

- PROPOSED TRAFFIC IMPROVEMENTS:**
- ADDITION OF AN EXCLUSIVE NORTHBOUND RIGHT TURN LANE WITH STORAGE OF 100 FEET AND A TAPER LENGTH OF 140 FEET AT THE INTERSECTION OF CAMPBELL STATION ROAD AT SWYDER ROAD. THIS WILL REQUIRE REMOVAL OF THE CONCRETE ISLAND AND POLE LOCATION TO OUTSIDE THE INTERSECTION.
 - REPLACE A 3 SECTION SIGNAL HEAD FOR THE NORTHBOUND APPROACH OF CAMPBELL STATION ROAD AT SWYDER ROAD WITH A 5 SECTION RIGHT TURN SIGNAL HEAD.
 - ADDITION OF A WESTBOUND RIGHT TURN LANE WITH STORAGE OF 75 FEET AND A TAPER OF 140 FEET AT THE INTERSECTION OF OUTLET DRIVE AT THE SITE ACCESS.

ISSUE DESCRIPTION

NO. DATE: 01/24/2025 REVISIONS PER STAFF REVIEW COMMENTS

NO. DATE: 01/27/2025 REVISIONS PER STAFF REVIEW COMMENTS

FILE NUMBER
2-B-25-UR
2-C-25-DP

Revised 1/24/2025

VENTURE AT LASTER FARMS
 11-071 OUTLET DRIVE
 KNOXVILLE, TN 37932

JOE ANN SIMS
 #20106190075266

TYPE "B" LANDSCAPE SCREEN ALONG NORTH AND EAST BOUNDARIES (SEE LANDSCAPE PLANS)

**PARKING SUMMARY
 KNOX COUNTY REQUIREMENTS**

- REQUIRED SPACES FOR MULTI-FAMILY RESIDENTIAL:
 1.5 SPACES PER DWELLING UNIT FOR THE FIRST 20 UNITS PLUS 1 ADDITIONAL SPACE PER DWELLING UNIT FOR EACH ONE BEDROOM UNIT IN EXCESS OF 20 UNITS.
 PLUS 1.5 SPACES PER DWELLING UNIT FOR EACH TWO (OR MORE) BEDROOM UNITS.
- UNIT TABULATION - MULTIFAMILY
 1 BEDROOM UNITS = 96
 2 BEDROOM UNITS = 132
 3 BEDROOM UNITS = 12
 TOTAL MULTIFAMILY = 240 UNITS
- UNIT TABULATION - TOWNHOMES
 2 BED TOWNHOME = 44
 3 BED TOWNHOME = 36
 TOTAL TOWNHOMES = 80 UNITS
- DEVELOPMENT TOTAL UNITS = 320 UNITS (592 BED)
- REQUIRED PARKING:
 1 BEDROOM UNITS (96 PROPOSED)
 1.5 SPACES PER UNIT FOR THE FIRST 20 = 1.5 x 20 = 30 SPACES PLUS 1 PER UNIT IN EXCESS OF 20 = (96-20) x 1 = 76 SPACES
 2 OR MORE BEDROOM UNITS (224 PROPOSED)
 1.5 SPACES PER UNIT = 1.5 x 224 = 336 SPACES
 TOTAL REQUIRED: 30 + 76 + 336 = 442 SPACES
- PROVIDED PARKING:
 STANDARD SURFACE SPACES = 408
 ACCESSIBLE SURFACE SPACES = 18
 ATTACHED MULTIFAMILY GARAGE SPACES = 36
 ATTACHED TOWNHOME GARAGE SPACES = 80
 DETACHED MULTIFAMILY GARAGE SPACES = 12
 TOTAL PARKING SPACES PROVIDED = 554
 (1.74/DU AVERAGE AND 0.94/BED AVERAGE)
- REQUIRED (501-1000) = 2% OF TOTAL = 11 SPACES (2 VAN)

DEVELOPMENT INTENSITY

TOTAL NUMBER OF UNITS = 320
 PROPERTY AREA = 18.31 ACRES (AFTER ROW CLOSURE)
 DU/AC = 320/18.31 = 17.48 > 12 DU/AC (REQUIRES USE ON RENEW APPROVAL)
 3-5 STORY DWELLING STRUCTURES REQUIRES 12,000 SF PLUS 1,200 SF OF LOT AREA PER DWELLING UNIT

TOTAL NUMBER OF UNITS IN 3-5 STORY = 240
 REQUIRED LOT AREA = 12,000 SF + 1,200 SF x 240 = 400,000 SF OR 6.68 ACRES x 18.31 ACRES

MINIMUM LOT COVERAGE REQUIREMENTS:
 2 STORY OR LESS = 30%
 3-5 STORY = 30%

TOTAL COVERAGE OF PROPOSED BUILDINGS = 156,849 SF (3.6 AC)
 (INCLUDES CLUBHOUSE/LEASING AND FITNESS/CABANA)
 LOT COVERAGE = 3.6 AC / 18.31 AC = 20% < 30%

REQUIRED USABLE OPEN SPACE/RECREATION AREAS = 10% OF GROSS DEVELOPMENT AREA OF 8 = 20 ACRES = 10% x 18.31 AC = 1.83 ACRES < 2.0 ACRES SHOWN

THE FOLLOWING SETBACKS SHOWN ON PLAN FOR CLARITY:
 FRONT = 35'
 SIDE = 20' ON WEST BOUNDARY / 12' ON EAST BOUNDARY
 REAR = 25' (ONLY 2 STORY TOWNHOMES)

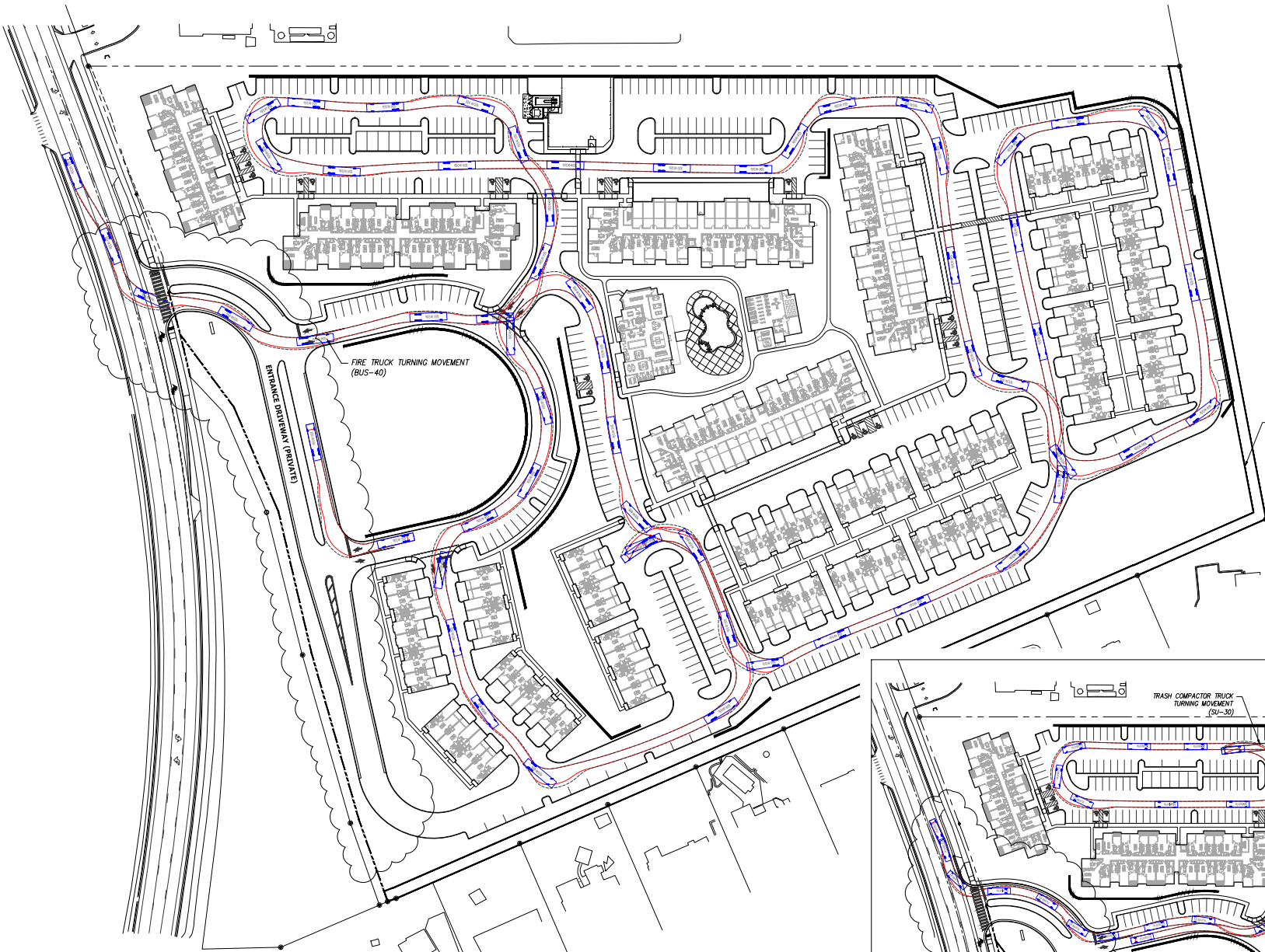
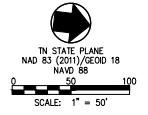
811
 Know what's below
 Call before you dig



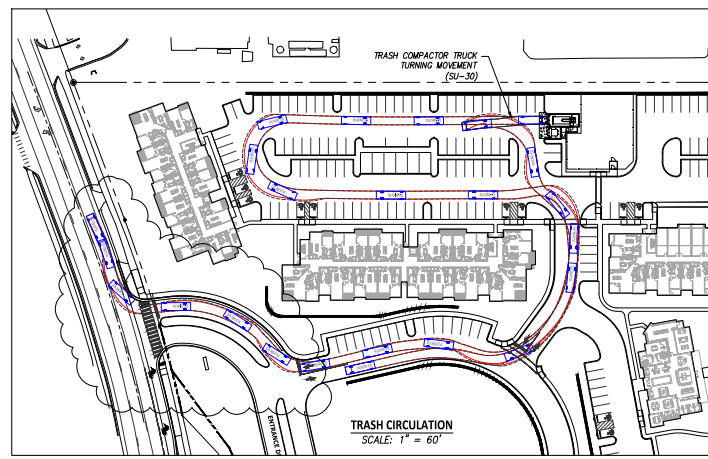
CLIENT:
 VENTURE AT LASTER FARMS
 OWNER LLC
 9820 WESTPOINT DRIVE, SUITE 100
 INDIANAPOLIS, IN 46256

OVERALL SITE LAYOUT PLAN

C100



FIRE ACCESS CIRCULATION
SCALE: 1" = 50'



TRASH CIRCULATION
SCALE: 1" = 60'

NO.	DATE	ISSUE DESCRIPTION
1	10/21/2025	REVISION PER STAFF REVIEW COMMENTS

FOR PLANNING COMMISSION APPROVAL ONLY.
NOT TO BE USED FOR CONSTRUCTION.

FILE NUMBER
2-B-25-UR
2-C-25-DP

Revised 1/21/2025

VENTURE AT LASTER FARMS
11471 OUTLET DRIVE
KNOXVILLE, TN 37932



10025 Investment Drive, Suite 120
Knoxville, TN 37932
865.670.8555
www.cci-corp.com

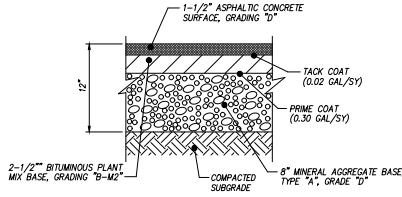
CLIENT:
VENTURE AT LASTER FARMS
OWNER LLC
9820 WESTPOINT DRIVE, SUITE 100
INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01863-000
DATE: JANUARY 21, 2025
PW/C: JKH
DRAWN BY: CO

TURNING MOVEMENTS

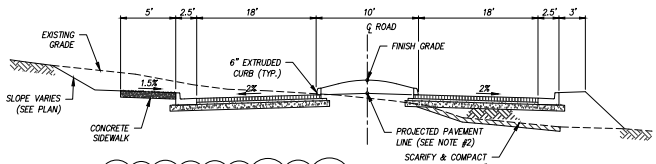
C101





01 ASPHALT PAVEMENT SECTION
N.T.S.

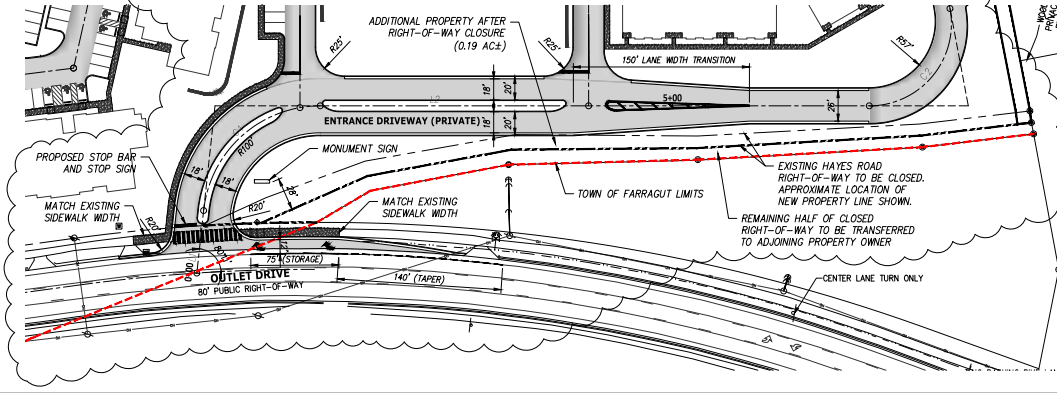
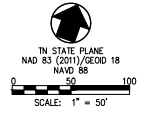
NOTES:
1. SEE PAVEMENT SECTION THIS SHEET.
2. PROFILE REPRESENTS THE PROJECTED CROSS-SLOPE TO THE CENTERLINE OF THE ROAD.



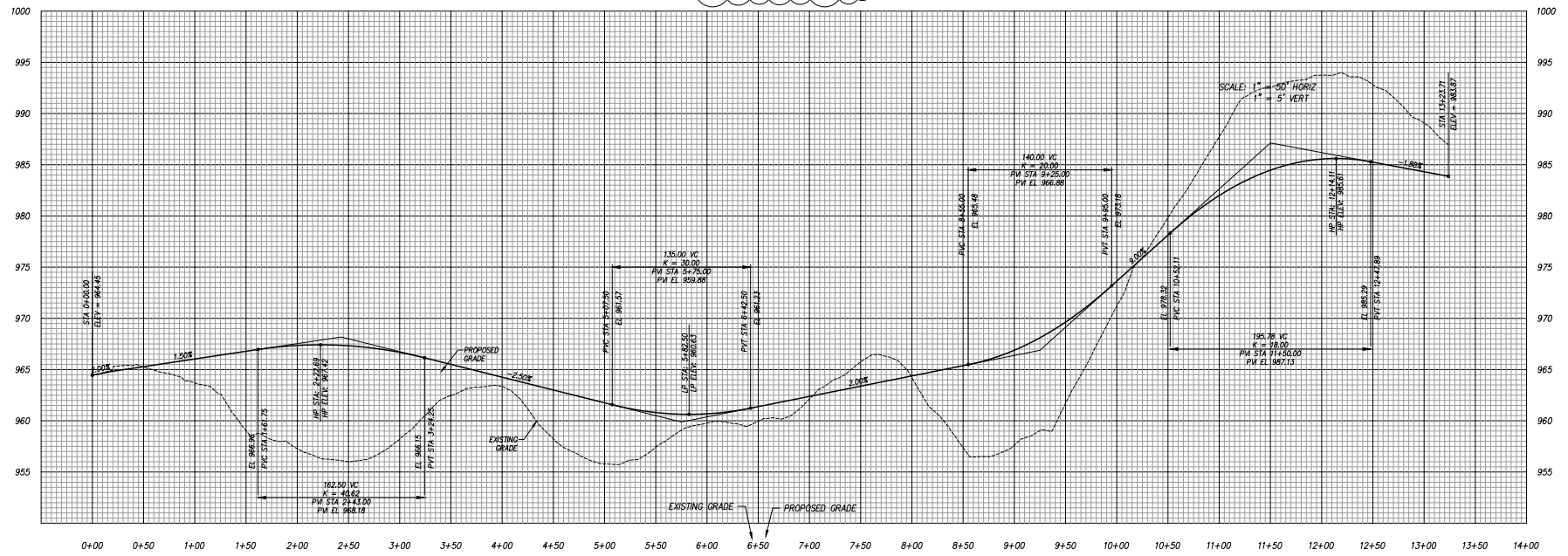
02 TYPICAL BOULEVARD SECTION (PRIVATE)
N.T.S.

PRIVATE DRIVEWAY HORIZONTAL CURVE DATA TABLE							
CURVE NO.	P.L. COORDINATES	P.C. STATION	P.T. STATION	DELTA ANGLE	RADIUS	CURVE LENGTH	CHORD BEARING
C1	N: 576896.52 E: 2511505.69	0+53.60	1+99.85	083° 47' 43"	100.000'	146.25'	N28° 41' 27.34"W
C2	N: 577099.97 E: 2511971.16	6+67.72	7+90.67	100° 38' 02"	70.000'	122.95'	N20° 16' 17.85"E

PRIVATE DRIVEWAY LINE DATA TABLE		
LINE NO.	DISTANCE	BEARING
L1	53.60'	N13° 12' 24.14"W
L2	467.88'	N70° 35' 18.83"E



ENTRANCE DRIVEWAY (PRIVATE) PROFILE



964.44	964.45	965.24	965.29	965.70	966.04	966.05	966.79	967.28	967.36	968.99	967.33	967.33	968.00	966.60	969.47	966.51	966.36	964.26	968.03	965.01	965.79	961.76	967.41	960.01	969.78	966.60	965.35	965.35	964.22	964.38	967.38	965.38	967.62	966.59	961.08	969.64	971.18	973.63	978.84	978.13	987.72	981.99	992.29	984.47	985.74	985.55	992.81	985.25	988.08	984.31
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ISSUE DESCRIPTION

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2-C-25-DP

Revised 1/21/2025

PROJECT:

10025 Investment Drive, Suite 120
Knoxville, TN 37932

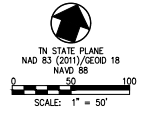
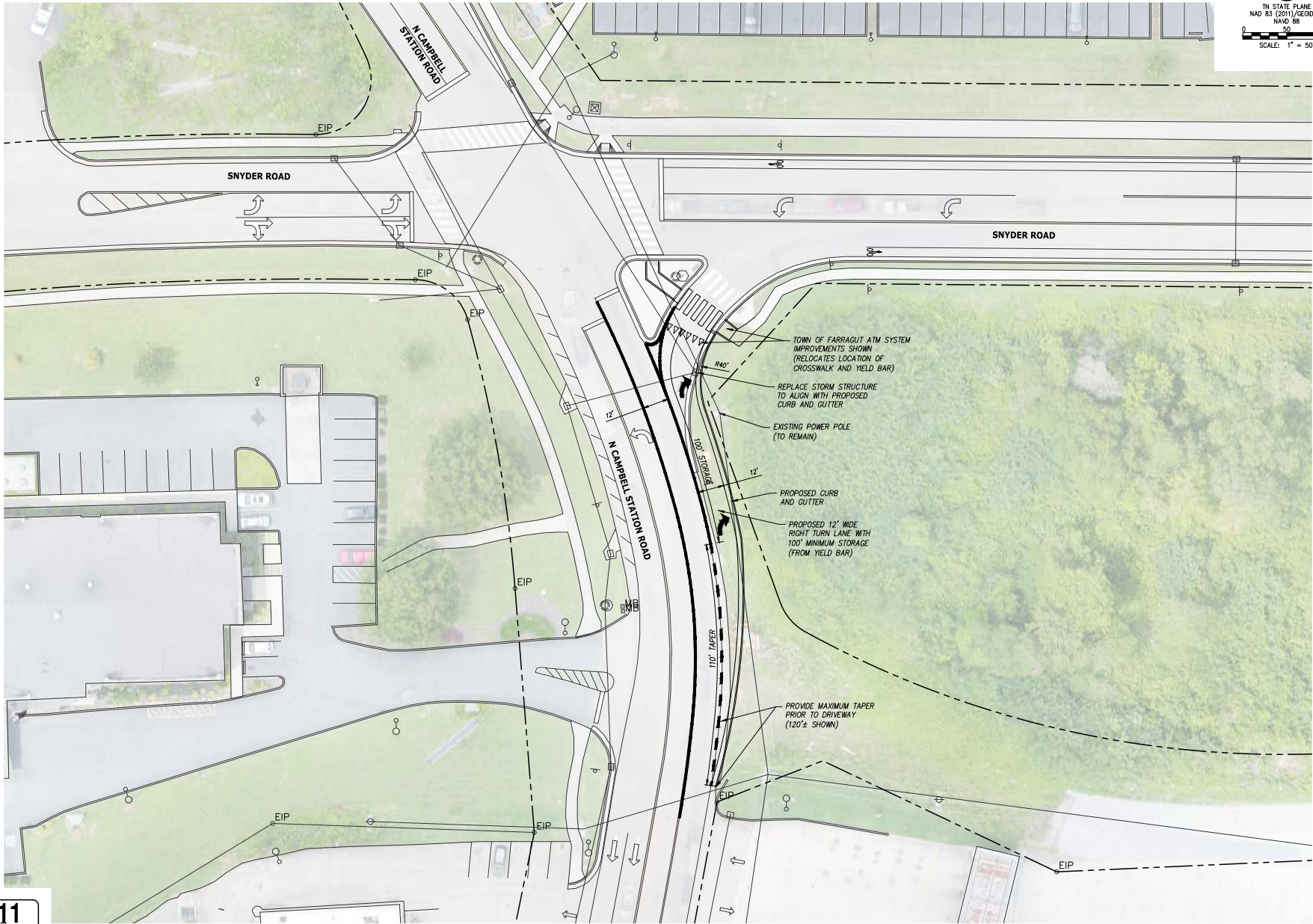
865.670.8555
www.cci-corp.com

CLIENT:
VENTURE AT LASTER FARMS
OWNER LLC
9820 WESTPOINT DRIVE, SUITE 100
INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01863-000
DATE: JANUARY 21, 2025
P/W/C: JRH
DRAWN BY: CO

HAYES ROAD
SITE LAYOUT PLAN &
ROADWAY PROFILE

C102



NO.	DATE	ISSUE DESCRIPTION
1	10/21/2024	REVISION PER STAFF REVIEW COMMENTS



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Revised 1/21/2025

VENTURE AT LASTER FARMS
11471 OUTLET DRIVE
KNOXVILLE, TN 37932

PROJECT:



10025 Investment Drive, Suite 120
Knoxville, TN 37932
865.670.8555
www.cci-corp.com

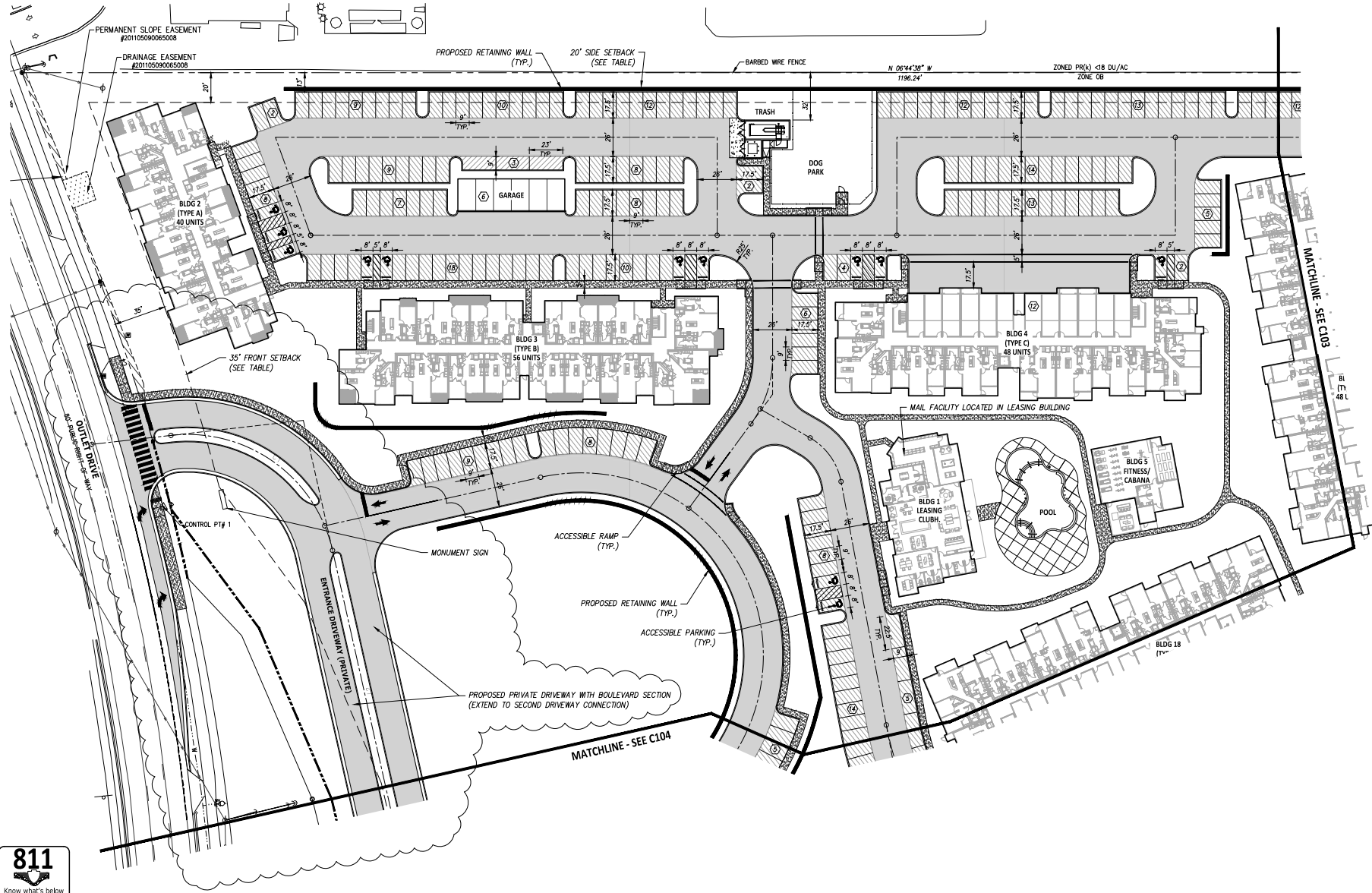
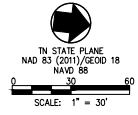
CLIENT:
VENTURE AT LASTER FARMS OWNER LLC
9820 WESTPOINT DRIVE
INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01852-000
DATE: DECEMBER 20, 2024
PW/C: JRH
DRAWN BY: CO

N CAMPBELL STATION ROAD IMPROVEMENTS

C102A





NO.	DATE	ISSUE DESCRIPTION
1	10/24/2025	REVISION PER STAFF REVIEW COMMENTS
2	10/27/2025	REVISION PER STAFF REVIEW COMMENTS



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2-C-25-DP

Revised 1/24/2025

VENTURE AT LASTER FARMS
 11471 OUTLET DRIVE
 KNOXVILLE, TN 37932

PROJECT:



10025 Investment Drive, Suite 120
 Knoxville, TN 37932

865.670.8555
 www.cci-corp.com

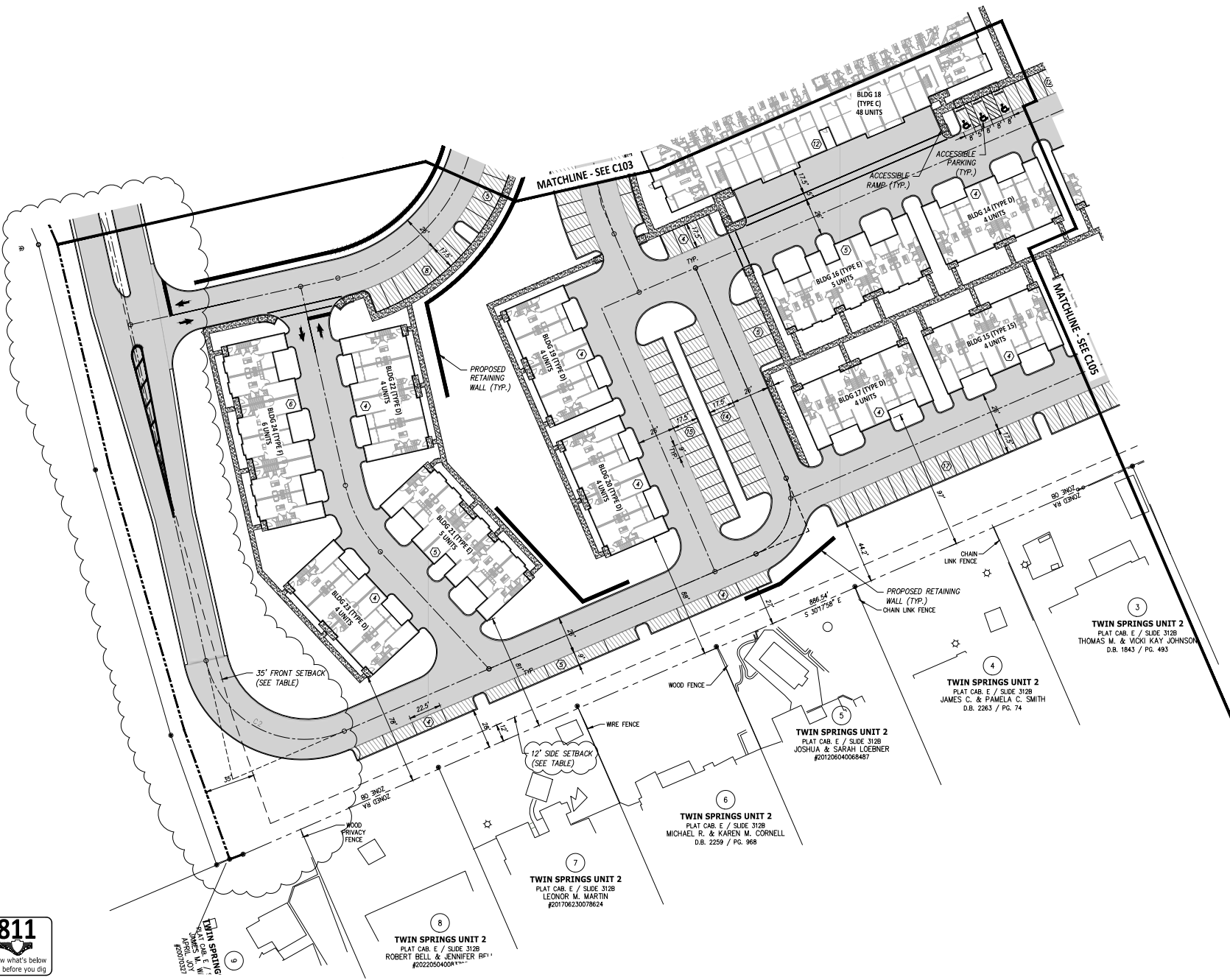
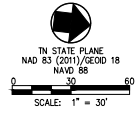
CLIENT:
VENTURE AT LASTER FARMS
 OWNER LLC
 9820 WESTPOINT DRIVE, SUITE 100
 INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01863-000
 DATE: JANUARY 21, 2025
 P/W/C: JRL
 DRAWN BY: CO

SITE LAYOUT PLAN

C103





NO.	DATE	ISSUE DESCRIPTION
1	10/24/2023	REVISED PER STAFF REVIEW COMMENTS
2	10/27/2023	REVISED PER STAFF REVIEW COMMENTS



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Revised 1/24/2025

VENTURE AT LASTER FARMS
11971 OUTLET DRIVE
KNOXVILLE, TN 37932

PROJECT:

10025 Investment Drive, Suite 120
Knoxville, TN 37932

865.670.8555
www.cci-corp.com

CLIENT:

VENTURE AT LASTER FARMS
OWNER LLC
9820 WESTPOINT DRIVE, SUITE 100
INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01852-000
DATE: JANUARY 21, 2025
PW/C: JRL
DRAWN BY: CO

SITE LAYOUT PLAN

C104



TWIN SPRINGS UNIT 2
 PLAT CAB. E / SLIDE 312B
 ROBERT BELL & JENNIFER REY
 #20220504008487

TWIN SPRINGS UNIT 2
PLAT CAB. E / SLIDE 312B
ROBERT BELL & JENNIFER REY
#20220504008487

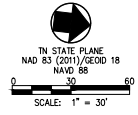
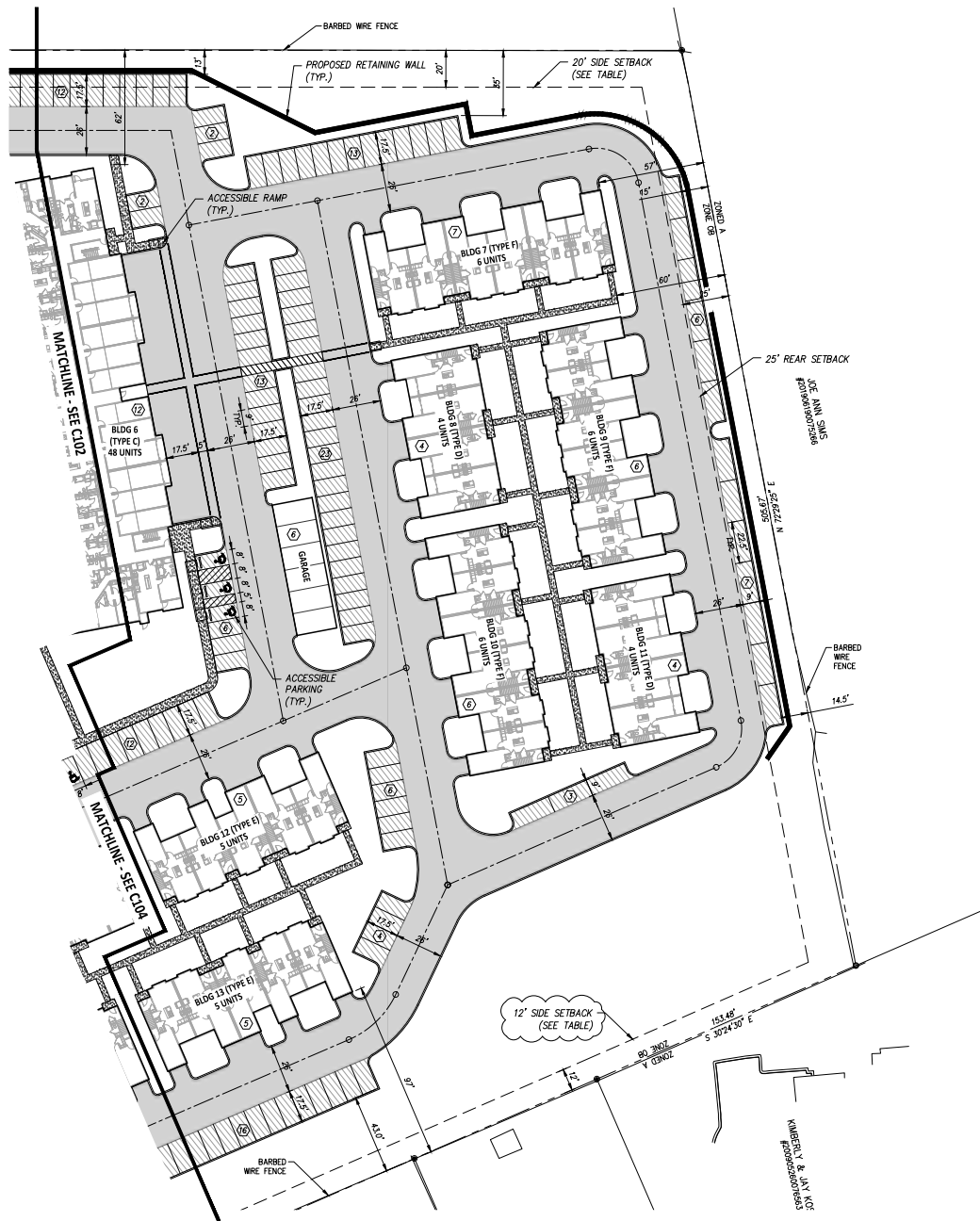
TWIN SPRINGS UNIT 2
PLAT CAB. E / SLIDE 312B
LEONOR M. MARTIN
#201706230078624

TWIN SPRINGS UNIT 2
PLAT CAB. E / SLIDE 312B
MICHAEL R. & KAREN M. CORNELL
D.B. 2259 / PG. 968

TWIN SPRINGS UNIT 2
PLAT CAB. E / SLIDE 312B
JOSHUA & SARAH LOEBNER
#20120604008487

TWIN SPRINGS UNIT 2
PLAT CAB. E / SLIDE 312B
JAMES C. & FAMELA C. SMITH
D.B. 2263 / PG. 74

TWIN SPRINGS UNIT 2
PLAT CAB. E / SLIDE 312B
THOMAS M. & WENDI KAY JOHNSON
D.B. 1643 / PG. 493



NO.	DATE	ISSUE DESCRIPTION
1	01/24/2025	REVISED PER STAFF REVIEW COMMENTS
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 11471 OUTLET DRIVE
 KNOXVILLE, TN 37932

PROJECT:

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 Knoxville, TN 37932
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 www.cci-corp.com

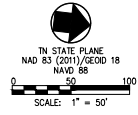
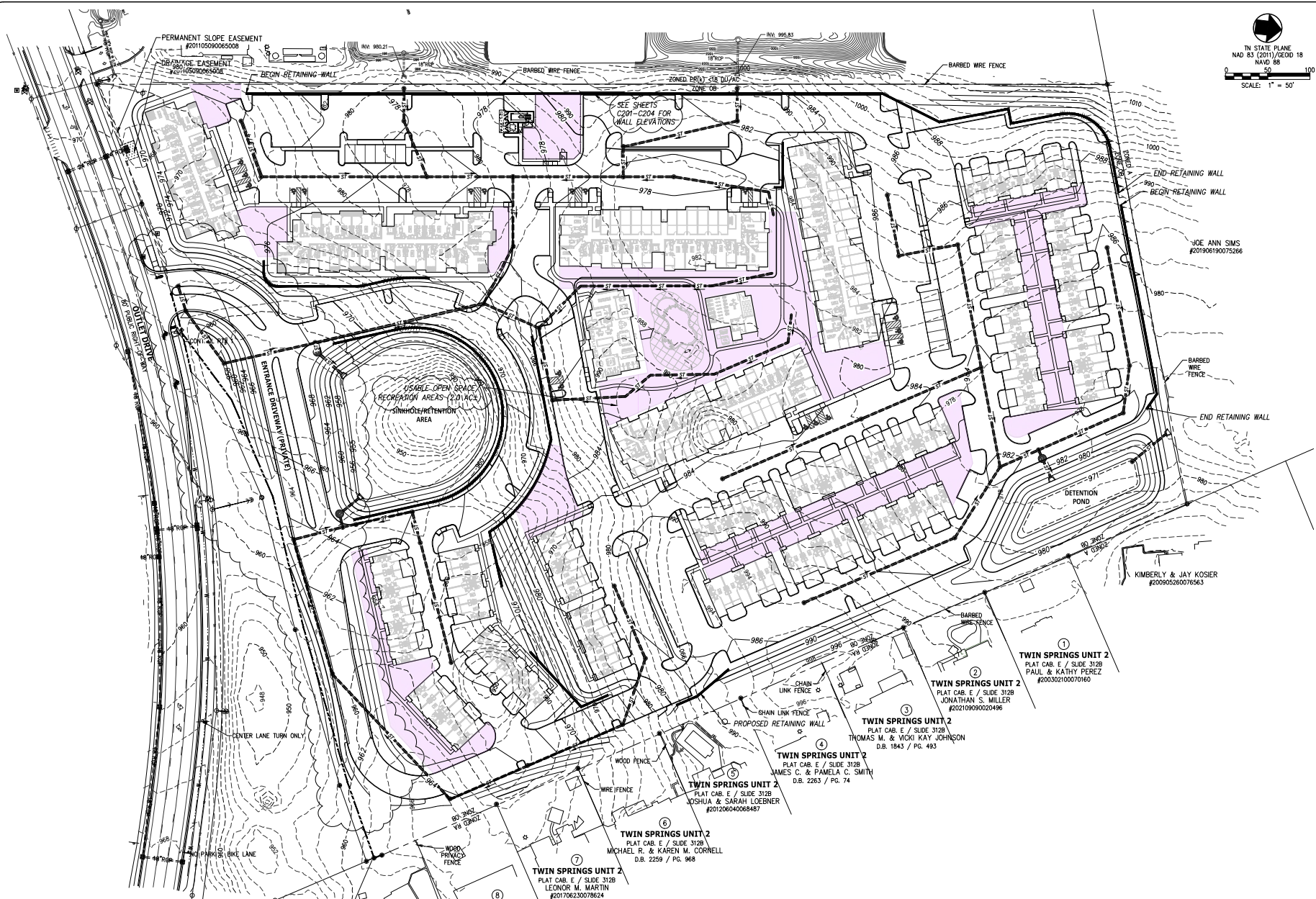
CLIENT:
VENTURE AT LASTER FARMS
 OWNER LLC
 9820 WESTPOINT DRIVE, SUITE 100
 INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01863-000
 DATE: JANUARY 21, 2025
 PW/PC: JRH
 DRAWN BY: CO

SITE LAYOUT PLAN

C105





NO.	DATE	ISSUE DESCRIPTION
1	01/24/2025	REVISION PER STAFF REVIEW COMMENTS
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Revised 1/24/2025

VENTURE AT LASTER FARMS
11971 OUTLET DRIVE
KNOXVILLE, TN 37932

PROJECT:

10025 Investment Drive, Suite 120
Knoxville, TN 37932

865.670.8555
www.cci-corp.com

CLIENT:

VENTURE AT LASTER FARMS
OWNER LLC
9820 WESTPOINT DRIVE, SUITE 100
INDIANAPOLIS, IN 46256

CCI PROJ. NO. 01863-000
DATE: JANUARY 21, 2025
PW/PC: JH/L
DRAWN BY: CO

OVERALL SITE GRADING PLAN

C200

NOTES:
1. DETENTION, RETENTION, AND SINKHOLE STORAGE DESIGN TO BE INCLUDED AS PART OF FINAL PERMIT REVIEW PLANS.



TWIN SPRINGS UNIT 2
PLAT C&B, E / SLIDE 3128
JAMES M. WADLEY &
APRIL JOY GALYON
#200703270078109

TWIN SPRINGS UNIT 2
PLAT C&B, E / SLIDE 3128
ROBERT BELL & JENNIFER BELL
#202205040083795

TWIN SPRINGS UNIT 2
PLAT C&B, E / SLIDE 3128
LEONOR M. MARTIN
#201706230078624

TWIN SPRINGS UNIT 2
PLAT C&B, E / SLIDE 3128
MICHAEL R. & KAREN M. CORNELL
D.B. 2259 / PG. 968

TWIN SPRINGS UNIT 2
PLAT C&B, E / SLIDE 3128
JOSHUA & SARAH LOEBNER
#201206040068467

TWIN SPRINGS UNIT 2
PLAT C&B, E / SLIDE 3128
JAMES C. & PAMELA C. SMITH
D.B. 2263 / PG. 74

TWIN SPRINGS UNIT 2
PLAT C&B, E / SLIDE 3128
THOMAS M. & VICKI KAY JOHNSON
D.B. 1843 / PG. 493

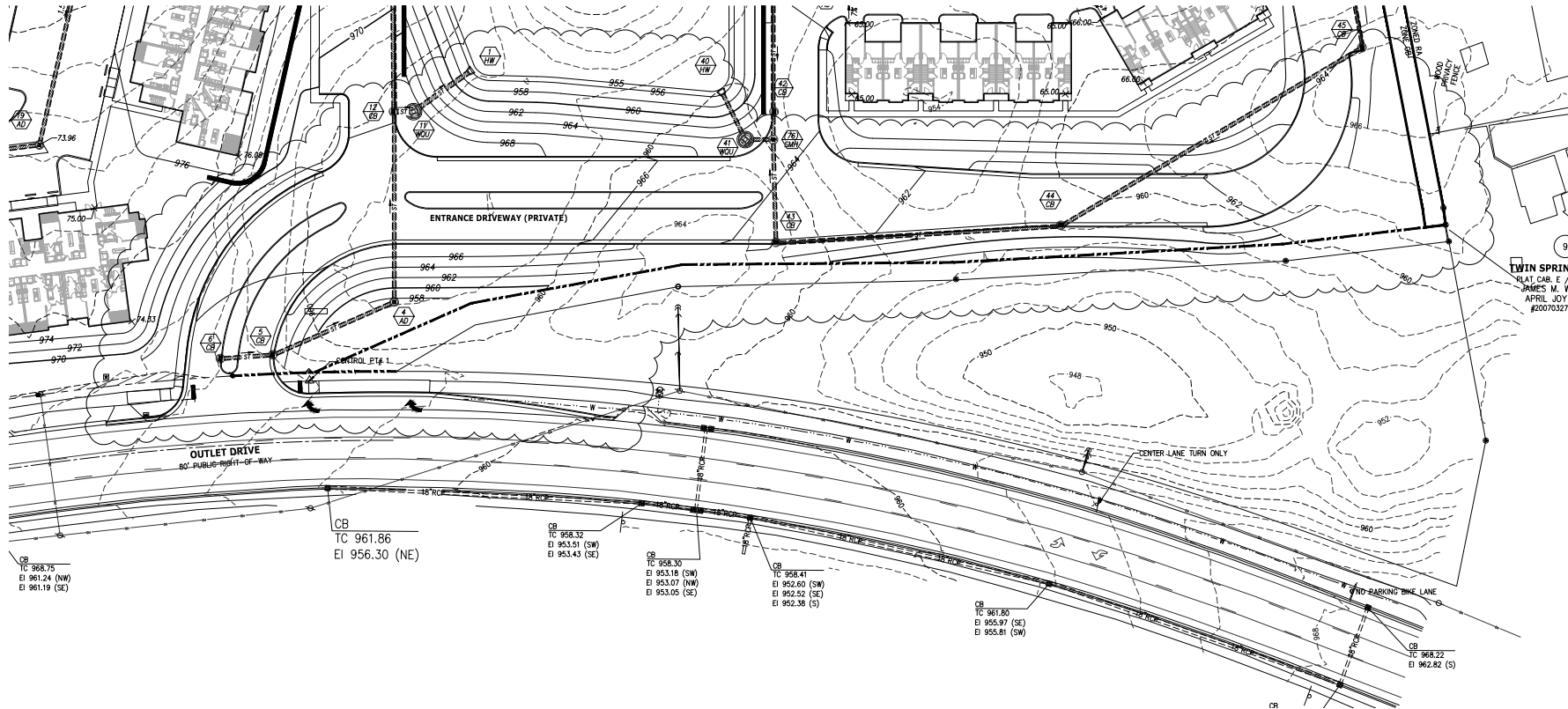
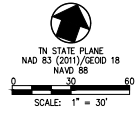
TWIN SPRINGS UNIT 2
PLAT C&B, E / SLIDE 3128
JONATHAN S. MILLER
#202109090020496

TWIN SPRINGS UNIT 2
PLAT C&B, E / SLIDE 3128
PAUL & KATHY PEREZ
#200302100070160

TWIN SPRINGS UNIT 2
PLAT C&B, E / SLIDE 3128
PAUL & KATHY PEREZ
#200302100070160

JOE ANN SIMS
#201906190075266

KIMBERLY & JAY KOSIER
#200905260076563



CB
TC 966.75
EI 961.24 (NW)
EI 961.19 (SE)

CB
TC 961.86
EI 956.30 (NE)

CB
TC 958.32
EI 953.51 (SW)
EI 953.43 (SE)

CB
TC 956.30
EI 953.18 (SW)
EI 953.07 (NW)
EI 953.05 (SE)

CB
TC 958.41
EI 952.60 (SW)
EI 952.52 (SE)
EI 952.38 (S)

CB
TC 961.85
EI 955.97 (SE)
EI 955.81 (SW)

CB
TC 968.22
EI 962.82 (S)

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VENTURE AT LASTER FARMS
11071 OUTLET DRIVE
KNOXVILLE, TN 37932

CANNON & CANNON
10025 Investment Drive, Suite 120
Knoxville, TN 37932
865.670.8555
www.cci-corp.com

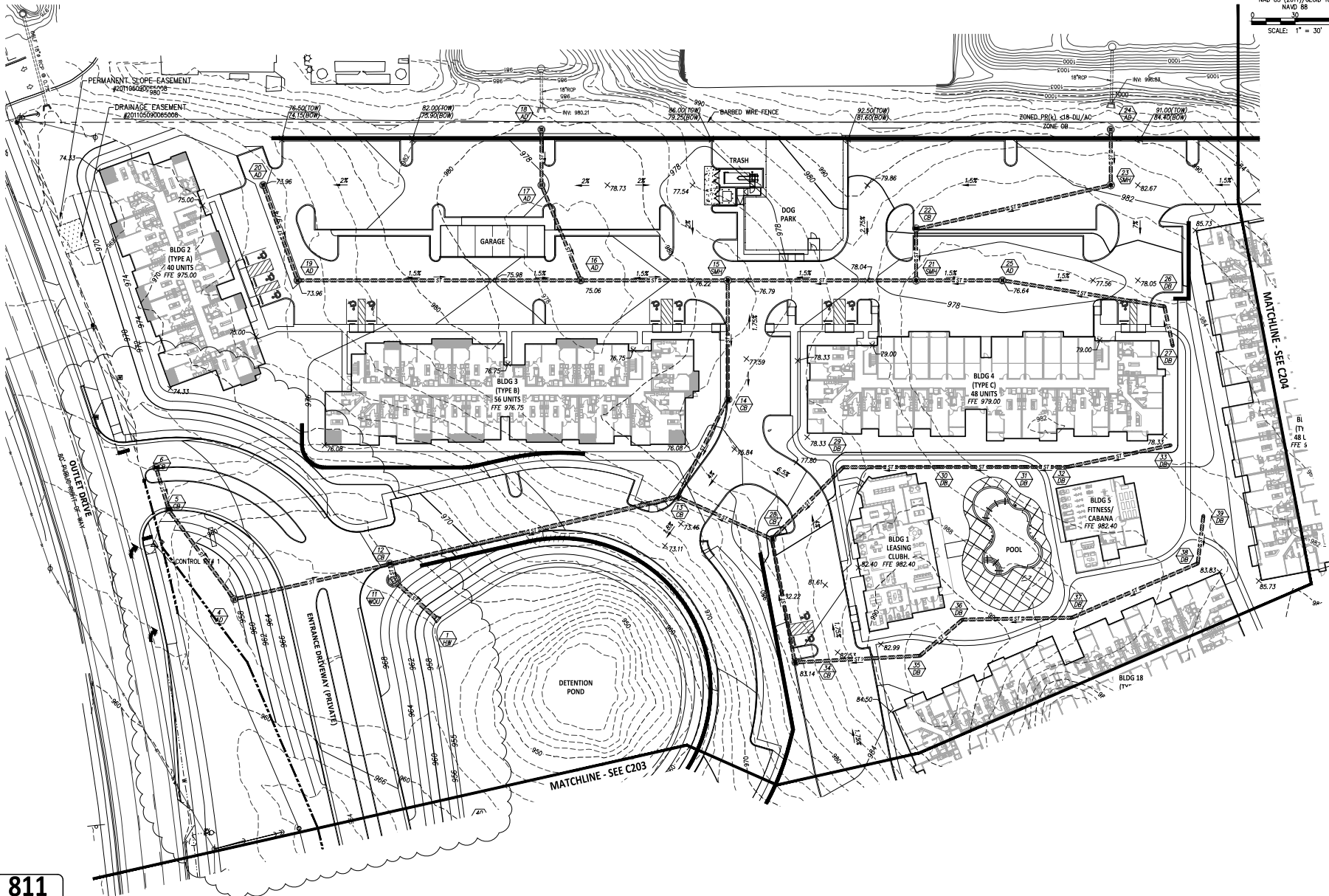
CLIENT:
VENTURE AT LASTER FARMS
OWNER LLC
9820 WESTPOINT DRIVE, SUITE 100
INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01863-000
DATE: JANUARY 21, 2025
PW/C: JRH
DRAWN BY: CO

HAYES ROAD
SITE GRADING & DRAINAGE
PLAN

C201





TN STATE PLANE
 NAD 83 (2011)/GEOD 18
 NAVD 88
 SCALE: 1" = 30'

NO.	DATE	ISSUE DESCRIPTION
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 11471 OUTLET DRIVE
 KNOXVILLE, TN 37932

PROJECT:

10025 Investment Drive, Suite 120
 Knoxville, TN 37932
 865.670.8555
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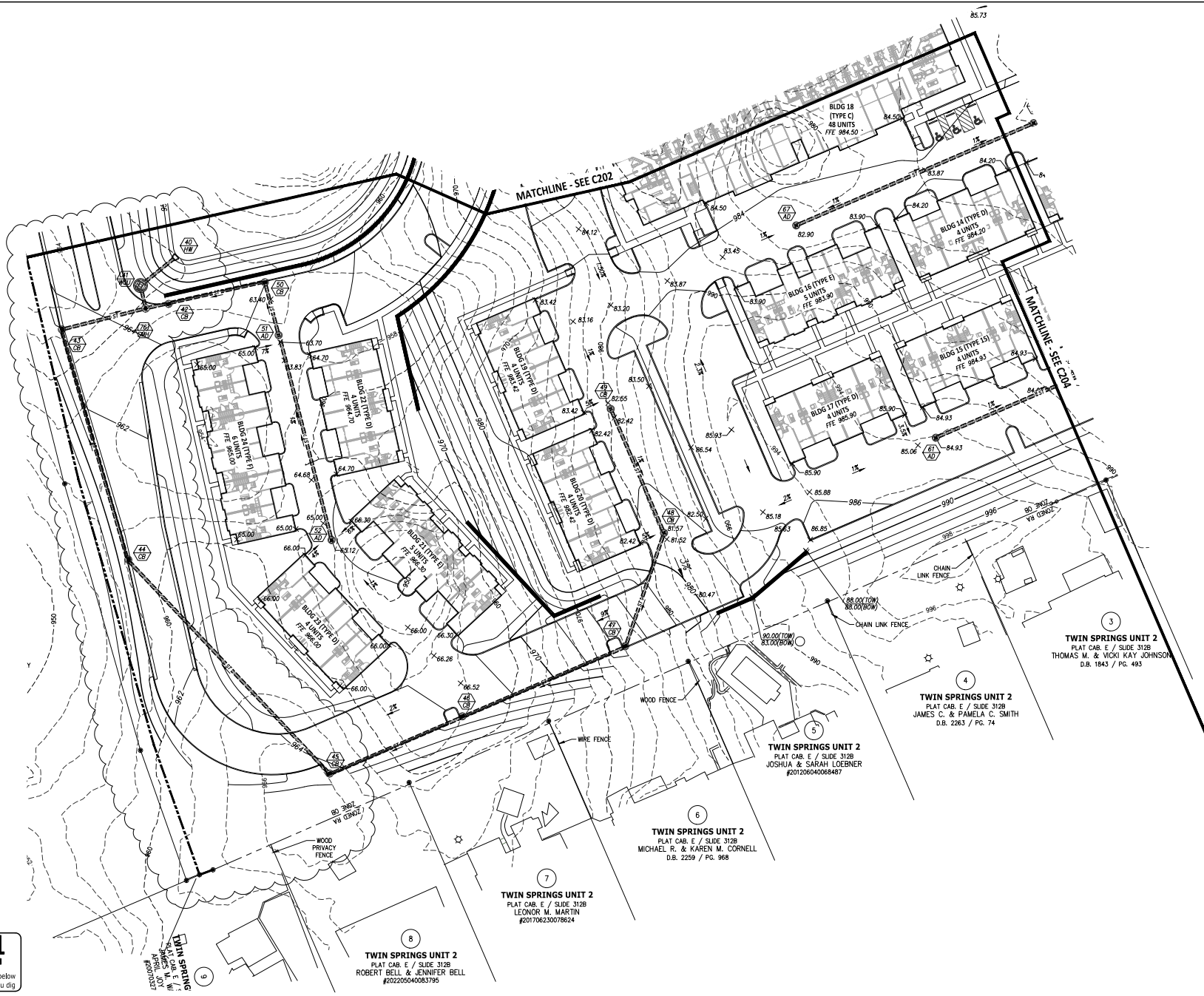
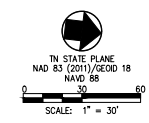
CLIENT:
VENTURE AT LASTER FARMS
 OWNER LLC
 9820 WESTPOINT DRIVE, SUITE 100
 INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01883-000
 DATE: JANUARY 21, 2025
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 DRAWN BY: CO

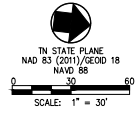
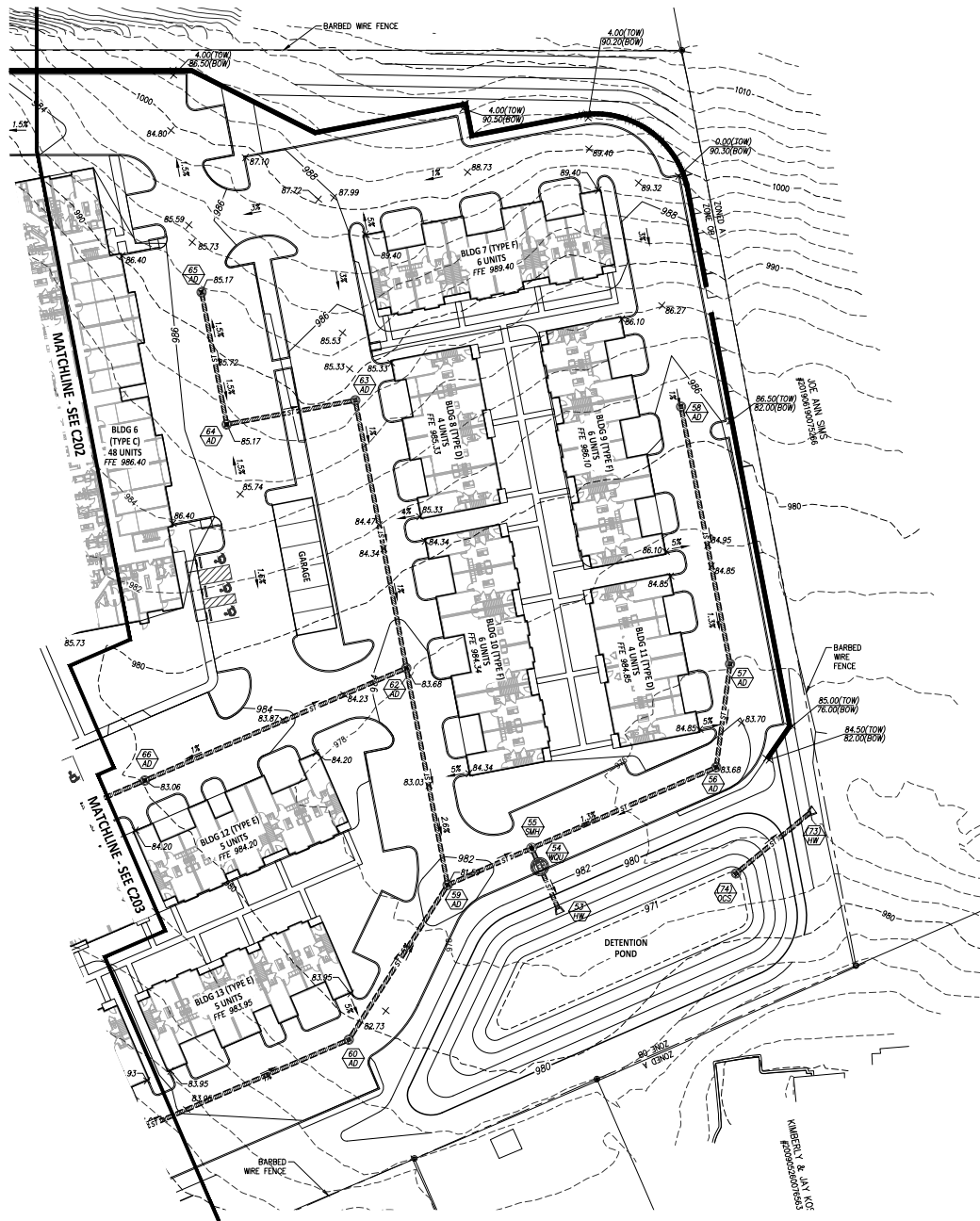
SITE GRADING & DRAINAGE PLAN

C202





		TN STATE PLANE NAD 83 (2011) / GEOD 18 NAVD 88 SCALE: 1" = 30'
ISSUE DESCRIPTION	NO.	DATE
REVISIONS	1	10/21/2025
REVISED PER STAFF REVIEW COMMENTS		
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FILE NUMBER 2-B-25-UR 2-C-25-DP		
Revised 1/21/2025		
VENTURE AT LASTER FARMS 11971 OUTLET DRIVE KNOXVILLE, TN 37932		
PROJECT:		
10025 Investment Drive, Suite 120 Knoxville, TN 37932 865.670.8555 www.cci-corp.com		
CLIENT: VENTURE AT LASTER FARMS OWNER LLC 9820 WESTPOINT DRIVE, SUITE 100 INDIANAPOLIS, IN 46236		
CCI PROJ. NO.	01852-000	
DATE:	JANUARY 21, 2025	
PW/C:	JRH	
DRAWN BY:	CO	
SITE GRADING & DRAINAGE PLAN		
C203		



NO.	DATE	ISSUE DESCRIPTION
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Revised 1/21/2025

VENTURE AT LASTER FARMS
11971 OUTLET DRIVE
KNOXVILLE, TN 37932

PROJECT:



10025 Investment Drive, Suite 120
Knoxville, TN 37932
865.670.8555
www.cci-corp.com

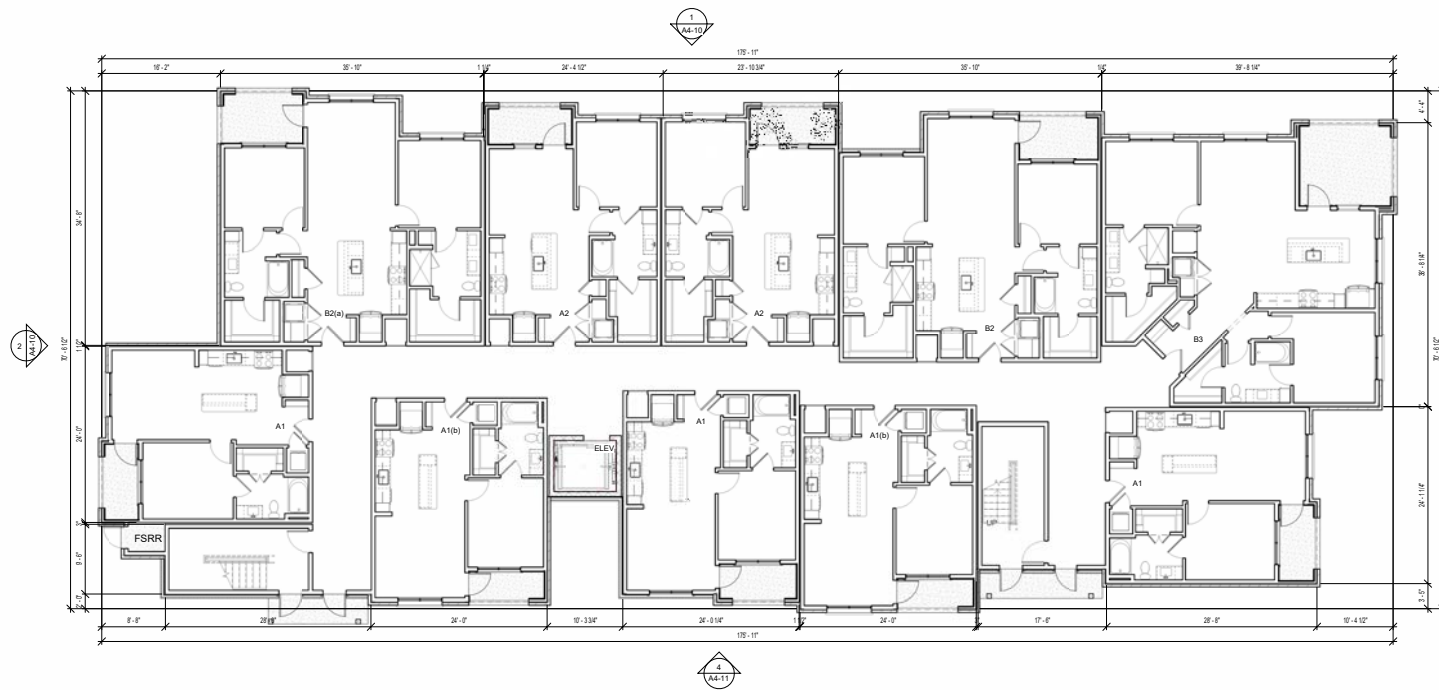
CLIENT:
VENTURE AT LASTER FARMS
OWNER LLC
9820 WESTPOINT DRIVE, SUITE 100
INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01862-000
DATE: JANUARY 21, 2025
PW/C: JRH
DRAWN BY: CO

SITE GRADING & DRAINAGE PLAN

C204





PLAN LEGEND:

FE	FIRE EXTINGUISHERS	E.M.	METER LOCATIONS
X	DOOR KEY	1	1 HOUR FIRE BARBERS
X	WINDOW KEY	2	MISC. COMPENSER UNITS
C.I.	CONTROL JOINT FLOOR CEILING & WALLS	3	REFER TO MEP
PH	PANIC HARDWARE	4	20 MIN. FIRE RATED ACCESS DOOR
■	STAINED CONCRETE	5	48" x 48" FIRE RATED ACCESS DOOR
■	GLASS PANELS MUST BE FIRE PROTECTED AT FIRE RATED PENETRATIONS	6	BUILDING ORIENTATION
■	SLOPED CONCRETE AT 1% FLOOR AND SLOPED TRUSSES AT UPPER FLOORS		

CORRIDOR WALL FINISH
 E.S. EXTERIOR SHEATHING - REFER TO A-11
 F.C.S. FIBER CEMENT SIDING - REFER TO A-11

GENERAL NOTES:

- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE FINISHED TO MATCH BUILDING. REFER TO SPECIFICATIONS.
- GENERAL CONTRACTOR TO ENSURE CONTROL JOINT PENETRATION JOINTS.
- ARCHITECTURAL FINISHES ARE COORDINATED WITH STRUCTURAL LOCATIONS. REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED.
- COORDINATE WITH INTERIOR DESIGNER FOR INTERIOR FINISHES.
- ALL DIMENSIONS ARE FROM FRAMING I.L.C.
- REFER TO A-10 FOR UNIT TABULATION.

SPECIAL USE REVIEW ONLY
FILE NUMBER
2-B-25-UR
2-C-25-DP

REVISIONS
 Revised 1/21/2025

VENTURE AT LASTER FARMS
 APARTMENTS IN KNOXVILLE, TN

FEDEX ARCHITECTS
 4595 EXCEL PRVY AVENUE, TX 75001
 214.560.8878
 fedex.com

DATE: 01/21/2025
 PROJECT: 23206
 SHEET NUMBER: A3-11
 BLDG A - 1ST FLOOR PLAN

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1 BUILDING A - FIRST FLOOR PLAN
 1/8" = 1'-0"

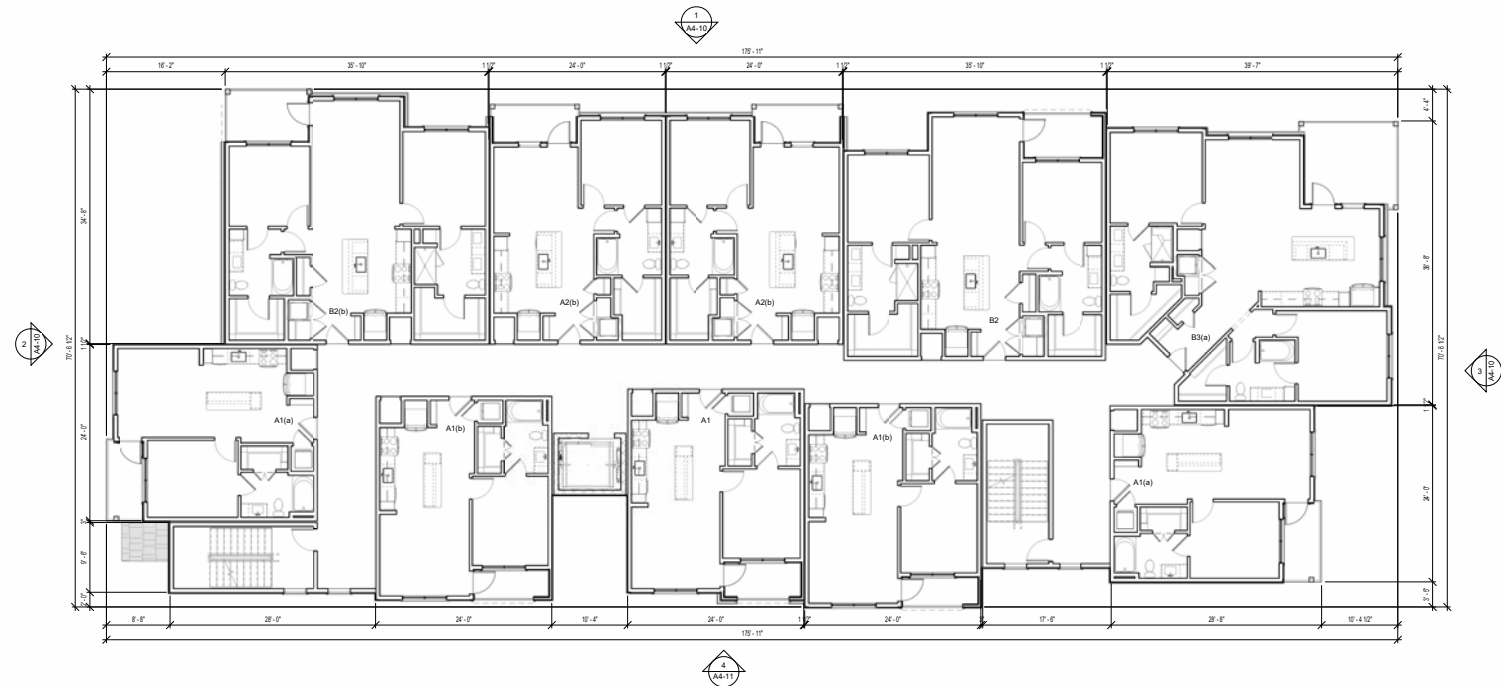
PLAN LEGEND:

FE	FIRE EXTINGUISHERS	EM	METER LOCATIONS
X	DOOR KEY	1 HOUR FIRE BARRIER	
X	WINDOW KEY	MULTI-PURPOSE UNITS	REFER TO ME
C.J.	CONTROL JOINT FLOOR, CEILING & WALLS	60" x 36" THRU ATTIC ACCESS	LOCKABLE
PH	PANIC HARDWARE	60" x 48" THRU ATTIC ACCESS	LOCKABLE
SH	STAINED CONCRETE		
F.D.	FLOOR DRIP TRAYS MUST BE FIRE PROTECTED AT FIRE RATED PENETRATIONS AT UPPER FLOOR		
			BUILDING ORIENTATION

CORRIDOR WALL FINISH
 E.S. EXTERIOR SHEATHING - REFER TO A2-11
 F.C.S. FIBER CONCRETE SIDING - REFER TO A-2-11

GENERAL NOTES:

- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE HUNG TO MATCH BUILDING. REFER TO SPECIFICATIONS.
- GENERAL CONTRACTOR TO ENSURE CONTROL EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS. REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED.
- COORDINATE WITH INTERIOR DECORATOR FOR INTERIOR FINISHES.
- ALL DIMENSIONS ARE FROM FINISHED I.F.S.
- REFER TO A6-20 FOR UNIT TABULATION.



BUILDING A - SECOND FLOOR PLAN
 1/8" = 1'-0"

SPECIAL USE REVIEW ONLY
FILE NUMBER
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VENTURE AT LASTER FARMS
 APARTMENTS IN KNOXVILLE, TN

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PROJECT
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SHEET NUMBER
A3-12

BLDG A - 2ND FLOOR PLAN

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SHEET NUMBER

A3-13
 BLDG A - 3RD FLOOR PLAN

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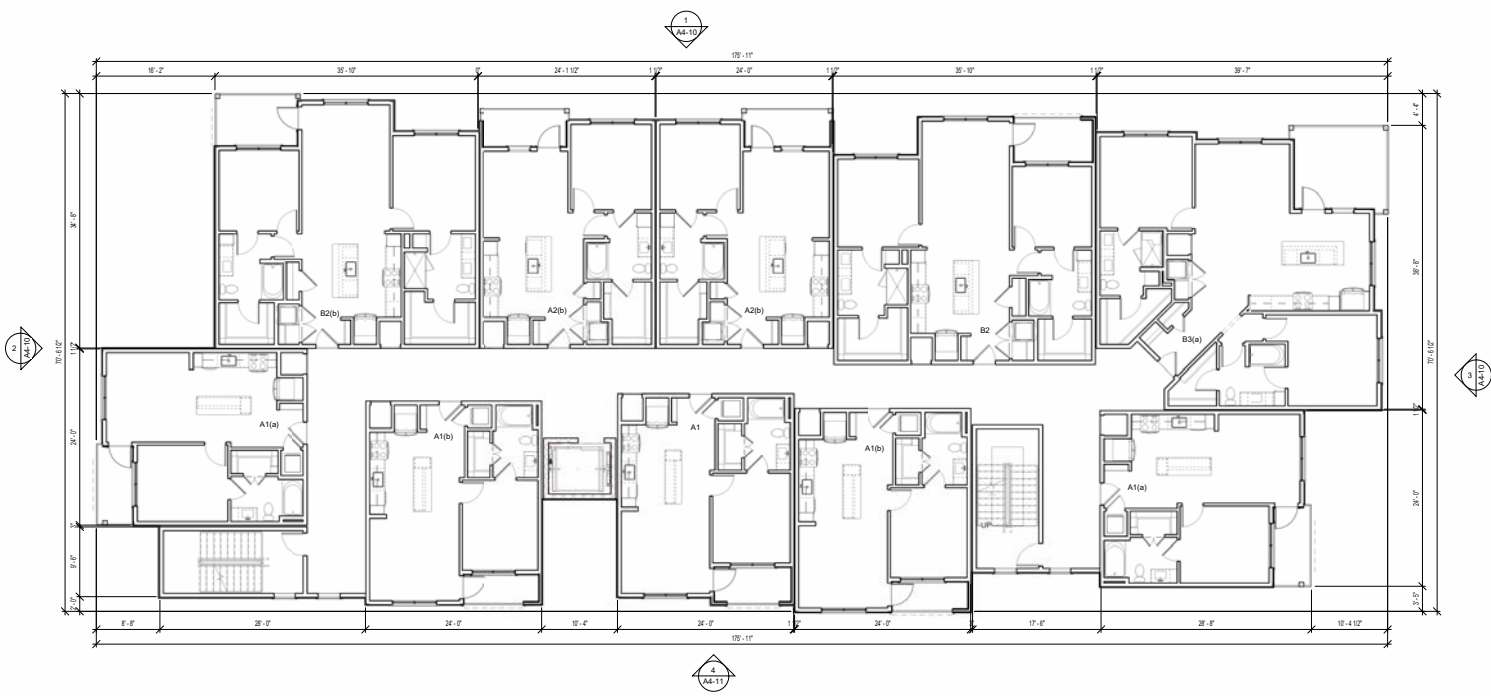
PLAN LEGEND:

FE	FIRE EXTINGUISHERS	EM	METER LOCATIONS
X	DOOR KEY	1 HOUR FIRE BARRIER	
X	WINDOW KEY	MULTI-COMPRESSOR UNITS	REFER TO MEP
C-J	CONTROL JOINT	22" X 24" THRU ATTIC ACCESS	
	FLOOR CLEANER WALLS	48" X 48" THRU ATTIC ACCESS	
PH	PANELED HARDWARE	LOCKABLE	
	STAINED CONCRETE	BUILDING ORIENTATION	
1/4" D.	FLOOR FINISH		
	MUST BE FIRE PROTECTED		
	AT FIRE RATED PENETRATIONS		
	FLOOR AND SLOPED TRUSSES		
	AT UPPER FLOOR		

CORRIDOR WALL FINISH
 E.S. EXTERIOR SHEATHING - REFER TO A3-11
 E.C.S. FINISH CONCRETE SIDING - REFER TO A-11

GENERAL NOTES:

- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE MOUNTED TO MATCH BUILDING. REFER TO SPECIFICATIONS.
- GENERAL CONTRACTOR TO ENSURE CONTROL EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS. REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED.
- COORDINATE WITH INTERIOR DESIGNER FOR INTERIOR FINISHES.
- ALL DIMENSIONS ARE FROM FINISH UNLESS NOTED.
- REFER TO A3-20 FOR UNIT TABULATION.



1 BUILDING A - THIRD FLOOR PLAN
 1/8" = 1'-0"

SPECIAL USE
REVIEW ONLY
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2-B-25-UR
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REVISIONS
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VENTURE AT LASTER FARMS
APARTMENTS IN KNOXVILLE, TN

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SHEET NUMBER

A3-14

BLDG A - 4TH FLOOR
PLAN

PLAN LEGEND:

FE	FIRE EXTINGUISHERS	EM	METER LOCATIONS
X	DOOR KEY	⊞	1 HOUR FIRE BARRIER
○	WINDOW KEY	⊞	MULTI-COMPRESSOR UNITS
C-J	CONTROL JOINT	⊞	24" X 36" THRU ATTIC ACCESS
□	FLOOR CLEARANCE WALLS	⊞	48" X 48" THRU ATTIC ACCESS
PH	PANEL HARDWARE	⊞	LOBBIES
▨	STAINED CONCRETE	⊞	BUILDING ORIENTATION
⊞	FLOOR FINISH MUST BE FIRE PROTECTED AT FIRE RATED PENETRATIONS AND SLOPED TRUSSES AT UPPER FLOORING		
⊞	SLOPED CONCRETE AT 1% FLOOR AND SLOPED TRUSSES AT UPPER FLOORING		

CORRIDOR WALL FINISH
E.S. EXTERIOR SHEATHING - REFER TO A3-11
E.C.S. FINISH CONCRETE - REFER TO A-11

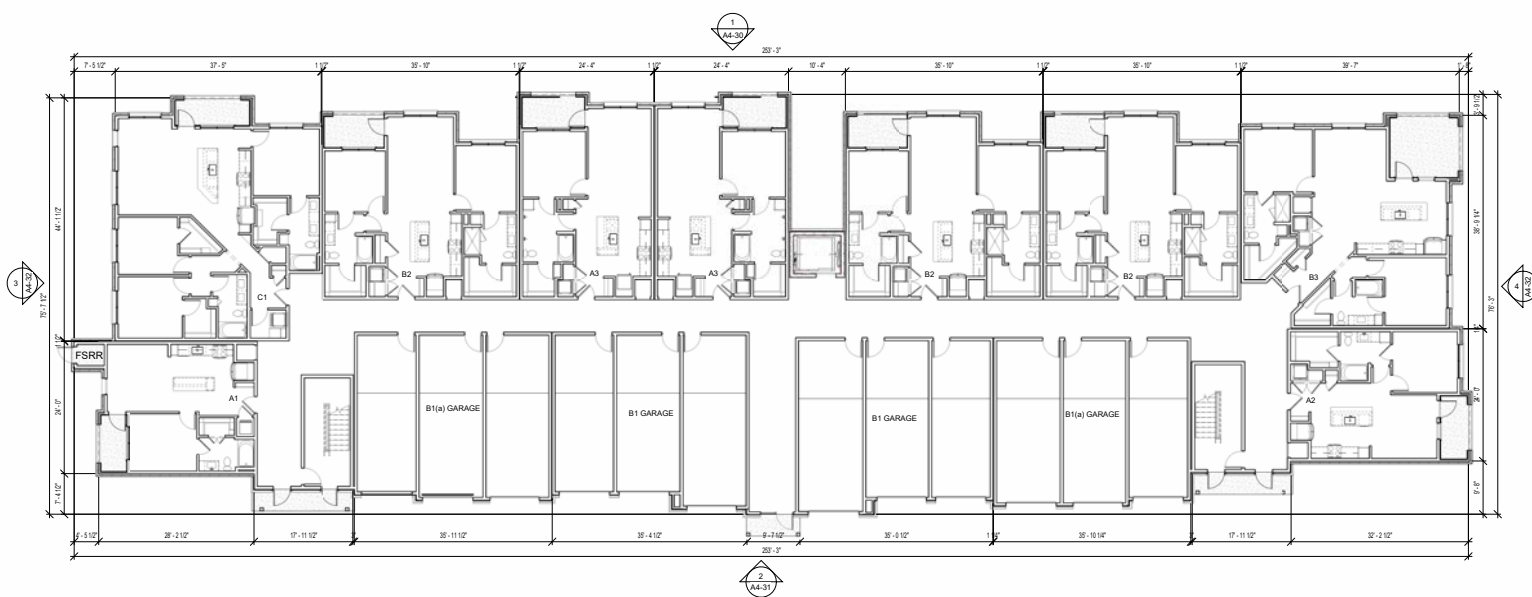
GENERAL NOTES:

- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE MOUNTED TO MATCH BUILDING - REFER TO SPECIFICATIONS
- GENERAL CONTRACTOR TO ENSURE CONTROL EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS - REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED
- COORDINATE WITH INTERIOR DECORATOR FOR INTERIOR FINISHES
- ALL DIMENSIONS ARE FROM FINISH LINE
- REFER TO A3-20 FOR UNIT TABULATION



1 BUILDING A - FOURTH FLOOR PLAN
1/8" = 1'-0"

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PLAN LEGEND:

FE	FIRE EXTINGUISHERS	EM	METER LOCATIONS
X	DOOR KEY	1 HOUR FIRE BARRIER	
X	WINDOW KEY	MULTI-POINT COMPRESSOR UNITS	REFER TO MEP
C.I.	CONTROL JOINT	60" X 36" THRU-ATTIC ACCESS	
PH	PANIC HARDWARE	48" X 36" THRU-ATTIC ACCESS	
[Hatched Box]	STAINED CONCRETE	LOOKABLE	
[Hatched Box]	SLOPED CONCRETE 48" X 36" THRU-ATTIC ACCESS	LOOKABLE	
[Hatched Box]	FLOOR FINISH MUST BE FIRE PROTECTED AT FIRE RATED PENETRATIONS		
[Hatched Box]	SLOPED CONCRETE 48" X 36" THRU-ATTIC ACCESS		
[Hatched Box]	FLOOR AND SLOPED TRUSSES AT UPPER FLOORS		
[Hatched Box]	BLDG ORIENTATION		

CORRIDOR WALL FINISH
 E.S. EXTERIOR SHEATHING - REFER TO A3-11
 F.C.S. FIRE RESIST. SIDING - REFER TO A3-11

GENERAL NOTES:

- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE INSTALLED TO MATCH BUILDING. REFER TO SPECIFICATIONS.
- GENERAL CONTRACTOR TO ENSURE CONTROL EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS. REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED.
- COORDINATE WITH INTERIOR DESIGNER FOR INTERIOR FINISHES.
- ALL DIMENSIONS ARE FROM FINISHING I.L.D.
- REFER TO A3-20 FOR UNIT TABULATION.

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VENTURE AT LASTER FARMS
 APARTMENTS IN KNOXVILLE, TN

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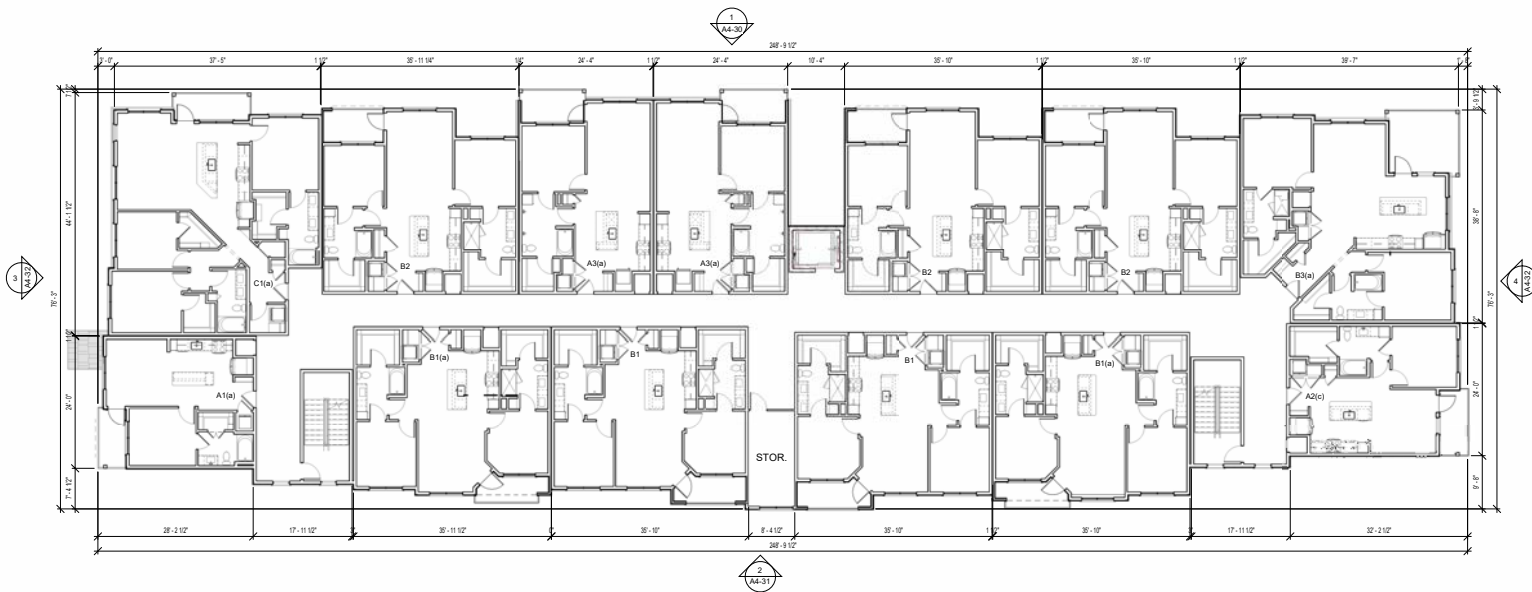
DATE
 01/21/2025

PROJECT
 23206

SHEET NUMBER
A3-31

BLDG C - 1ST FLOOR PLAN

1 BUILDING C - FIRST FLOOR PLAN
 3/32" = 1'-0"



PLAN LEGEND:

FE	FIRE EXTINGUISHERS	EM	METER LOCATIONS
DK	DOOR KEY	FW	1 HOUR FIRE BARRIER
WK	WINDOW KEY	MP	MULTI-PURPOSE UNIT REFER TO MEP
C.J.	CONTROL JOINT FLOOR CEILING & WALLS	TT	22" X 36" THRU ATTIC ACCESS LOOKABLE
PH	PANEL HARDWARE	TT	48" X 48" THRU ATTIC ACCESS LOOKABLE
SC	STAINED CONCRETE	BO	BUILDING ORIENTATION
F.D.	FLOOR FINISHES MUST BE FIRE PROTECTED AT FIRE RATED PENETRATIONS		
SL	SLOPED CONCRETE AT 10% FLOOR AND SLOPED TRUSSES AT UPPER FLOORS		

CORRIDOR WALL FINISH
 E.S. EXTERIOR SHEATHING - REFER TO A2-11
 E.C.S. EXTERIOR CLAY BRICK - REFER TO A3-11

GENERAL NOTES:

- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE INSTALLED TO MATCH BUILDING - REFER TO SPECIFICATIONS.
- GENERAL CONTRACTOR TO ENSURE CONTROL EXPANSION JOINTS.
- ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS FOR FINISH TO MATERIALS USED.
- COORDINATE WITH INTERIOR DECORATOR FOR INTERIOR FINISHES.
- ALL DIMENSIONS ARE FROM FINISHING I.A.C.D.
- REFER TO A4-20 FOR UNIT TABULATION.

SPECIAL USE REVIEW ONLY
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REVISIONS
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 PROJECT: 23206
 SHEET NUMBER: A3-32
 BLDG C - 2ND FLOOR PLAN

1 BUILDING C - SECOND FLOOR PLAN
 3/32" = 1'-0"

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SHEET NUMBER
A3-33

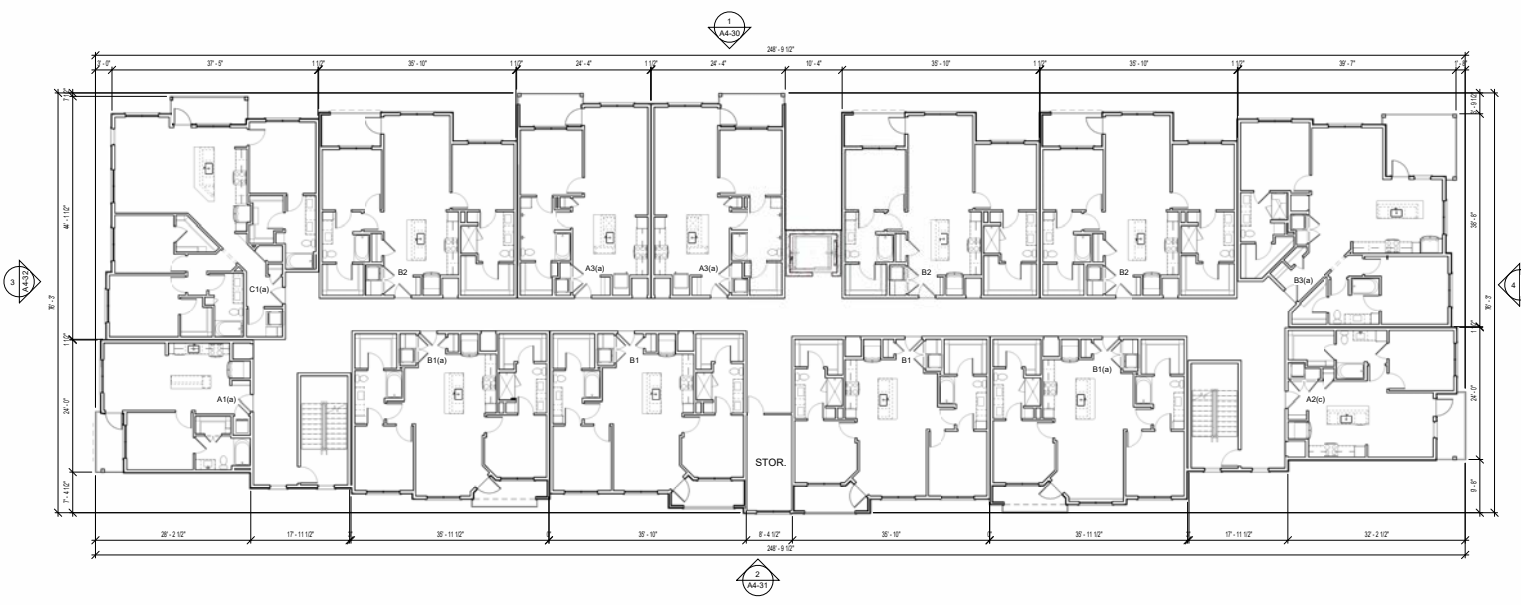
BLDG C - 3RD FLOOR
PLAN

PLAN LEGEND:

FE	FIRE EXTINGUISHERS	EM	METER LOCATIONS
X	DOOR KEY	1 HOUR FIRE RATED	1 HOUR FIRE RATED
X	WINDOW KEY	48" x 48" TRILITIC ACCESS	LOOKING UP
C.J.	CONTROL JOINT FLOOR CEILING & WALLS	48" x 48" TRILITIC ACCESS	LOOKING DOWN
PH	PANIC HARDWARE	48" x 48" TRILITIC ACCESS	LOOKING SIDE
SC	STAINED CONCRETE	48" x 48" TRILITIC ACCESS	LOOKING SIDE
F.D.	FLY COR PARTS MUST BE FIRE PROTECTED AT FIRE RATED PENETRATIONS	48" x 48" TRILITIC ACCESS	LOOKING SIDE
SC	BLIND CONCRETE 4" MIN FLOOR AND SLOPED TRUSSES AT UPPER FLOORS	48" x 48" TRILITIC ACCESS	LOOKING SIDE
	CORRIDOR WALL FINISH		
E.S.	EXTERIOR SHEATHING - REFER TO A7-11		
F.C.S.	FIBER CEMENT SIDING - REFER TO A7-11		

GENERAL NOTES:

- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE FINISHED TO MATCH BUILDING REFER TO SPECIFICATIONS
- GENERAL CONTRACTOR TO ENSURE CONTROL EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL
- LOCATIONS REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED
- COORDINATE WITH INTERIOR DESIGNER FOR INTERIOR FINISHES
- ALL DIMENSIONS ARE FROM FINISH O.C.M.
- REFER TO A6-02 FOR UNIT TABULATION



1 BUILDING C - THIRD FLOOR PLAN
3/32" = 1'-0"

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PLAN LEGEND:

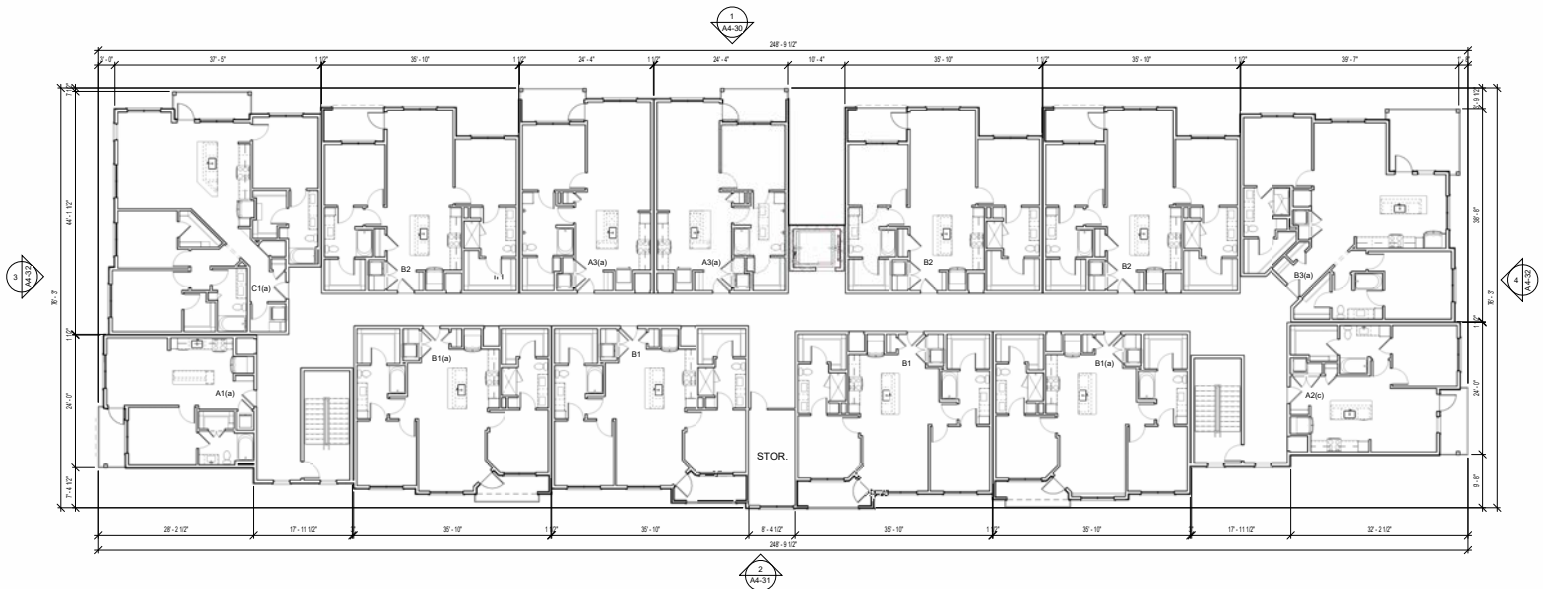
FE	FIRE EXTINGUISHERS	EM	METER LOCATIONS
X	DOOR KEY	1 HOUR FIRE RASHER	REFER TO SHEET
W	WINDOW KEY	1 HOUR FIRE RASHER	REFER TO SHEET
C.J.	CONTROL JOINT FLOOR CEILING & WALLS	48" X 48" DRILLATIC ACCESS LOCKABLE	REFER TO SHEET
PH	PANIC HARDWARE	48" X 48" DRILLATIC ACCESS LOCKABLE	REFER TO SHEET
SC	STAINED CONCRETE	48" X 48" DRILLATIC ACCESS LOCKABLE	REFER TO SHEET
F.D.	FLOOR JOISTS MUST BE FIRE PROTECTED AT FIRE RATED PENETRATIONS AT UPPER FLOORS	48" X 48" DRILLATIC ACCESS LOCKABLE	REFER TO SHEET
CC	BLINDS CONCRETE 4" HPS FLOOR AND SLOPED TRUSSES AT UPPER FLOORS	BUILDING ORIENTATION	

CORRIDOR WALL FINISH

E.S. EXTERIOR SHEATHING - REFER TO A-11
 F.C.S. FIBER CEMENT SIDING - REFER TO A-11

GENERAL NOTES:

- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE FINISHED TO MATCH BUILDING REFER TO SPECIFICATIONS
- GENERAL CONTRACTOR TO ENSURE CONTROL EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS. REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED.
- CONDITIONS WITH INTERIOR OCCUPANCY FOR INTERIOR FINISHES
- ALL DIMENSIONS ARE FROM FINISH D.I.C.
- REFER TO A0-20 FOR UNIT TABULATION



1 BUILDING C - FOURTH FLOOR PLAN
 3/32" = 1'-0"

SPECIAL USE REVIEW ONLY
FILE NUMBER
2-B-25-UR
2-C-25-DP

REVISIONS
 Revised 1/21/2025

VENTURE AT LASTER FARMS
 APARTMENTS IN KNOXVILLE, TN

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DATE
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PROJECT
 23206

SHEET NUMBER

A3-34

BLDG C - 4TH FLOOR PLAN

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PLAN LEGEND:

FE	FIRE EXTINGUISHERS	E M	METER LOCATIONS
X	DOOR KEY	1 HOUR FIRE RATED	1 HOUR FIRE RATED
X	WINDOW KEY	MANC CONDENSER UNITS	REFER TO REF
C.I.	CONTROL JOINT	2" x 2" THERMATIC ACCESS	LOOKING
PH	PANEL HARDWARE	48" x 48" THERMATIC ACCESS	LOOKING
[Symbol]	STAINED CONCRETE	[Symbol]	BUILDING ORIENTATION
F.D.	FLY POP FLASHING		
[Symbol]	WALL BEZEL PROTECTED AT FIRE RATED PENETRATIONS		
[Symbol]	STAINED CONCRETE AT 1ST FLOOR AND GLOUED TRUSSES AT UPPER FLOORS		

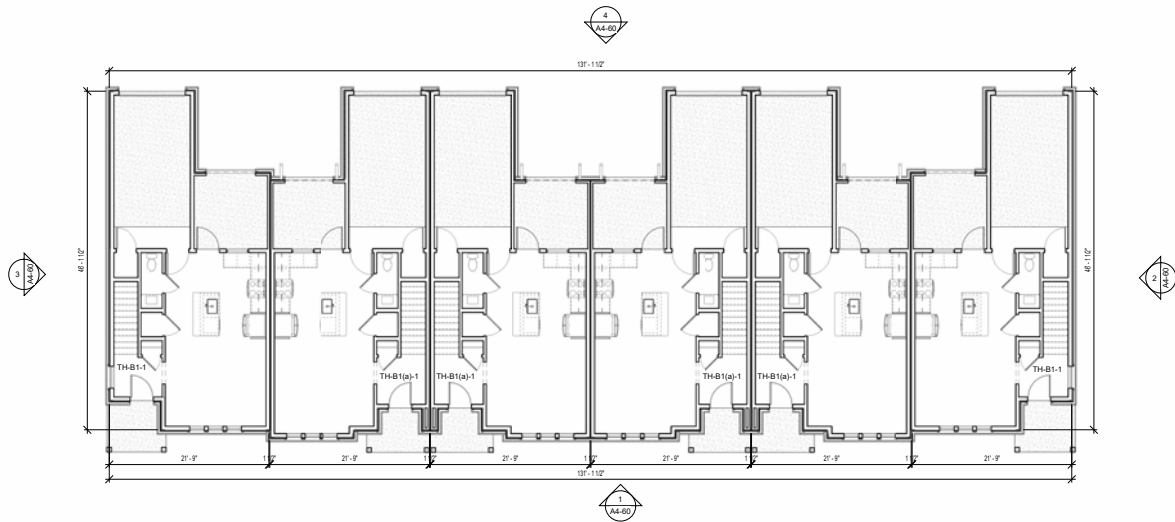
CORRIDOR WALL FINISH
 E.S. EXTERIOR SHEATHING - REFER TO A3-11
 F.C.S. FIBER CEMENT SIDING - REFER TO A-111

GENERAL NOTES:

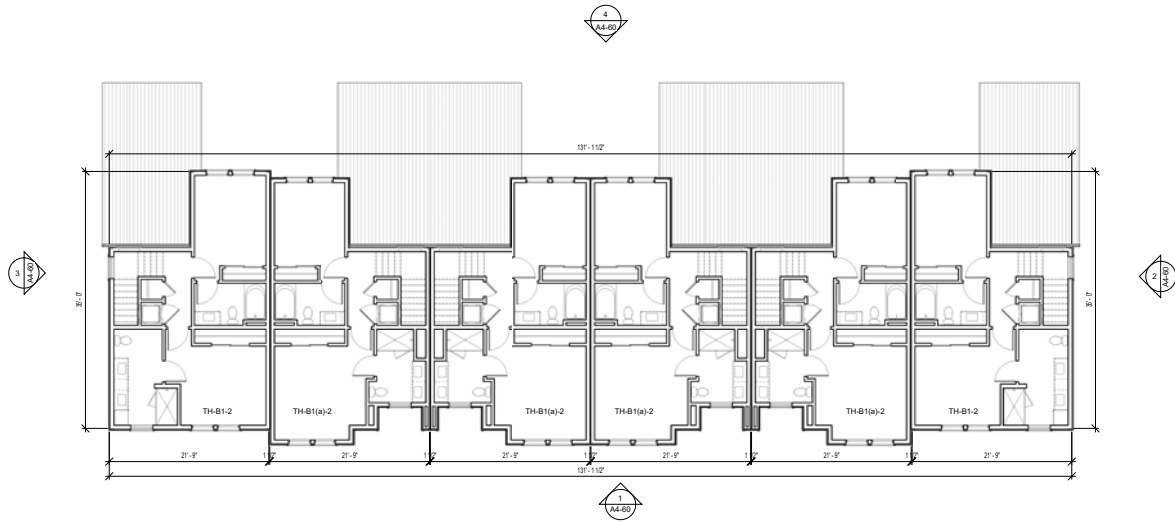
- WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE PAINTED TO MATCH BUILDING. REFER TO SPECIFICATIONS.
- GENERAL CONTRACTOR TO ENSURE CONTROL EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURE LOCATIONS. REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED.
- COORDINATE WITH INTERIOR DESIGNER FOR INTERIOR FINISHES.
- ALL DIMENSIONS ARE FROM FINISH U.L.C.
- REFER TO A6-20 FOR UNIT TABULATION.

SPECIAL USE REVIEW ONLY
FILE NUMBER
2-B-25-UR
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1 BUILDING F - FIRST FLOOR PLAN
 1/8" = 1'-0"



2 BUILDING F - SECOND FLOOR PLAN
 1/8" = 1'-0"

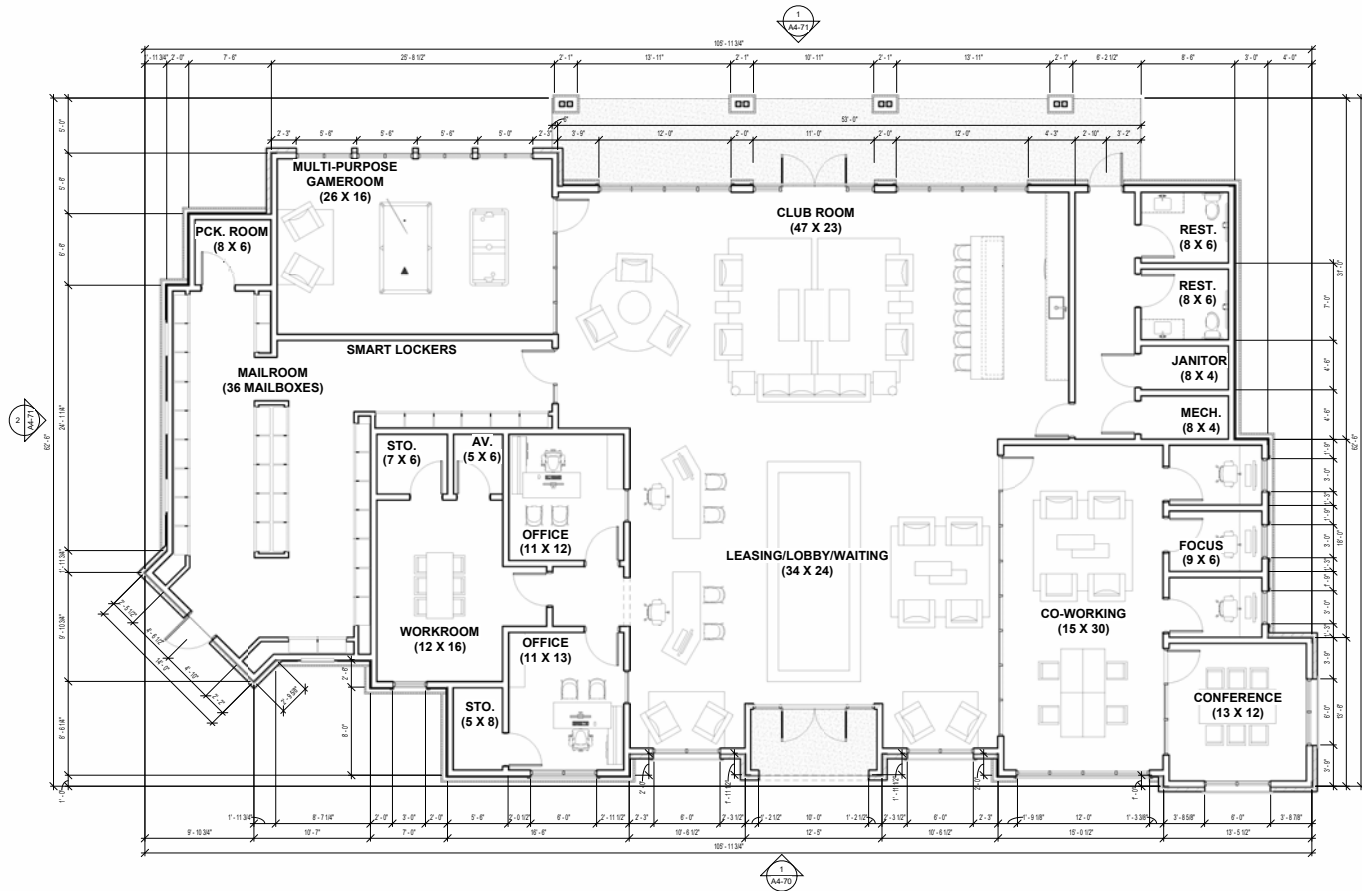
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 23206
 SHEET NUMBER

A3-61
 BLDG F - TH-B1

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PLAN LEGEND:

FE	FIRE EXTINGUISHERS	E.M.	METER LOCATIONS
X	DOOR KEY		1 HOUR FIRE BARRIER
W	WINDOW KEY		HVAC CONDENSER UNITS REFER TO MEP
C.J.	CONTROL JOINT FLOOR CEILING & WALLS		20" x 30" TYPICAL ATTIC ACCESS LOCATION
PH	PANIC HARDWARE		48" x 48" TYPICAL ATTIC ACCESS LOCATION
	STAINED CONCRETE		BUILDING ORIENTATION
F.D.	RY-POP FRAMING MUST BE FIRE PROTECTED AT FIRE RATED PENETRATIONS		
	BULKY CONCRETE AT 1ST FLOOR AND SLORED TRUSSES AT UPPER FLOORS		

CORRIDOR WALL FINISH
 S.S. EXTERIOR SHEATHING - REFER TO A3-11
 F.C.S. FIBER CEMENT SIDING - REFER TO A3-11

GENERAL NOTES:
 * WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE HANGED TO MEET TO BUILDING REFER TO SPECIFICATIONS.
 * GENERAL CONTRACTOR TO ENSURE CONTROL EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL REQUIREMENTS.
 * COORDINATE WITH INTERIOR DESIGNER FOR INTERIOR FINISHES.
 * ALL DIMENSIONS ARE FROM FRAMING U.A.C.
 * REFER TO A3-07 FOR UNIT TOLERANCE.

1 LEASING PLAN
 3/16" = 1'-0"

BUILDING FOOTPRINT AREA - 5686 SQ. FT.
 CONDITIONED AREA - 5041 SQ. FT.

SPECIAL USE REVIEW ONLY
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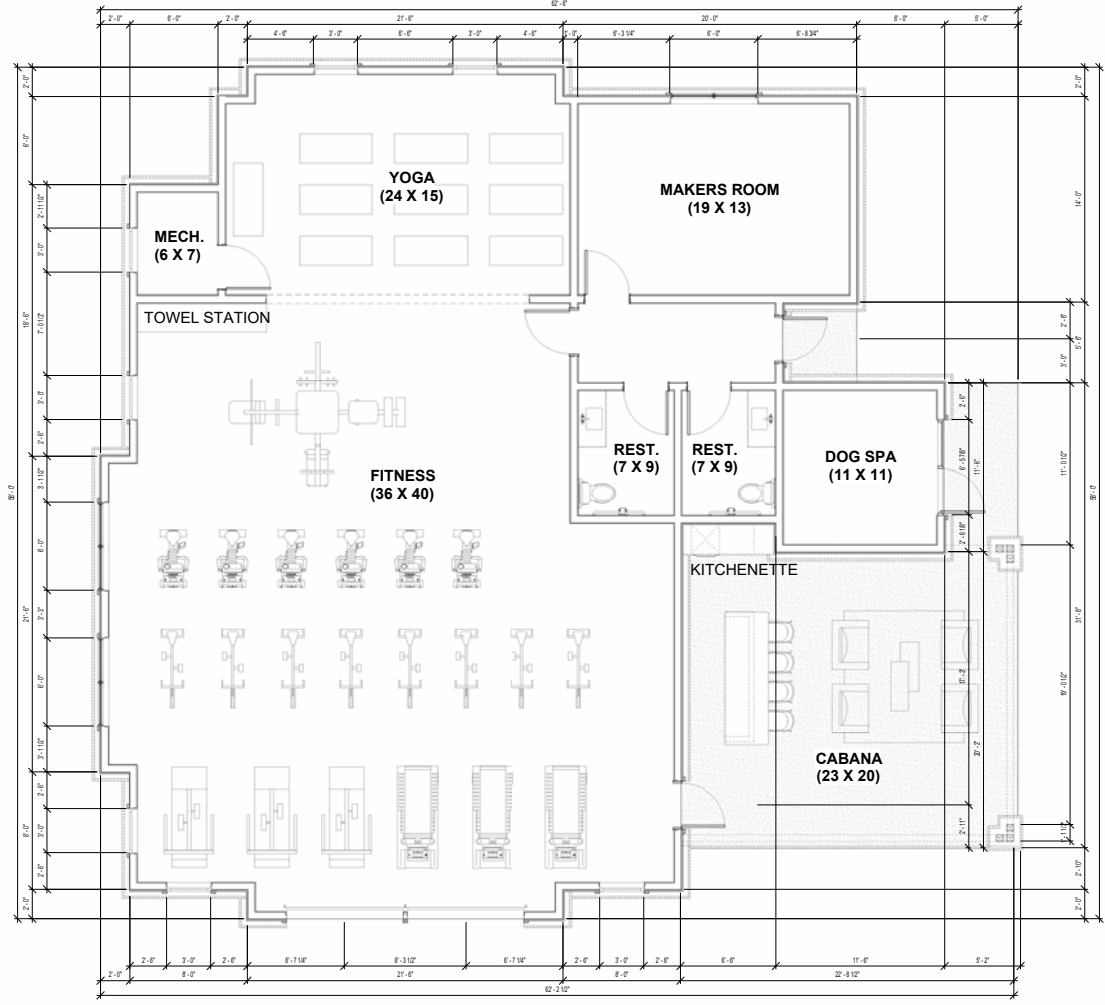
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VENTURE AT LASTER FARMS
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DATE: 01/21/2025
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 SHEET NUMBER: A3-71
 LEASING/CLUB

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PLAN LEGEND:

FE	FIRE EXTINGUISHERS	E.M.	METER LOCATIONS
X	DOOR KEY		1 HOUR FIRE BARRIER
X	WINDOW KEY		HVAC CONDENSER UNITS REFER TO MEP
C.J.	CONTROL JOINT FLOOR CEILING & WALLS		20" X 30" THERMATIC ACCESS LOOKING
PH	PANIC HARDWARE		48" X 48" THERMATIC ACCESS LOOKING
	STAINED CONCRETE		BUILDING ORIENTATION
P.F.	RY-ROOF FLASHING MUST BE USED PROTECTED AT FIRE RATED PENETRATIONS		
	BULKY CONCRETE AT 1ST FLOOR AND SLOPED TRUSSES AT UPPER FLOORS		

CORRIDOR WALL FINISH
 D.S. EXTERIOR SHEATHING - REFER TO A3-11
 F.C.S. FIBER CEMENT SIDING - REFER TO A3-11

GENERAL NOTES:
 * WALL MOUNTED SERVICE EQUIPMENT AND SERVICE LINES TO BE HANGED TO BAY TO BUILDING - REFER TO SPECIFICATIONS
 * GENERAL CONTRACTOR TO ENSURE CONTROL & EXPANSION JOINTS IN ARCHITECTURAL FINISH ARE COORDINATED WITH STRUCTURAL LOCATIONS. REFER TO MANUFACTURER FOR SPECIFIC REQUIREMENTS PERTAINING TO MATERIALS USED.
 * COORDINATE WITH INTERIOR DESIGNER FOR INTERIOR FINISHES
 * ALL DIMENSIONS ARE FROM FINISH UNLESS NOTED OTHERWISE
 * REFER TO A3-01 FOR UNIT TABULATION

1 FITNESS BUILDING
 1/4" = 1'-0"

BUILDING FOOTPRINT AREA - 3074 SQ. FT.
 CONDITIONED AREA - 2518 SQ. FT.

**SPECIAL USE
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VENTURE AT LASTER FARMS
 APARTMENTS IN KNOXVILLE, TN

**FEDEX
 ARCHITECTS**
 4595 EXCEL PRVY ADDISON, TX 75001
 214.560.6878
 fedex.com

DATE
 01/21/2025

PROJECT
 23206

SHEET NUMBER
 A3-81

FITNESS

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5 6-CAR GARAGE LEFT
1/4" = 1'-0"



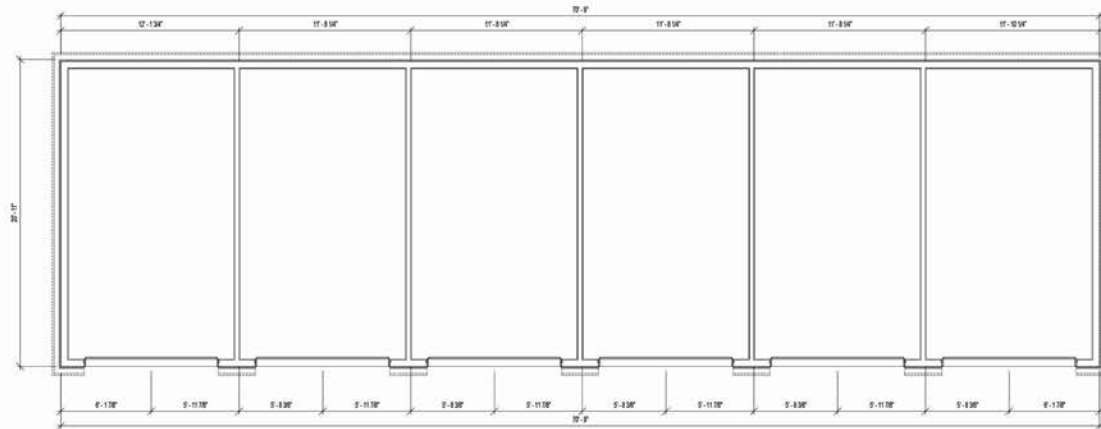
3 6-CAR GARAGE BACK
1/4" = 1'-0"



4 6-CAR GARAGE RIGHT
1/4" = 1'-0"



2 6-CAR GARAGE FRONT
1/4" = 1'-0"



1 6-CAR GARAGE FLOORPLAN
1/4" = 1'-0"

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2-B-25-JR
2-C-25-DP

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VENTURE AT LASTER FARMS
APARTMENTS IN KNOXVILLE, TN

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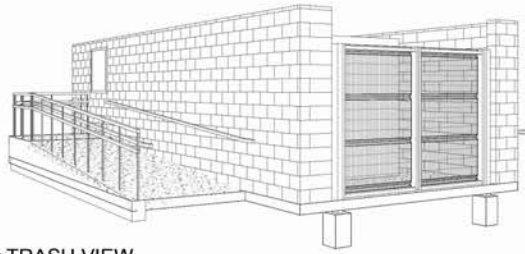
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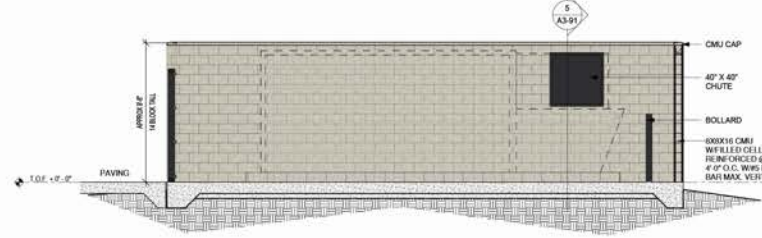
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6 CAR GARAGE

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9 TRASH VIEW



6 TRASH SECTION
1/4" = 1'-0"

LEGEND

<ul style="list-style-type: none"> PLAN METEOROLOGICAL FLOOR FINISH VEHICULAR ENTRY PEDESTRIAN ENTRY BUILDING ORIENTATION 	<ul style="list-style-type: none"> CONCRETE BLOCK FINISH SLATED CONCRETE CONCRETE BLOCK FINISH MEDIUM GYPSUM (2" OF FINISH GYPSUM) INDICATES DROP ELEVATION INDICATES FLOOR SLOPE (SHOW UNPAVED FLOOR BANK OF PAVED FLOOR)
--	--

FORMING NOTES:

- REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR FOUNDATION REQUIREMENTS
- CONTRACTOR SHALL COORDINATE STRUCTURE AND ARCHITECTURAL FINISHES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH INSTALLATION OF STRUCTURAL MEMBERS
- MAX. SLOPE IS 1/4" PER FOOT AT LOCATIONS INDICATED IN PLAN
- ARCHITECT INDICATES ORIENTATION OF SLOPE DOWN
- UNDERMINAL EDGE OF CONCRETE INDICATED WITHIN 1' NEAR WALL (SHOW FLOOR FLOOR)
- SLURRY CONCRETE IN CONCRETE BLOCK WALLS OF INTERIOR LOCUS
- COORDINATE CONTROL JAMB IN ARCHITECTURAL FINISH WITH STRUCTURAL

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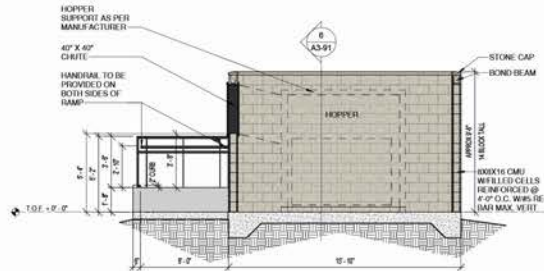
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GENERAL NOTES:

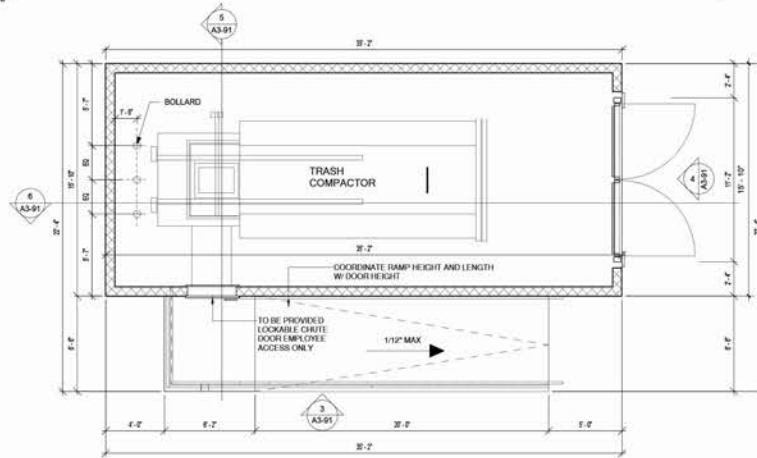
- SEE TO CONFIRM SIZE OF COMPACTOR CLEARANCE WITH WASTE PROVIDER
- ADJUST HEIGHT ABOVE GRADE IN FIELD TO ALLOW FOR GATE SWING INTO SLOPE
- HORSE BIRTS TO BE LOCATED ON THE INTERIOR WALL OF THE ENCLOSURE

GENERAL NOTES:

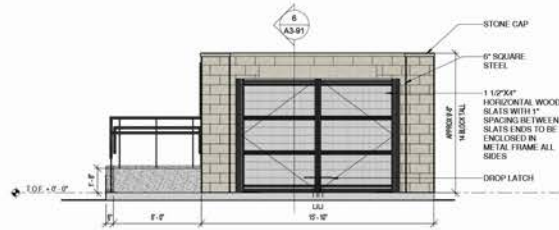
- EXTEND HEAVY COMPACTOR PAD 20' AT GATE END FOR LIFT TRUCKS WEIGHT



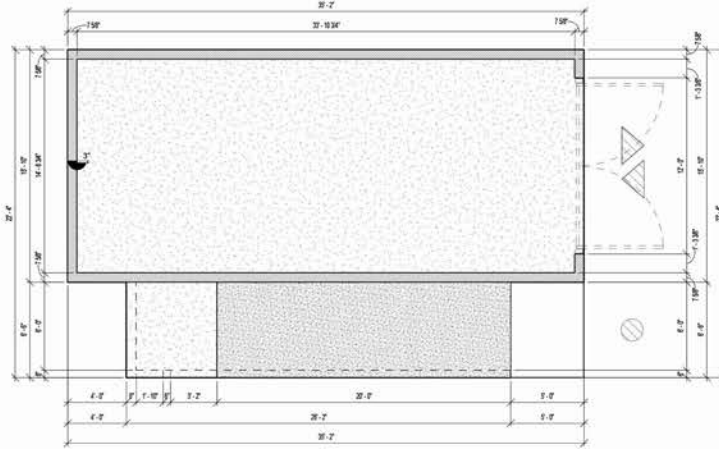
5 TRASH SECTION
1/4" = 1'-0"



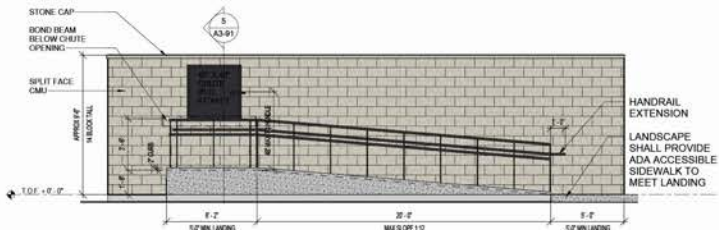
2 TRASH
1/4" = 1'-0"



4 GATE FRONT ELEVATION
1/4" = 1'-0"



1 TRASH - FORMING
1/4" = 1'-0"



3 ELEVATION CHUTE SIDE
1/4" = 1'-0"

NOTE: HOLE IN WALL TO BE 41"X41" SECURITY DOOR FITS WALLS FROM 6 TO 14 INCHES THICK

CHUTE DOOR HARDWARE IS LEVER TYPE MOUNTED WITHIN 48" AFF.

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TRASH COMPACTOR

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APARTMENTS IN KNOXVILLE, TN

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A4-10

ELEVATION BLDG A

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MATERIALS KEY		LEGEND	
FACADE TREATMENT MATERIALS		ELECTRIC METER LOCATION	
FCP	FIBER CEMENT PANEL	WALL PACK	
LPS	FIBER CEMENT LAP BOARD 4" EXPOSURE	EXT. SOUNICE	
B&B	BOARD & BATTEN	BLDG. SIGNAGE	
BK	BRICK		
SH	SHINGLES		
ROOF	30 YR COMP. (30 LB)		

NOTES	
MATERIALS SHALL BE CONTIGUOUS AT EXTERIOR CORNERS AND TRANSITION AT INTERIOR CORNERS.	
WALL MOUNTED EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW FROM A STREET OR PARKING AREA, AND ON A MINIMUM OF THREE SIDES EXPOSED CONDUIT, LADDERS, UTILITY BOXES AND DRAIN SPOUTS MUST BE PAINTED TO MATCH THE COLOR OF THE PRINCIPAL STRUCTURE. NATURAL METALIC FINISHES ARE ACCEPTABLE ALTERNATIVE TO PAINT.	
PROVIDE CITY FIRE DEPARTMENT DIRECTIONAL SIGNAGE FOR BLDG NUMBER REQUIREMENTS.	
REFER TO SITE PLAN FOR ANS/UNIT LOCATIONS.	



1 BUILDING A - FRONT ELEVATION
1/8" = 1'-0"



2 BUILDING A - RIGHT SIDE ELEVATION
1/8" = 1'-0"



3 BUILDING A - LEFT SIDE ELEVATION
1/8" = 1'-0"

MATERIALS KEY		LEGEND	
FACADE TREATMENT MATERIALS			ELECTRIC METER LOCATION
	FCP FIBER CEMENT PANEL		WALL PACK
	LPS FIBER CEMENT LAP SINGS 6" EXPOSURE		EXT. SCONCE
	BBB BOARD & BATTEN		BLDG. SIGNS
	BK BRICK		
	ROOF SHINGLES 30 YR COMP. (20 LB)		

NOTES	
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* REFER TO SITE PLAN FOR AND UNIT LOCATIONS	

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 APARTMENTS IN KNOXVILLE, TN



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ELEVATION BLDG A

4 BUILDING A - REAR ELEVATION
 1/8" = 1'-0"

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1 BUILDING B - FRONT ELEVATION
1/16" = 1'-0"

MATERIALS KEY		LEGEND	
FACADE TREATMENT			
MATERIALS			
FCP	FIBER CEMENT PANEL	[Symbol]	ELECTRIC METER LOCATION
LPS	FIBER CEMENT LAP SIDING 6" EXPOSURE	[Symbol]	WALL PACK
BSB	BOARD & BATTEN	[Symbol]	EXT. SCONCE
BR	BRICK	[Symbol]	BLOG STORAGE
ROG	SHINGLES 30 YR COMP. (20 LB)	[Symbol]	NOTES

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WALL MOUNTED EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW FROM A STREET OR PARKING AREA, AND ON A MINIMUM OF THREE SIDES EXPOSED CONDUIT, LADDERS, UTILITY BOXES AND DRAIN SPOTS MUST BE PAINTED TO MATCH THE COLOR OF THE PRINCIPAL STRUCTURE. NATURAL METALIC FINISHES ARE ACCEPTABLE ALTERNATIVE TO PAINT.
* PROVIDE CITY FIRE DEPARTMENT DIRECTIONAL SIGNAGE FOR BLOG NUMBER REQUIREMENTS.
* REFER TO SITE PLAN FOR ANS/ UNIT LOCATIONS

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1a BUILDING B - FRONT ELEVATION - SECTION A
1/8" = 1'-0"



1b BUILDING B - FRONT ELEVATION - SECTION B
1/8" = 1'-0"

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ELEVATION BLDG B

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MATERIALS KEY		LEGEND	
FACADE TREATMENT			
MATERIALS			
FCP	FIBER CEMENT PANEL	EM	ELECTRIC METER LOCATION
LPS	FIBER CEMENT LAP SIDING 8" EXPOSURE	WP	WALL PACK
BSB	BOARD & BATTEN	ES	EXT. SCIENCE
BK	BRICK	BLSG	BLDG. SIGNAGE
SH	SHINGLES 30 YR COMP. (30 LB)	A	T.O.H. = TOP OF HEEL
		T.O.P.	T.O.P. = TOP OF PLATE
		T.O.D.	T.O.D. = TOP OF DECKING
		T.O.F.	T.O.F. = TOP OF FOUNDATION
NOTES			
* MATERIALS SHALL BE CONTINUOUS AT EXTERIOR CORNERS AND TRANSITION AT INTERIOR CORNERS.			
WALL MOUNTED EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW FROM A STREET OR PARKING AREA, AND ON A MINIMUM OF THREE SIDES. EXPOSED CONDUIT, LADDERS, UTILITY BOXES AND DRAIN BRICHTS MUST BE PAINTED TO MATCH THE COLOR OF THE PRINCIPAL STRUCTURE. NATURAL METALLIC FINISHES ARE ACCEPTABLE ALTERNATIVE TO PAINT.			
* PROVIDE CITY FIRE DEPARTMENT DIRECTIONAL SIGNAGE FOR BLDG NUMBER REQUIREMENTS.			
* REFER TO SITE PLAN FOR ANDI UNIT LOCATIONS			

2 BUILDING B - REAR ELEVATION
1/16" = 1'-0"



2a BUILDING B - REAR ELEVATION - SECTION A
1/8" = 1'-0"



2b BUILDING B - REAR ELEVATION - SECTION B
1/8" = 1'-0"

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A4-21
ELEVATION BLDG B

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MATERIALS KEY		LEGEND	
FACADE TREATMENT MATERIALS		ELECTRIC METER LOCATION	
FCP	FIBER CEMENT PANEL	WALL PACK	
LPS	FIBER CEMENT LAP SIDING P EXPOSURE	EXT. SCONCE	
BSB	BOARD & BATTEN	BLDG.	BLDG. SIGNAGE
BK	BRICK	A	
ROOF	SHINGLES 30 YR COMP. (20 LB)	T.O.H.	TOP OF HEEL
		T.O.P.	TOP OF PLATE
		T.O.D.	TOP OF DECKING
		T.O.F.	TOP OF FOUNDATION
		NOTES	
		MATERIALS SHALL BE CONTINUOUS AT EXTERIOR CORNERS AND TRANSITION AT INTERIOR CORNERS.	
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ELEVATION BLDG B

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3 BUILDING B - RIGHT SIDE ELEVATION
 1/8" = 1'-0"



4 BUILDING B - LEFT SIDE ELEVATION
 1/8" = 1'-0"



1 BUILDING C - FRONT ELEVATION
1/16" = 1'-0"

MATERIALS KEY		LEGEND	
FACADE TREATMENT MATERIALS		ELECTRIC METER LOCATION	
FCF	FIBER CEMENT PANEL	WALL PACK	
LPS	FIBER CEMENT LAP SIDING & EXPOSURE	EXT. STORAGE	
BSB	BOARD & BATTEN	BLDG. STORAGE	
BR	BRICK		
ROOF	SHINGLES 30 YR COMP. (30 LBS)		

NOTES	
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WALL MOUNTED EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW FROM A STREET OR PARKING AREA, AND ON A MINIMUM OF THREE SIDES EXPOSED CONDUIT LADDERS, UTILITY BOXES AND DRAIN SPOUTS MUST BE PAINTED TO MATCH THE COLOR OF THE PRINCIPAL STRUCTURE. NATURAL METALLIC FINISHES ARE ACCEPTABLE ALTERNATIVE TO PAINT.	
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* REFER TO SITE PLAN FOR AND UNIT LOCATIONS	

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1a BUILDING C - FRONT ELEVATION - SECTION A
1/8" = 1'-0"



1b BUILDING C - FRONT ELEVATION - SECTION B
1/8" = 1'-0"

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ELEVATION BLDG C

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2 BUILDING C - REAR ELEVATION
1/16" = 1'-0"

MATERIALS KEY		LEGEND	
FACADE TREATMENT			
MATERIALS			
FCP	FIBER CEMENT PANEL	ELECTRIC METER LOCATION	
LPS	FIBER CEMENT LAP SIDING 4" EXPOSURE	WALL PACK	
BSB	BOARD & BATTEN	EXT. SCIENCE	
BK	BRICK	BLOGG SIGNAGE	
ROOF	SHINGLES 30 YR COMP (30 LB)		
NOTES			
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* PROVIDE CITY FIRE DEPARTMENT DIRECTIONAL SIGNAGE FOR BLDG NUMBER REQUIREMENTS.			
* REFER TO SITE PLAN FOR ANSI UNIT LOCATIONS.			

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2a BUILDING C - REAR ELEVATION - SECTION A
1/8" = 1'-0"



2b BUILDING C - REAR ELEVATION - SECTION B
1/8" = 1'-0"

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MATERIALS KEY	LEGEND	
FACADE TREATMENT MATERIALS		
FCP	FIBER CEMENT PANEL	ELECTRIC METER LOCATION
LPS	FIBER CEMENT LAP SIDING F' EXPOSURE	WALL PACK
B&B	BOARD & BATTEN	EXT. SCIENCE
BK	BRICK	BLDG. SIGNAGE
ROOF	SHINGLES 30 YR COMP (30 LR)	NOTES
		<ul style="list-style-type: none"> * MATERIALS SHALL BE CONTINUOUS AT EXTERIOR CORNERS AND TRANSITION AT INTERIOR CORNERS. * WALL MOUNTED EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW FROM A STREET OR PARKING AREA, AND ON A MINIMUM OF THREE SIDES EXPOSED CONDUIT. * LADDERS, UTILITY BOXES AND DRAIN SPOUTS MUST BE PAINTED TO MATCH THE COLOR OF THE PRINCIPAL STRUCTURE. NATURAL METALIC FINISHES ARE ACCEPTABLE ALTERNATIVE TO PAINT. * PROVIDE CITY FIRE DEPARTMENT DIRECTIONAL SIGNAGE FOR BLDG NUMBER REQUIREMENTS. * REFER TO SITE PLAN FOR ANSI UNIT LOCATIONS

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3 BUILDING C - RIGHT SIDE ELEVATION
1/8" = 1'-0"



4 BUILDING C - LEFT SIDE ELEVATION
1/8" = 1'-0"



MATERIALS KEY		LEGEND	
FACADE TREATMENT			ELECTRIC METER LOCATION
MATERIALS			WALL PACK
FCP	FIBER CEMENT PANEL		EXT. SCONCE
LPS	FIBER CEMENT LAP SIDING 8" EXPOSURE		BLDG. SIGNAGE
BSB	BOARD & BATTEN		
BK	BRICK		
ROOF	SHINGLES 30 YR COMP. (30 LB)		

NOTES	
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REFER TO SITE PLAN FOR ANS/UNIT LOCATIONS.	

1 BUILDING D - FRONT ELEVATION
3/16" = 1'-0"



2 BUILDING D - RIGHT SIDE ELEVATION
3/16" = 1'-0"



3 BUILDING D - LEFT SIDE ELEVATION
3/16" = 1'-0"



4 BUILDING D - REAR ELEVATION
3/16" = 1'-0"

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ELEVATION BLDG D

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MATERIALS KEY		LEGEND	
FACADE TREATMENT		ELECTRIC METER LOCATION	
MATERIALS		WALL PACK	
PCP	FIBER CEMENT PANEL	EXT. SCIENCE	
LPS	FIBER CEMENT LAP SIDING 6" EXPOSURE	BLDG. SIGNAGE	
BAB	BOARD & BATTEN	BLDG. A	
BR	BRICK	T.O.H. = TOP OF HEEL	
ROOF	SHINGLES 30 YR COMP (30 LBI)	T.O.P. = TOP OF PLATE	
		T.O.D. = TOP OF DECKING	
		T.O.F. = TOP OF FOUNDATION	
NOTES		MATERIALS SHALL BE CONTIGUOUS AT EXTERIOR CORNERS AND TRANSITION AT INTERIOR CORNERS.	
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		*PROVIDE CITY FIRE DEPARTMENT DIRECTIONAL SIGNAGE FOR BLDG NUMBER REQUIREMENTS	
		**REFER TO SITE PLAN FOR AHD UNIT LOCATIONS	

1 BUILDING E - FRONT ELEVATION
3/16" = 1'-0"



2 BUILDING E - RIGHT SIDE ELEVATION
3/16" = 1'-0"



3 BUILDING E - LEFT SIDE ELEVATION
3/16" = 1'-0"



4 BUILDING E - REAR ELEVATION
3/16" = 1'-0"

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ELEVATION BLDG E

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MATERIALS KEY		LEGEND	
FACADE TREATMENT MATERIALS		ELECTRIC METER LOCATION	
FCP	FIBER CEMENT PANEL	WALL PACK	
LPS	FIBER CEMENT LAP SIDING w/ EXPOSURE	EXT. SCONCE	
B&B	BOARD & BATTEN	BLDG. SIGNAGE	
BR	BRICK		
SH	SHINGLES 30 YR COMP (30 LBI)		

NOTES	
T.O.H.	TOP OF HEEL
T.O.P.	TOP OF PLATE
T.O.D.	TOP OF DECKING
T.O.F.	TOP OF FOUNDATION
<ul style="list-style-type: none"> MATERIALS SHALL BE CONTINUOUS AT EXTERIOR CORNERS AND TRANSITION AT INTERIOR CORNERS WALL MOUNTED EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW FROM A STREET OR PARKING AREA, AND ON A MINIMUM OF THESE SIDES. EXPOSED CONDUIT, LADDERS, UTILITY BOXES AND DRAIN SPOUTS MUST BE PAINTED TO MATCH THE COLOR OF THE PRINCIPAL STRUCTURE. NATURAL METALIC FINISHES ARE ACCEPTABLE ALTERNATIVE TO PAINT. PROVIDE CITY FIRE DEPARTMENT DIRECTIONAL SIGNAGE FOR BLDG NUMBER REQUIREMENTS. REFER TO SITE PLAN FOR AMS UNIT LOCATIONS 	

1 BUILDING F - FRONT ELEVATION
3/16" = 1'-0"



2 BUILDING F - RIGHT SIDE ELEVATION
3/16" = 1'-0"



3 BUILDING F - LEFT SIDE ELEVATION
3/16" = 1'-0"



4 BUILDING F - REAR ELEVATION
3/16" = 1'-0"

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2-B-25-JR
2-C-25-DP

REVISIONS
Revised 1/21/2025

VENTURE AT LASTER FARMS
APARTMENTS IN KNOXVILLE, TN

FEDK ARCHITECTS
4695 EXCEL PKWY, ADDISON, TX 75001
214.560.8878
fedk.com

DATE
01/21/2025

PROJECT
23206

SHEET NUMBER
A4-60

ELEVATION BLDG F

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2 LEASING - RIGHT
1/4" = 1'-0"



1 LEASING - FRONT
1/4" = 1'-0"

MATERIALS KEY		LEGEND	
FACADE TREATMENT		ELECTRIC METER LOCATION	
MATERIALS		WALL PACK	
FCF	FIBER CEMENT PANEL	EXT. SCIENCE	
LPS	FIBER CEMENT LAP SIDING 6" EXPOSURE	BLOG	BLOG STORAGE
B&B	BOARD & BATTEN	A	
BK	BRICK	NOTES	
ROOF	SHINGLES 30 YR COMP (30 LB)	* MATERIALS SHALL BE CONTINUOUS AT EXTERIOR CORNERS AND TRANSITION AT INTERIOR CORNERS. WALL MOUNTED EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW FROM A STREET OR PARKING AREA, AND ON A MINIMUM OF THREE SIDES EXPOSED CONDUIT. LOADERS, UTILITY BOXES AND DRAIN SPOUTS MUST BE PAINTED TO MATCH THE COLOR OF THE PRINCIPAL STRUCTURE. NATURAL METALLIC FINISHES ARE ACCEPTABLE ALTERNATIVE TO PAINT. * PROVIDE CITY FIRE DEPARTMENT DIRECTIONAL SIGNAGE FOR BLOG NUMBER REQUIREMENTS. * REFER TO SITE PLAN FOR AND UNIT LOCATIONS.	
		T.O.H.	TOP OF HEEL
		T.O.P.	TOP OF PLATE
		T.O.D.	TOP OF DECKING
		T.O.F.	TOP OF FOUNDATION

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VENTURE AT LASTER FARMS
APARTMENTS IN KNOXVILLE, TN

FEDK ARCHITECTS
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DATE
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PROJECT
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SHEET NUMBER
A4-70

CLUB ELEVATION

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2 LEASING - LEFT
1/4" = 1'-0"



1 LEASING - BACK
1/4" = 1'-0"

MATERIALS KEY		LEGEND	
FACADE TREATMENT		ELECTRIC METER LOCATION	
MATERIALS		WALL PACK	
FCP	FIBER CEMENT PANEL	EXT. SCIENCE	
LPS	FIBER CEMENT LAP SIDING 6" EXPOSURE	BLDG. SIGNAGE	
BAB	BOARD & BATTEN	A.	
BK	BRICK	T.O.H. = TOP OF HEEL	
ROOF	SHINGLES 30 YR COMP (30 LB)	T.O.P. = TOP OF PLATE	
		T.O.D. = TOP OF DECKING	
		T.O.F. = TOP OF FOUNDATION	
		NOTES	
		* MATERIALS SHALL BE CONTINGENT AT EXTERIOR CORNERS AND TRANSITION AT INTERIOR CORNERS	
		WALL MOUNTED EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW FROM A STREET OR PARKING AREA, AND ON A MINIMUM OF THREE SIDES. EXPOSED CONDUIT, LADDERS, UTILITY BOXES AND DRAIN SPOUTS MUST BE PAINTED TO MATCH THE COLOR OF THE PRINCIPAL STRUCTURE. NATURAL METALLIC FINISHES ARE ACCEPTABLE ALTERNATIVE TO PAINT.	
		* PROVIDE CITY FIRE DEPARTMENT DIRECTIONAL SIGNAGE FOR BLDG NUMBER REQUIREMENTS.	
		* REFER TO SITE PLANS FOR ANSI UNIT LOCATIONS.	

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VENTURE AT LASTER FARMS
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SHEET NUMBER
A4-71

CLUB ELEVATION

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MATERIALS KEY		LEGEND	
FACADE TREATMENT		ELECTRIC METER LOCATION	
MATERIALS		WALL PACK	
FCP	FIBER CEMENT PANEL	EXT. SIGNAGE	
LPS	FIBER CEMENT LAP SIDING 8" EXPOSURE	BLDG. SIGNAGE	
BB	BOARD & BATTEN	A.	
BK	BRICK	T.O.H. = TOP OF HEEL	
ROOF	SHINGLES 30 YR COMP. (30 LR)	T.O.P. = TOP OF PLATE	
		T.O.D. = TOP OF DECKING	
		T.O.F. = TOP OF FOUNDATION	
		NOTES	
		* MATERIALS SHALL BE CONTINGENT AT EXTERIOR CORNERS AND TRANSITION AT INTERIOR CORNERS	
		WALL MOUNTED EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW FROM A STREET OR PARKING AREA, AND ON A MINIMUM OF THREE SIDES. EXPOSED CONDUIT, LADDERS, UTILITY BOXES AND DRAIN SPOUTS MUST BE PAINTED TO MATCH THE COLOR OF THE PRINCIPAL STRUCTURE. NATURAL METALLIC FINISHES ARE ACCEPTABLE ALTERNATIVE TO PAINT.	
		* PROVIDE CITY FIRE DEPARTMENT DIRECTIONAL SIGNAGE FOR BLDG. NUMBER REQUIREMENTS.	
		* REFER TO SITE PLAN FOR ANSI UNIT LOCATIONS.	



1 FITNESS FRONT
1/4" = 1'-0"



2 FITNESS RIGHT
1/4" = 1'-0"

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VENTURE AT LASTER FARMS
APARTMENTS IN KNOXVILLE, TN

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FITNESS ELEVATION

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1 FITNESS REAR
1/4" = 1'-0"



2 FITNESS LEFT
1/4" = 1'-0"

MATERIALS KEY		LEGEND	
FACADE TREATMENT		ELECTRIC METER LOCATION	
MATERIALS		WALL PACK	
FCP	FIBER CEMENT PANEL	EXT. SCONCE	
LPS	FIBER CEMENT LAP SIDING 6" EXPOSURE	BLDG. SIGNAGE	
BBB	BOARD & BATTEN		
BK	BRICK		
ROOF	SHINGLES 30 YR COMP (30 LR)		

NOTES	
* MATERIALS SHALL BE CONTINGUED AT EXTERIOR CORNERS AND TRANSITION AT INTERIOR CORNERS	
* WALL MOUNTED EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW FROM A STREET OR PARKING AREA, AND ON A MINIMUM OF THREE SIDES. EXPOSED CONDUIT, LADDERS, UTILITY BOXES AND DRAIN BROUITS MUST BE PAINTED TO MATCH THE COLOR OF THE PRINCIPAL STRUCTURE. NATURAL METALLIC FINISHES ARE ACCEPTABLE ALTERNATIVE TO PAINT	
* PROVIDE CITY FIRE DEPARTMENT DIRECTIONAL SIGNAGE FOR BLDG NUMBER REQUIREMENTS	
* REFER TO SITE PLAN FOR ANSI UNIT LOCATIONS	

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VENTURE AT LASTER FARMS
APARTMENTS IN KNOXVILLE, TN

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SHEET NUMBER
A4-73

FITNESS ELEVATION

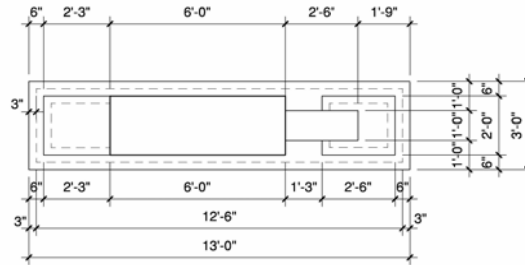
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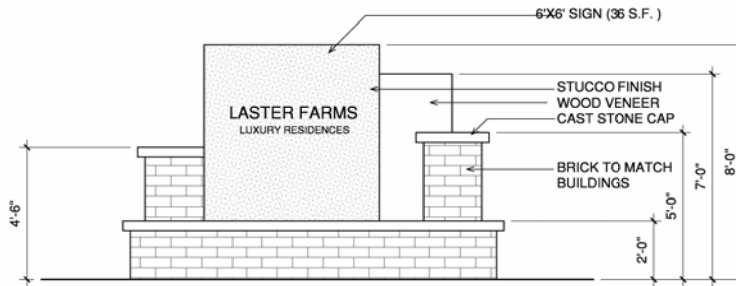
REVISIONS

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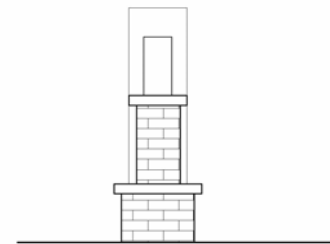
VENTURE AT LASTER FARMS
APARTMENTS IN KNOXVILLE, TN



MONUMENT SIGN - PLAN
SCALE 1/2"=1'-0"



MONUMENT SIGN - ELEVATION
SCALE 1/2"=1'-0"



MONUMENT SIGN - ELEVATION
SCALE 1/2"=1'-0"

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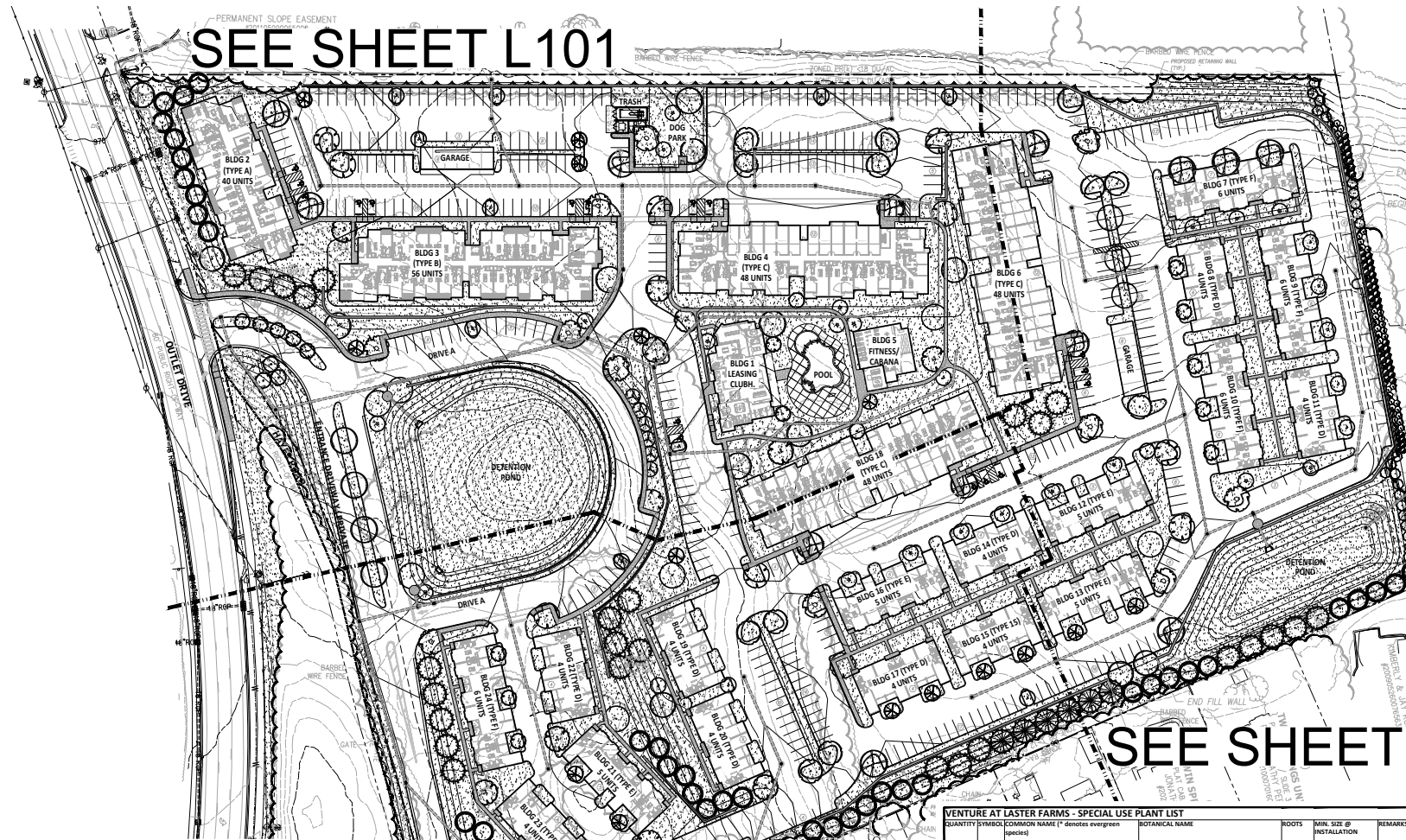
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23206

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A9-01

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SEE SHEET L101



ISSUE DISCUSSION

NO.	DATE	DESCRIPTION

SPECIAL USE REVIEW ONLY
FILE NUMBER 2-B-25-UR
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JOE ANN SIMS
#20190810075266

Revised: 1/21/2025

VENTURE AT LASTER FARMS
11477 OUTLET DRIVE
KNOXVILLE, TN 37924

SEE SHEET L103

- PERMITTING NOTES:**
- THE 18.54 ACRE PARCEL IS ZONED KNOX COUNTY 08. RESIDENTIAL DEVELOPMENT IS PROPOSED, INCLUDING MULTI-FAMILY & TOWNHOMES. ADJACENT PARCELS ARE ZONED RESIDENTIAL - RR TO THE WEST, A TO THE NORTH AND RA TO THE EAST.
 - RE. ARTICLE 3.5.II.08. PARKING LOT SETBACKS:
 - PARKING LOTS ADJACENT TO RESIDENTIAL ZONE SIDE LOT LINES- 10' MIN. SETBACKS ARE PROVIDED.
 - PARKING LOTS IN A NON-RESIDENTIAL ZONE CONTIGUOUS TO RESIDENTIAL ZONING FRONT THE SAME STREET SHALL UTILIZE MIN. SETBACK REQUIRED FOR THE CONTIGUOUS RESIDENTIAL ZONE. PARKING LOTS ARE NOT PROPOSED ADJACENT TO STREET FRONTAGE.
 - PARKING LOTS ADJACENT TO RESIDENTIAL ZONE REAR LOT LINES- 5' MIN. SETBACKS ARE PROVIDED.
 - FOR PARKING PROVIDED IN THE FRONT YARD OF A MULTI-DWELLING STRUCTURE DEVELOPMENT, A 10' MIN. WIDE BUFFER STRIP PLANTED WITH TREES, SHRUBS AND GRASS IS REQUIRED.
 - RE. ARTICLE 3.5.II.10. PARKING IN A MORE RESTRICTIVE ZONE - NOT APPLICABLE.
 - RE. ARTICLE 4.10.II. LANDSCAPE SCREENING- CLASS TYPE B LANDSCAPE BUFFERS ARE PROPOSED ADJACENT TO THE NORTH AND EAST PROPERTY LINES IN ACCORDANCE WITH STAFF RECOMMENDATIONS.
 - PROPOSED SHRUBS AND GRASS COVERS ARE TO BE DETERMINED / DESIGNED (T.B.D.) AND ARE NOT ILLUSTRATED ON THE SPECIAL USE SUBMITTAL.
 - SPECIAL USE LANDSCAPE PLAN IS NOT FOR CONSTRUCTION.

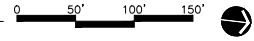
SEE SHEET L102

VENTURE AT LASTER FARMS - SPECIAL USE PLANT LIST

QUANTITY	SYMBOL	COMMON NAME (1* denotes evergreen species)	BOTANICAL NAME	ROOTS	MIN. SIZE @ INSTALLATION	REMARKS	MATURE SIZE (HT x WIDTH) spreading
SHADE TREES							
15	15D	October glory Red Maple	<i>Acer rubrum 'October glory'</i>	B&B	2" Cal.	Full Crowns	45' x 30'
9	ASL	Jacoby Sugar Maple	<i>Acer saccharum 'Jacoby'</i>	B&B	2" Cal.	Full Crowns	45' x 30'
7	RHD	Dura-Heat River Birch (MT)	<i>Betula nigra 'RHM77'</i>	B&B	12" HT.	Full Crowns, MT, 3 canes branched @ 4' HT.	37.5' x 22.5'
12	L1E	Emerald City Yucca Palm	<i>Yucca rostrata 'Emerald City'</i>	B&B	2" Cal.	Full Crowns	35' x 25'
12	SILA	Overcup Oak	<i>Quercus lyrata</i>	B&B	2" Cal.	Full Crowns	45' x 35'
9	TDM	Red Cypripedium	<i>Paspalum conjugatum</i>	B&B	2" Cal.	Full Crowns	45' x 35'
15	JPA	Allee Lacebark Elm	<i>Ulmus parvifolia 'Emer V' Allee'</i>	B&B	2" Cal.	Full Crowns	55' x 35'
11	ZSG	Green Vase Zelkova	<i>Zelkova serrata 'Green Vase'</i>	B&B	2" Cal.	Full Crowns	60' x 40'
90							
ORNAMENTAL TREES							
15	ASL	Forest Pansy Redbud (MT)	<i>Cercis canadensis 'Forest Pansy'</i>	B&B	8" HT.	Full Crowns, Multi-trunk, 3 dominant canes	25' x 22'
20	FLA	Heavenly Blue Spring Dogwood	<i>Cornus florida 'Agnes Chase Spring'</i>	B&B	2" Cal.	Full Crowns	34' x 36'
16	SWW	Winterling Hawthorn	<i>Crataegus viridis 'Winter King'</i>	B&B	2" Cal.	Specimen	22' x 22'
18	HW	Yankee Crane Yucca (MT)	<i>Yucca filamentosa 'Yankee Crane'</i>	Cont.	2" HT.	Full Crowns, Multi-trunk, 3 dominant canes	25' x 20'
6	JVA	Moonlow Sweetbay Magnolia (MT)	<i>Magnolia virginiana 'Moon'</i>	B	8" HT.	Full Crowns, Multi-Trunk, 3 Dominant Canes	30' x 15'
6	PVA	Alebobona Cherry	<i>Prunus avocetris 'Alebobona'</i>	B&B	2" Cal.	Full Crowns	35' x 25'
82							
EVERGREEN TREES							
10	CVV	Yoshino Cryptomeria*	<i>Cryptomeria japonica 'Yoshino'</i>	B&B	8" HT.	Full to Ground @ 25' O.C.	45' x 20'
20	YGB	Bracken's Brown Beauty Southern Magnolia*	<i>Magnolia grandiflora 'Bracken's Brown Beauty'</i>	B&B	8" HT.	Full to Ground @ 25' O.C.	45' x 20'
22	NRS	Nellie B. Stevens Holly*	<i>Ilex x 'Nellie B. Stevens'</i>	B&B	8" HT.	Full to Ground @ 12' O.C.	20' x 12.5'
45	TSS	Green Gable Arborvitae*	<i>Thuja occidentalis x 'Alpina' Green Gable'</i>	B&B	8" HT.	Full to Ground @ 20' O.C.	35' x 20'
109							
SHRUBS							
14	COS	Burtonbush	<i>Cydonia oblonga</i>	Cont.	3 Gal.	Full Plants @ 72" O.C.	84" x 84"
8	PLS	Schip Laurel*	<i>Prunus laurocerasus 'Schipolaensis'</i>	Cont.	5 Gal.	Full Plants @ 60" O.C.	86" x 72"
86	YVM	Yankee Holly Viburnum*	<i>Viburnum rhytidophyllum</i>	Cont.	5 Gal.	Full Plants @ 94" O.C.	86" x 36"
LAWNS							
TBD		Seeded Lawns - Fescue Blend		Seed	SP	See Notes and Specifications	
TBD		Sodded Lawns - Fescue Blend		Sod	SP	See Notes and Specifications	

811
Know what's below
Call before you dig

LANDSCAPE INDEX PLAN
SCALE: 1"=50'-0"



CANNON & CANNON

18025 Investment Drive, Suite 120
Knoxville, TN 37922

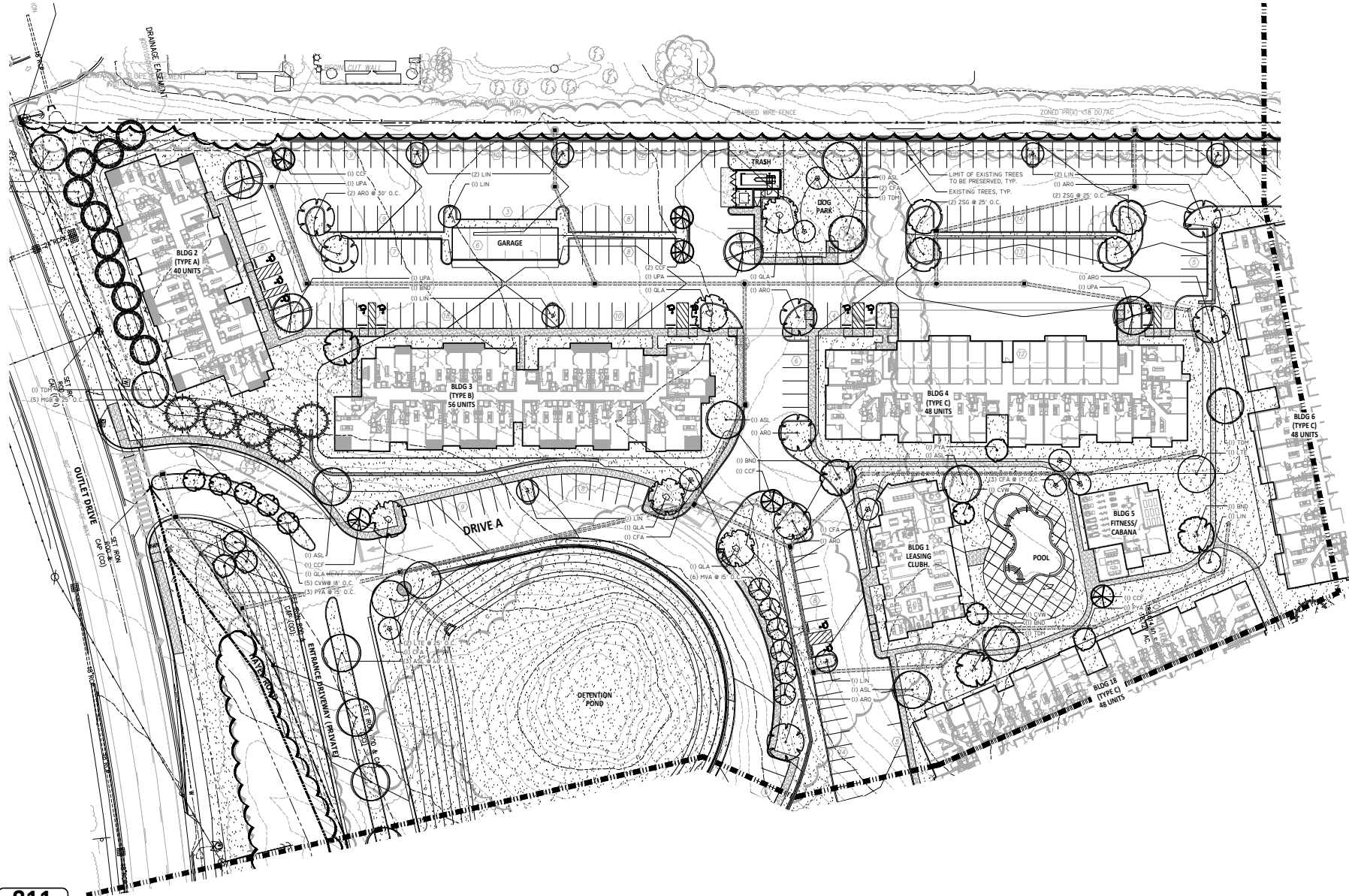
865.670.8555
www.cci-prod.com

CLIENT:
VENTURE AT LASTER FARMS
OWNER LLC
9820 WESTPOINT DRIVE, SUITE 100
INDIANAPOLIS, IN 46256

CCI PROJ. NO. 01852-0000
DATE: JANUARY 21, 2025
PW/PC: 38/1
DRAWN BY: BJR

LANDSCAPE INDEX PLAN

L100



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DATE: _____

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VENTURE AT LASTER FARMS
1147 OUTLET DRIVE
 KNOXVILLE, TN 37924

PROJECT:



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 Knoxville, TN 37932

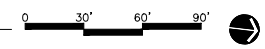
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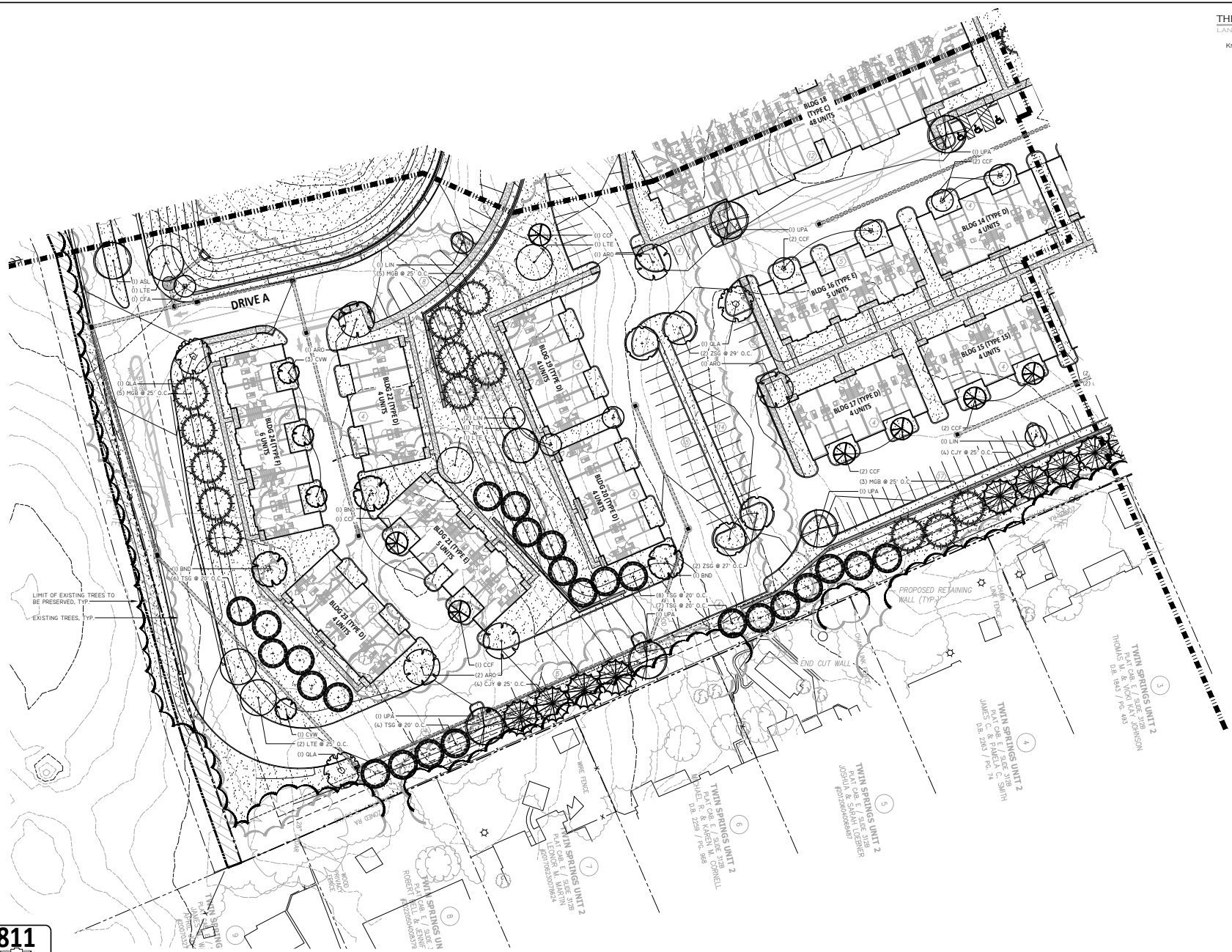
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 9820 WESTPOINT DRIVE, SUITE 100
 INDIANAPOLIS, IN 46256

CCI PROJ. NO. 01852-0000
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 DRAWN BY: BJR

LANDSCAPE PLAN
 SOUTHWEST

L101





ISSUE DESCRIPTION

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VENTURE AT LASTER FARMS
 11471 OUTLET DRIVE
 KNOXVILLE, TN 37924

PROJECT:

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 OWNER LLC
 9820 WESTPOINT DRIVE, SUITE 100
 INDIANAPOLIS, IN 46256

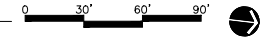
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 PWP/C: JRM
 DRAWN BY: BJR

LANDSCAPE PLAN
 SOUTHEAST

L102

811
 Know what's below
 Call before you dig

1 LANDSCAPE PLAN - SOUTHEAST
 SCALE: 1"=30'-0"



THE PENLAND STUDIO
LANDSCAPE ARCHITECTURE
2110 HOLBROOK LANE
KNOXVILLE, TENNESSEE 37922
865.335.5584

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VENTURE AT LASTER FARMS
11477 OUTLET DRIVE
KNOXVILLE, TN 37922

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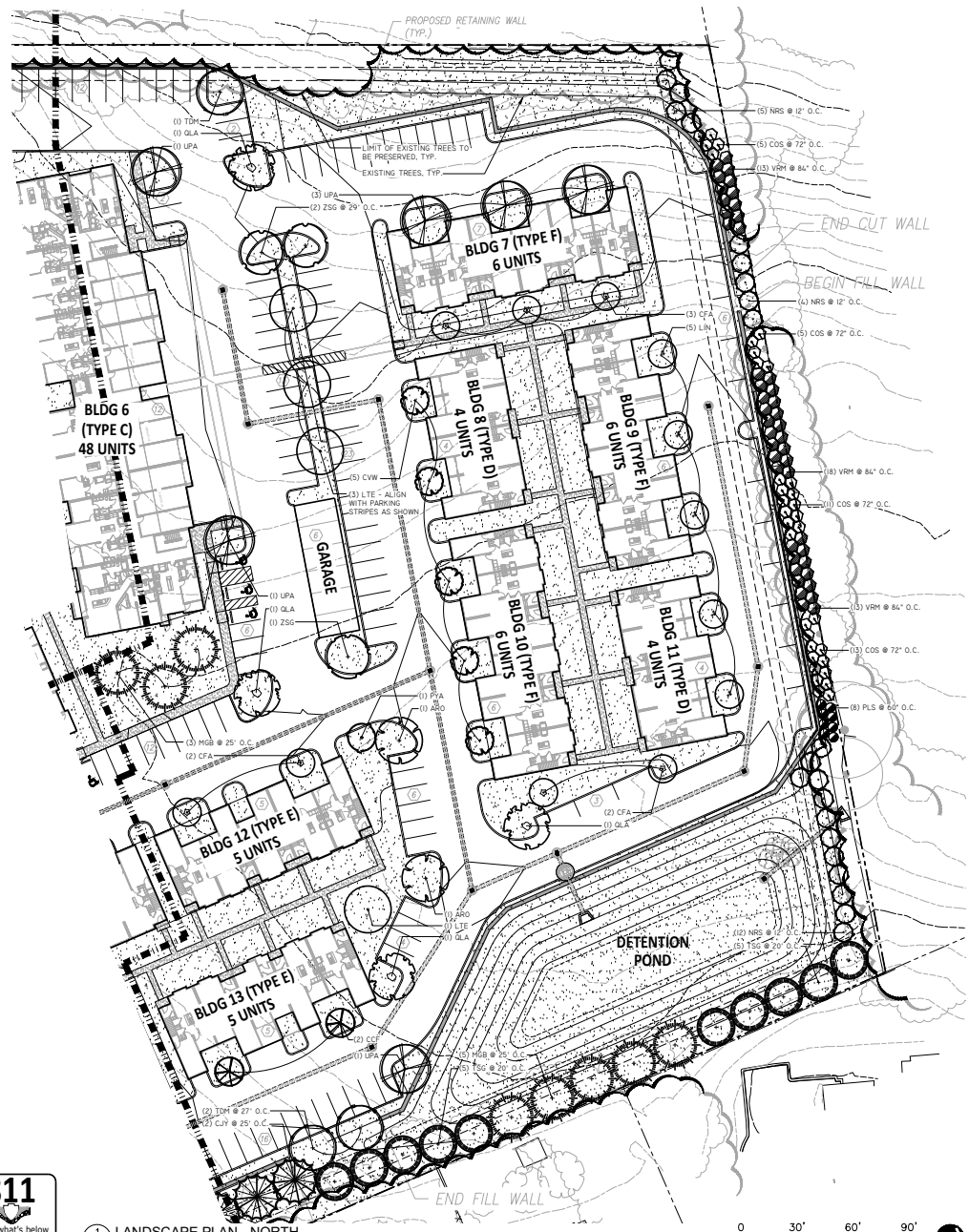
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INDIANAPOLIS, IN 46256

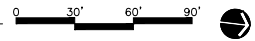
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LANDSCAPE PLAN
NORTH

L103

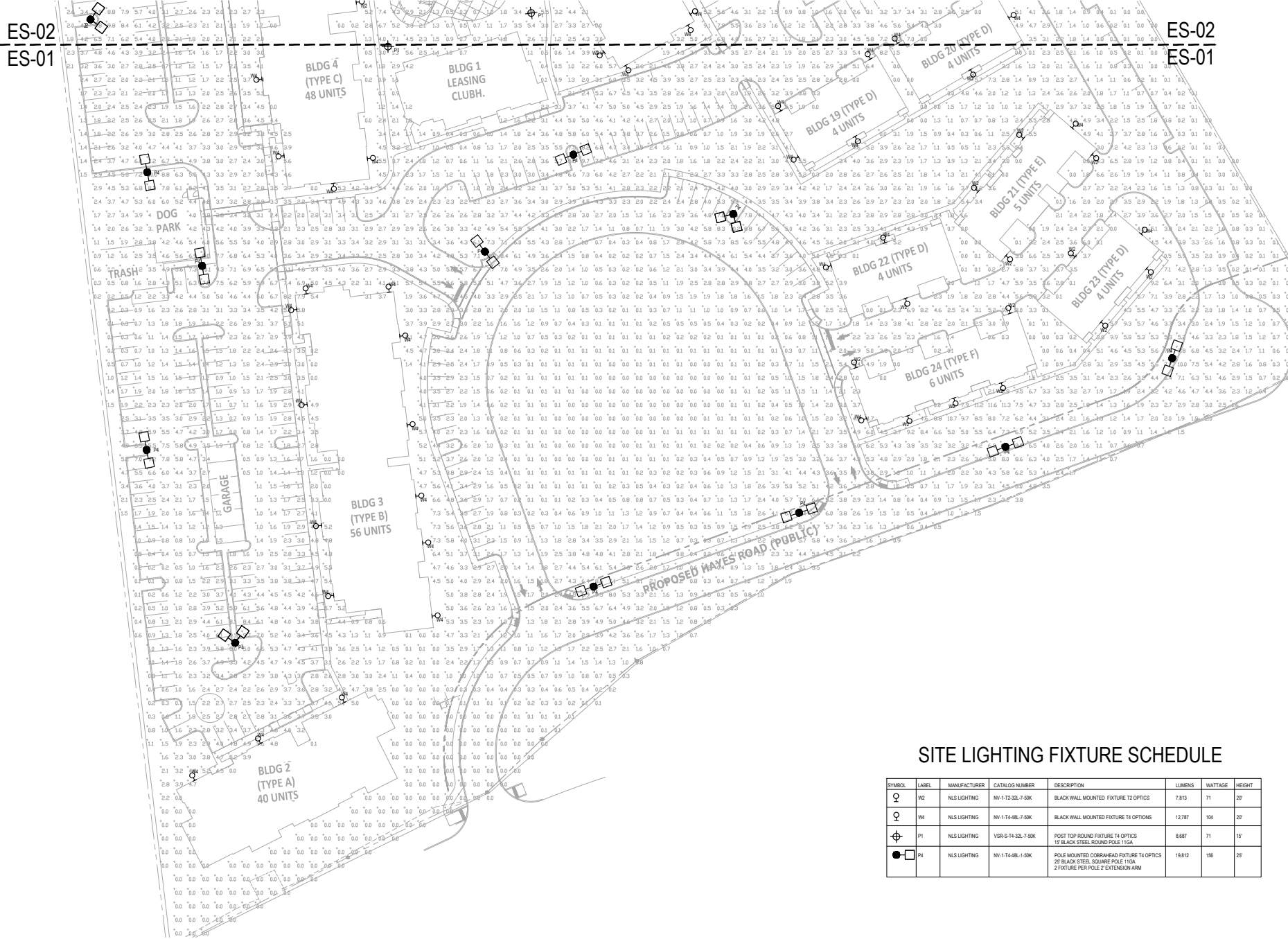


LANDSCAPE PLAN - NORTH
SCALE: 1"=30'-0"




ES-02
ES-01

ES-02
ES-01



SITE LIGHTING FIXTURE SCHEDULE


SYMBOL	LABEL	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LUMENS	WATTAGE	HEIGHT
⊙	W2	NLS LIGHTING	NV-17-32-7-50K	BLACK WALL MOUNTED FIXTURE T2 OPTICS	7,813	71	20'
⊙	W4	NLS LIGHTING	NV-14-48-7-50K	BLACK WALL MOUNTED FIXTURE T4 OPTICS	12,787	104	20'
⊙	PT	NLS LIGHTING	VOR-S-T4-32-7-50K	POST TOP ROUND FIXTURE T4 OPTICS 1" BLACK STEEL ROUND POLE 11GA	6,887	71	15'
⊙	P4	NLS LIGHTING	NV-17-48-1-50K	POLE MOUNTED COBRANEAD FIXTURE T4 OPTICS 2" BLACK STEEL SQUARE POLE 11GA 2 FIXTURE PER POLE 7' EXTENSION ARM	15,812	156	20'



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SITE PHOTOMETRICS



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VENTURE AT LASTER FARMS

APARTMENTS IN KNOXVILLE, TN

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SHEET NUMBER
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SITE PHOTOMETRICS



ES-02

ES-01

ES-02

ES-01

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