESIGNED	DBH	DATE	REVISION	APPR.	NO.	DATE	REVISION	APPR.
DRAWN	TPD							
CHECKED	DBH	1-16-25	KKCP COMMENTS					
		NO.	DATE	REVISION	APPR.	NO.	DATE	REVISION

SCALE
1" = 30'
DATE
12/23/24



SITE PLAN FOR
JEFF WILLIAMS ON INSKIP ROAD
TAX MAP 69AC, PARCEL 15
38TH WARD, CITY BLOCK 38720, KNOXVILLE, TENNESSEE

25693-SP
SHEET 1 OF 1 SHEET(S)
Q:\25693\25693-SP.DWG



1 FIREWALL SECTION
 A-3 SCALE: 1/2" = 1'-0"

CASEMENT WINDOWS EXCEPT WHERE NOTED

OPENING SCHEDULE				
TYPE	COUNT	OPENING ID	WIDTH	HEIGHT
WINDOW	2	1	3'-0"	5'-0"
WINDOW	2	2	2'-6"	3'-4"
WINDOW	8	3	6'-0"	5'-0"
WINDOW	2	4	2'-0"	2'-0"
WINDOW	6	5	2'-6"	4'-0"
DOOR	2	A	3'-0"	6'-8"
DOOR	1	B	6'-0"	6'-8"
DOOR	1	C	3'-0"	6'-8"
DOOR	6	D	2'-8"	6'-8"
POCKET	6	E	2'-4"	6'-8"
DOOR	6	F	4'-0"	6'-8"
SLIDING DOOR	2	G	8'-0"	6'-8"
DOOR	1	I	6'-0"	6'-8"
DOOR	1	J	3'-0"	6'-8"
POCKET	2	L	3'-0"	6'-8"
DOOR	4	M	3'-0"	6'-8"
DOOR	2	N	2'-6"	6'-8"
DOOR	2	O	2'-0"	6'-8"
DOOR	2	P	2'-4"	6'-8"
DOOR	2	R	2'-4"	6'-8"

GENERAL NOTES:

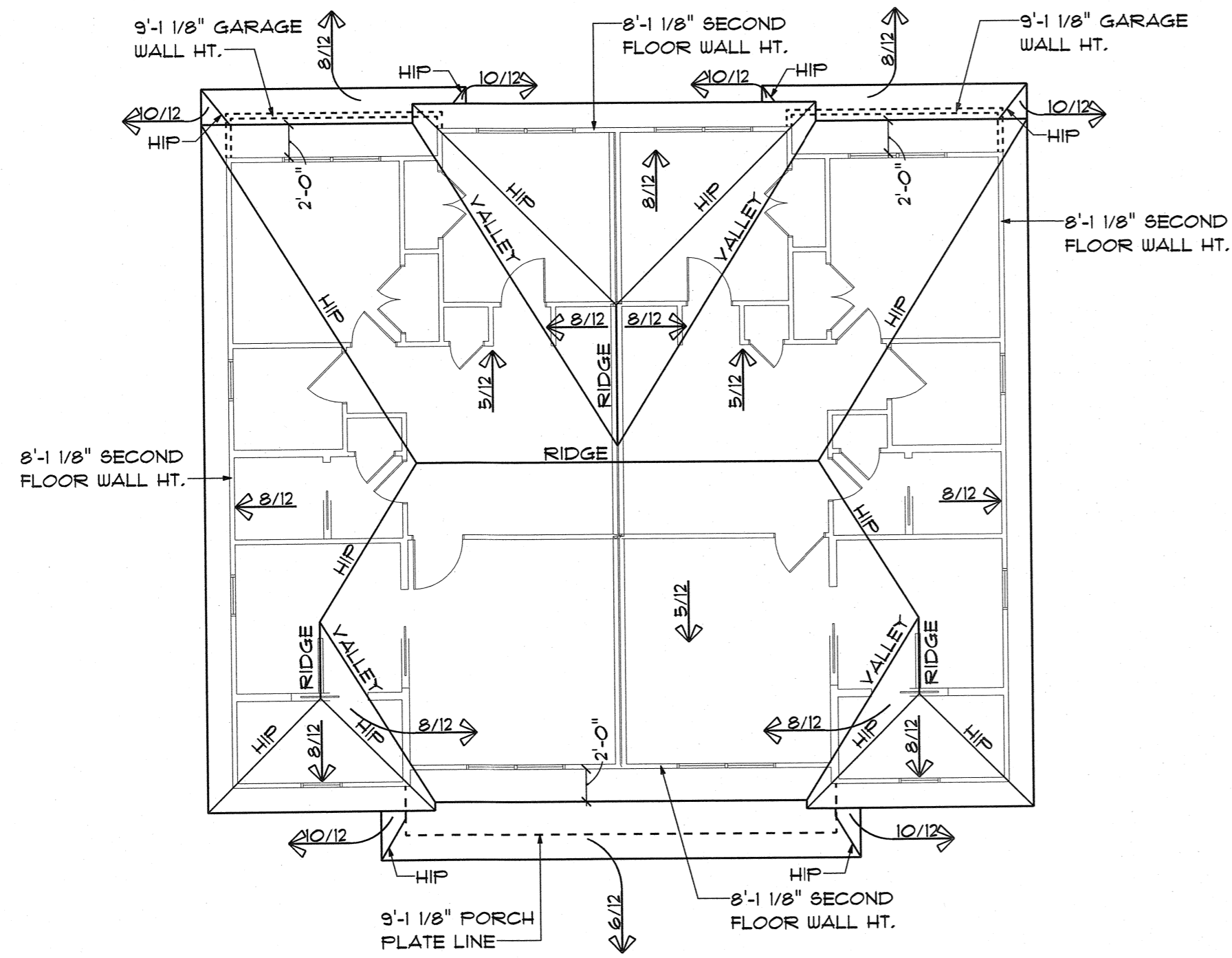
- ALL DIMENSIONS TO FACE OF STUD WALL.
- ALL ANGLED WALLS ASSUMED TO BE 45 DEGREES UNLESS OTHERWISE INDICATED.
- ALL WOOD FRAMING IN DIRECT CONTACT WITH CONCRETE OR MASONRY TO BE TREATED.
- ALL EXTERIOR WALLS TO BE 2x6 (3 1/2") UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS TO BE 2x4 (3 1/2") UNLESS NOTED OTHERWISE. GARAGE WALLS TO BE 2x4 (3 1/2").
- ALL CONSTRUCTION TO BE AS REQUIRED BY THE INDIANA RESIDENTIAL CODE (IRC) THAT IS CURRENTLY IN EFFECT IN INDIANA.
- THESE PLANS ARE INTENDED TO SHOW GENERAL DESIGN ONLY. THE FINAL LAYOUT AND DETAIL OF THESE DRAWINGS ARE THE RESPONSIBILITY OF CONTRACTOR AND/OR HOMEOWNERS AND SHOULD BE VERIFIED TO BE CORRECT PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES OR ERRORS FOUND IN THE PLANS TO BE REPORTED TO THE DESIGNER AND APPROPRIATE PLANS TO BE RE-ISSUED IF NECESSARY.
- ALL GRADE LINES SHOWN ARE ESTIMATES OF THE FINAL GRADE AND ARE SCHEMATIC ONLY.
- STAIR RISE & RUN CALCULATIONS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL FLOOR TO FLOOR MEASUREMENTS BEFORE COMMENCEMENT OF STAIRWAY FRAMING.
- VERIFY SIZE AND ALL ROUGH OPENINGS REQUIRED FOR THE FIREPLACE IF REQUIRED BEFORE FRAMING.
- ALL ROOM DIMENSIONS SHOWN DURING THE PRELIMINARY PLAN PHASE ARE TO BE CONSIDERED ROUGH DIMENSIONS AND NOT A REFLECTION OF THE FINAL ROOM SIZES.
- NOT ALL HEAD HEIGHTS SHOULD BE CHANGED IF REQUIRED FOR PROPER ROOF CLEARANCE.
- NOT ALL FRAMING BEAMS HAVE BEEN LOCATED OR VERIFIED. LOCATION AND SIZING OF THOSE BEAMS TO BE PERFORMED BY A QUALIFIED INDIVIDUAL PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY LOCATIONS OF ALL BEARING POINTS AND THICKEN ALL FLOOR SLABS AND OR FOUNDATIONS AS REQUIRED TO MEET BEARING REQUIREMENTS.
- CONTRACTOR TO IDENTIFY ALL LOAD BEARING WALLS AND THICKEN BASEMENT SLABS APPROPRIATELY.
- PROPER FROST PROTECTION TO BE MAINTAINED. ADJUST ALL WALLS AND OR FOOTINGS TO MAINTAIN FROST PROTECTION.

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

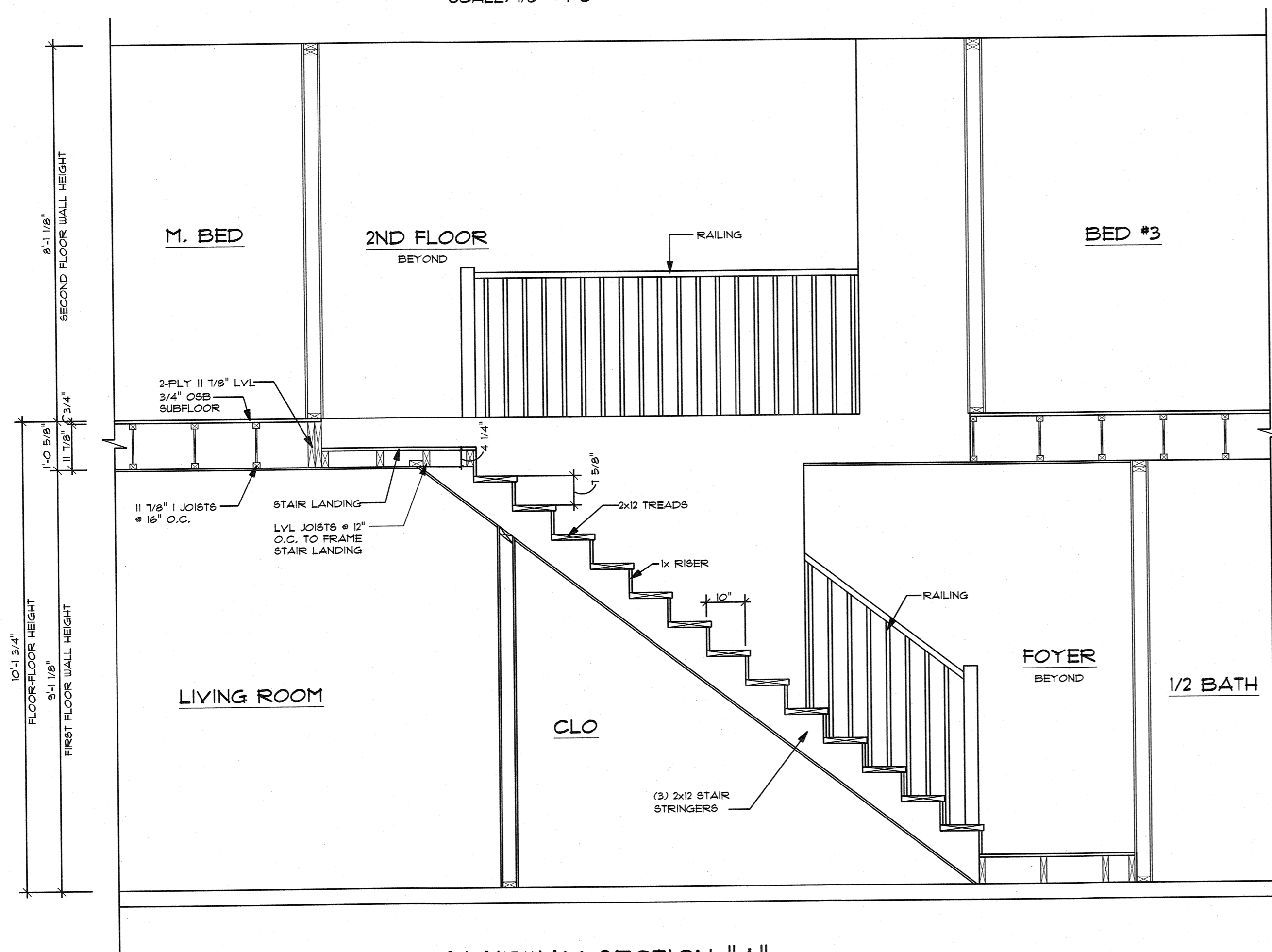
AREA SCHEDULE		EACH UNIT
NAME	AREA	
FIRST FLOOR	652 sq ft.	
SECOND FLOOR	909 sq ft.	
GARAGE	279 sq ft.	
FRONT PORCH	11 sq ft.	
COVERED PATIO	50 sq ft.	
TOTAL 1ST FLOOR W/ GARAGES	1825 sq ft.	
TOTAL SECOND FLOOR AREA	1825 sq ft.	
TOTAL		3650

ROOF NOTES:

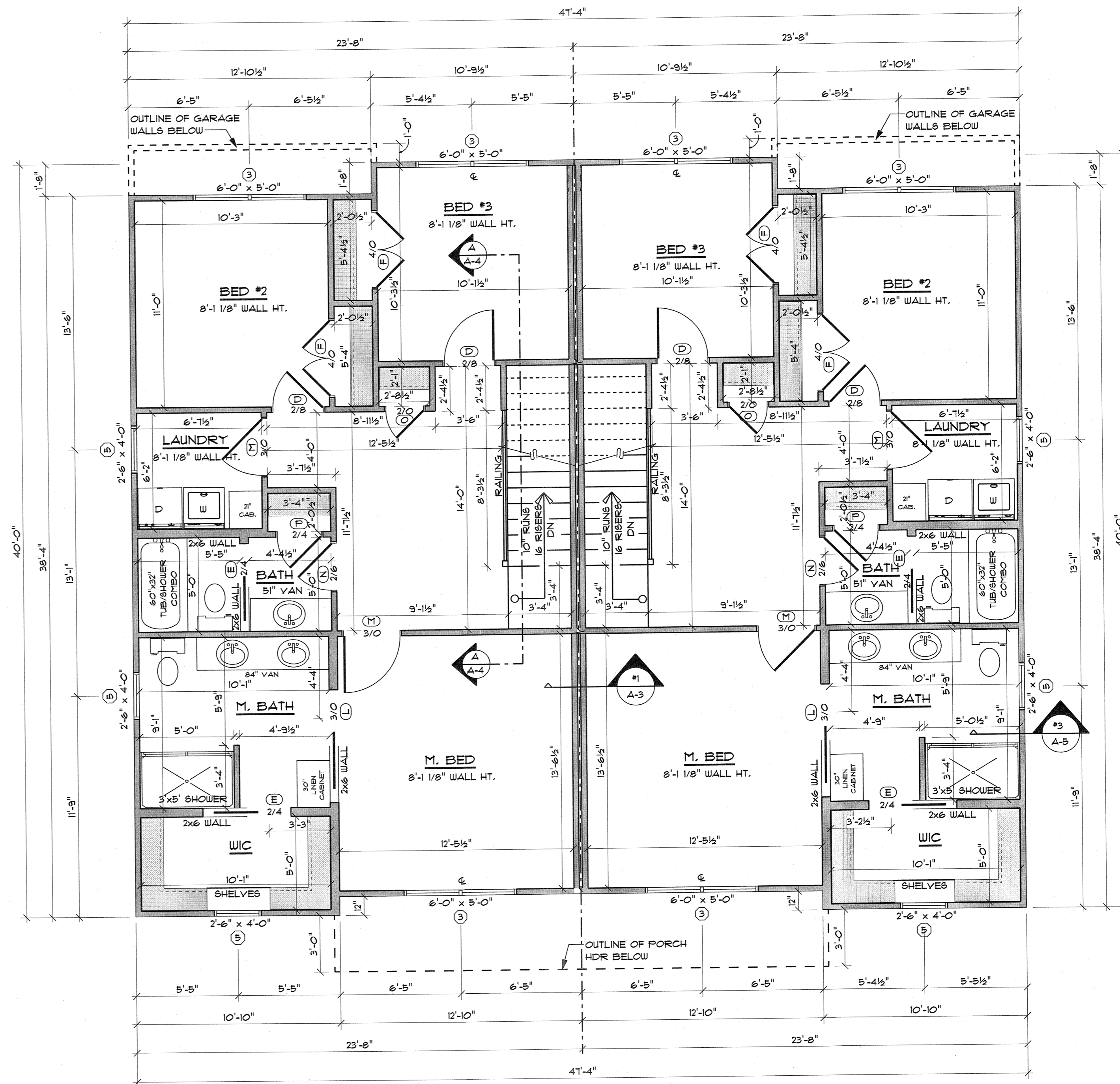
1. ALL EAVE OVERHANGS TO BE 18" UNLESS NOTED OTHERWISE.
2. ALL GABLE OVERHANGS TO BE 18" UNLESS NOTED OTHERWISE.
3. ALL OVERHANGS DIMENSIONED FROM THE EXTERIOR WALL FRAMING.
4. CHANGE HEEL HEIGHTS, BEAM HEIGHTS, WALL HEIGHTS, AND/OR OVERHANG DEPTHS WHERE DIFFERING ROOF PITCHES ARE USED.
5. ASSUME 5" HEEL HEIGHT, UNLESS NOTED OTHERWISE.



ROOF PLAN
SCALE: 1/8" = 1'-0"



STAIRWAY SECTION "A"
SCALE: 1/2" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT DETAILS

WINDOWS:	BRAND TBD
FOUNDATION:	CONCRETE SLAB
EXTERIOR WALLS:	2x4
GARAGE WALLS:	2x4
INTERIOR WALLS:	2x4
FIRST FLOOR:	9'-1 1/8"
SECOND FLOOR:	8'-1 1/8"

CUSTOM HOME DESIGNS, LLC
1120 S. 50 E.
COLUMBIA CITY, IN 46725
(260) 244-5851
WWW.CHD-LLC.COM

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SECOND FLOOR & ROOF PLAN

PLAN #23283

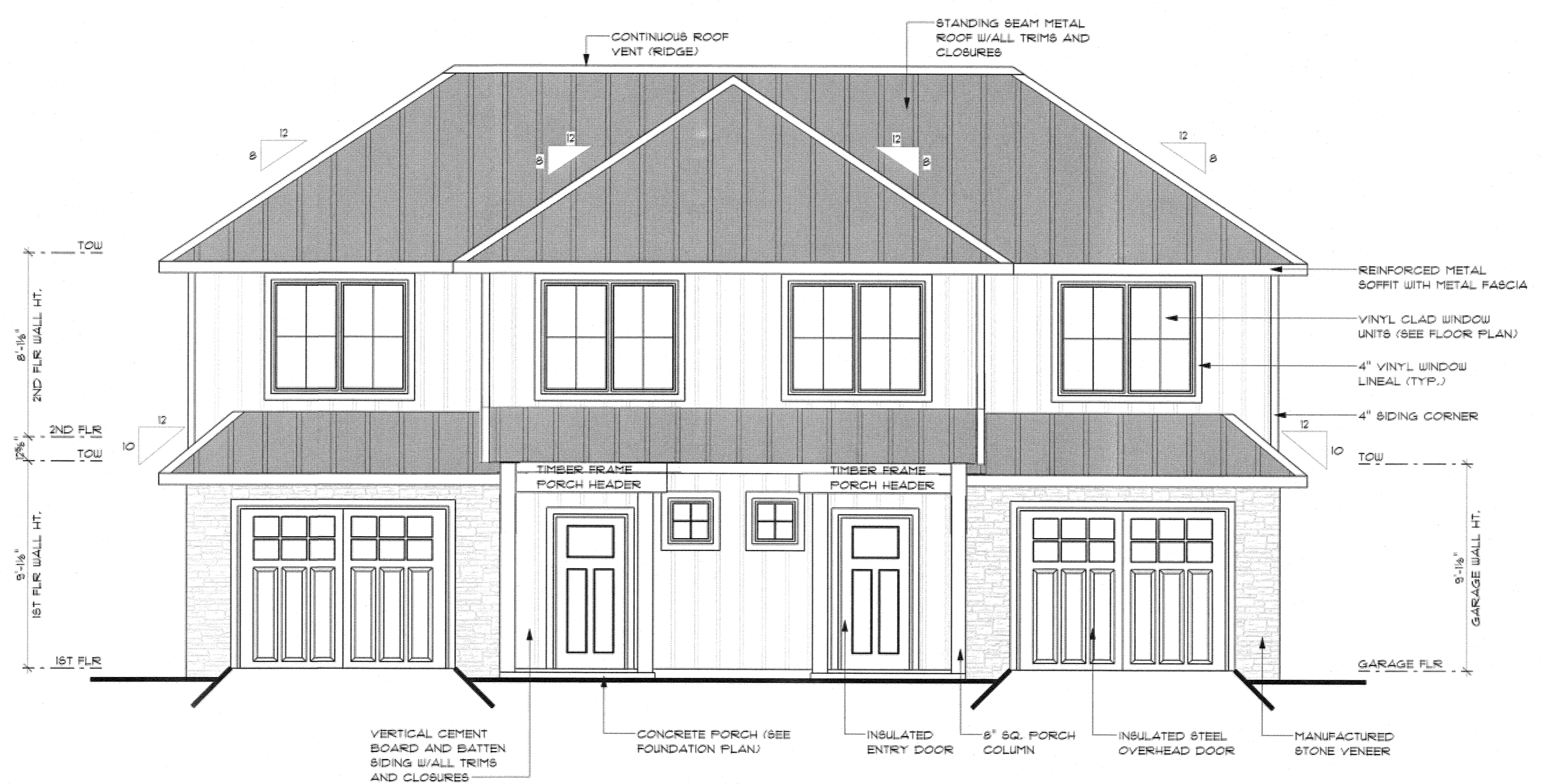
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PROJECT: 23283
PRINT DATE:
8/13/2024
PAPER: ARCH D
SIZE: 24" x 36"

A-4

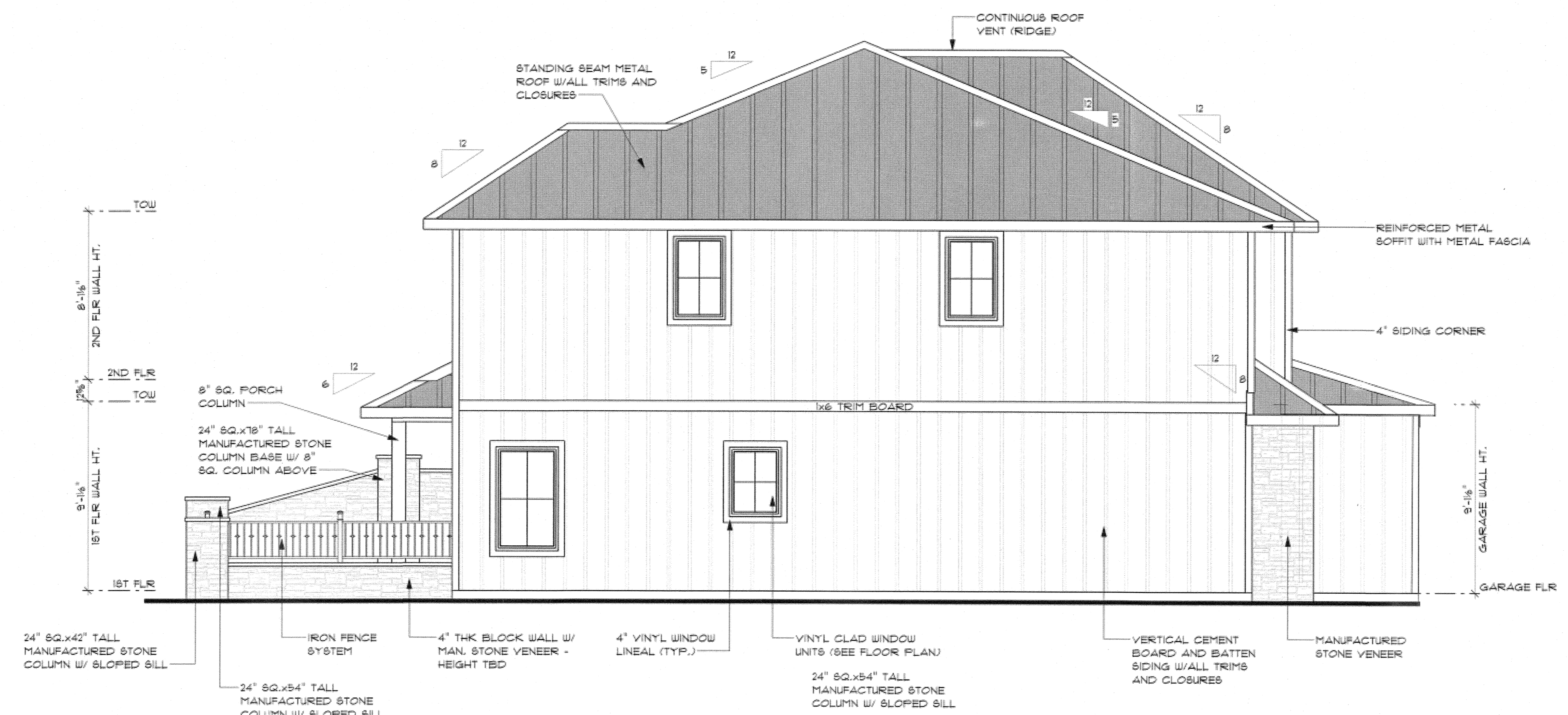
PROJECT DETAILS	
WINDOWS:	BRAND TBD
FOUNDATION:	CONCRETE SLAB
EXTERIOR WALLS:	2x4
GARAGE WALLS:	2x4
INTERIOR WALLS:	2x4
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FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

ELEVATIONS
PLAN #23283

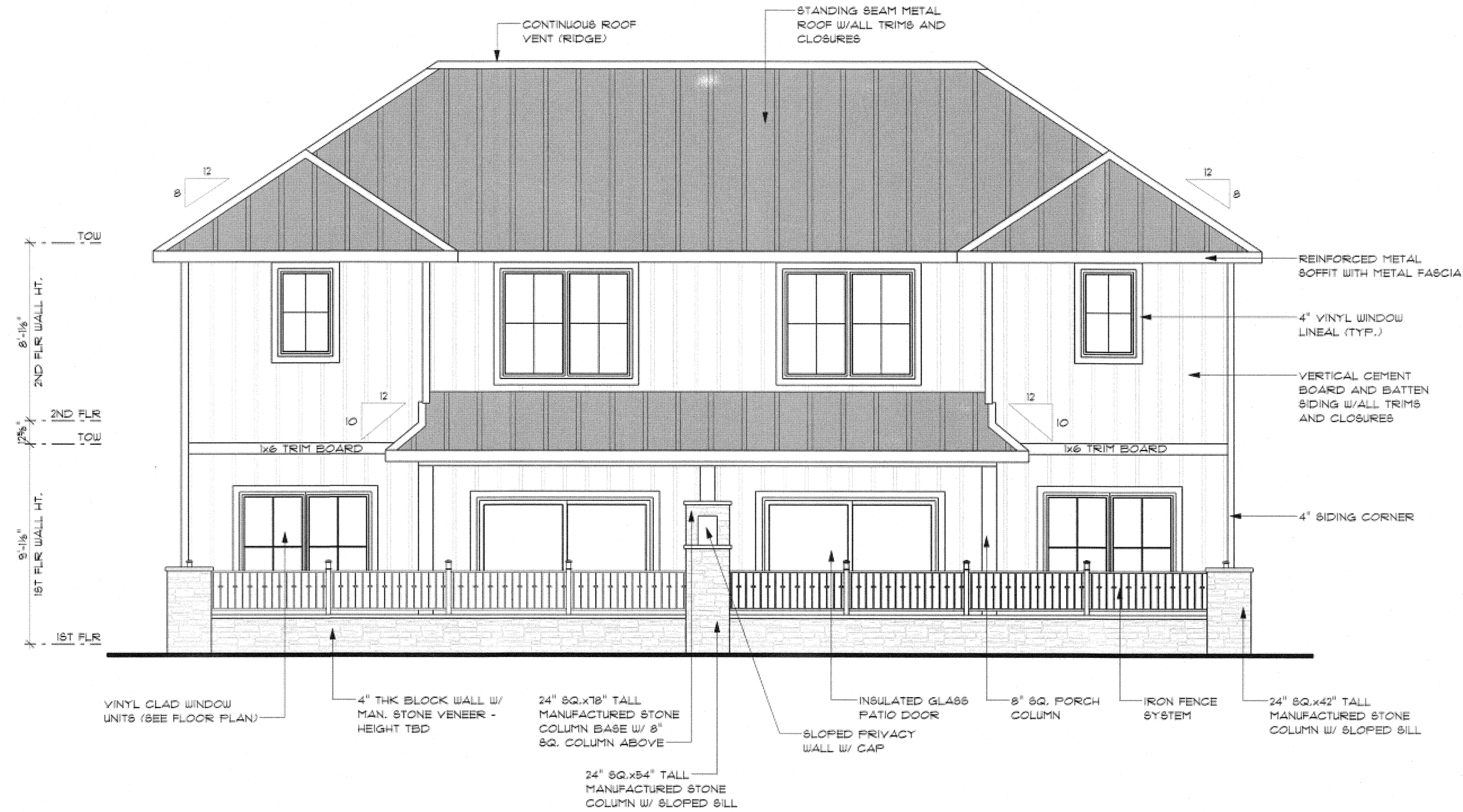
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 PRINT DATE:
 8/13/2024
 PAPER: ARCH D
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A-1

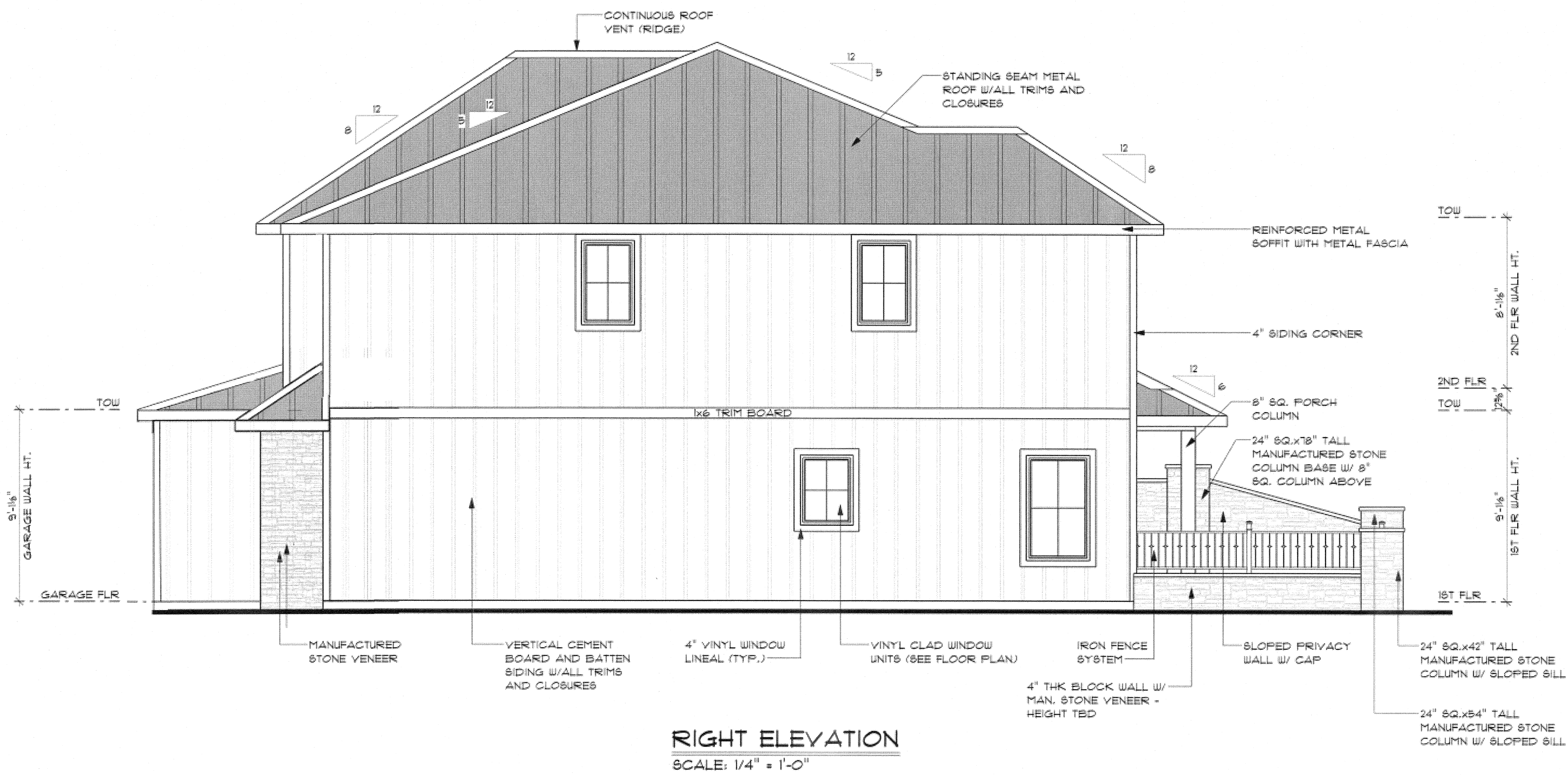
PROJECT DETAILS	
WINDOWS:	BRAND TBD
FOUNDATION:	CONCRETE SLAB
EXTERIOR WALLS:	2x4
GARAGE WALLS:	2x4
INTERIOR WALLS:	2x4
FIRST FLOOR:	9'-1 1/8"
SECOND FLOOR:	8'-1 1/8"

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REAR ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

ELEVATIONS
PLAN #23283

DRAWN BY: BG/MK
 PROJECT: 23283
 PRINT DATE:
 8/13/2024
 PAPER: ARCH D
 SIZE: 24" x 36"

A-2

Transparency Calculation for One Unit



FW: FW: Cedar Lane

From David Harbin <harbin@bhn-p.com>

Date Wed 1/22/2025 5:34 PM

To Samiul Haque <samiul.haque@knoxplanning.org>

From: Jeff Williams <jwbuildsknox@gmail.com>

Sent: Wednesday, January 22, 2025 3:12 PM

To: David Harbin <harbin@bhn-p.com>

Subject: Re: FW: Cedar Lane

Total Front facade 437sqft

<u>Detail</u>	<u>sqft</u>
2x2 window	4
5x6 window	30
5x6 window	30
Garage door window.	7
Front door	8
<u>Total</u>	<u>79</u>
Percent.	18%