

USE ON REVIEW VARIANCE:
REDUCE MIN. PROPERTY
LINE RADIUS FROM 75' TO 0'

FUTURE PLAT VARIANCE:
REDUCE THE 10' UTILITY
AND DRAINAGE EASEMENT
INSIDE ALL EXTERIOR
BOUNDARIES FROM 10' TO 0'

USE ON REVIEW VARIANCE:
REDUCE MIN. PROPERTY LINE
RADIUS FROM 75' TO 30'

FUTURE PLAT VARIANCE:
REDUCE REQUIRED R.O.W.
FROM 25' TO 20'

LEGEND

	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	EXIST. R.O.W.
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING
	ACCESSIBLE RAMP

FUTURE PLAT VARIANCES:

- REDUCE THE REQUIRED R.O.W. OF TWELFTH STREET FROM 25' TO 20'.
- REDUCE THE 10' DRAINAGE AND UTILITY EASEMENT INSIDE ALL EXTERIOR BOUNDARY LINES FROM 10' TO 0'.

USE ON REVIEW VARIANCES REQUESTED:

- REDUCE THE MINIMUM PROPERTY LINE RADIUS AT THE INTERSECTION OF TWELFTH STREET AND CLINCH AVENUE FROM 75' TO 0' (ARTICLE 3, SECTION 3.04.I.3)
- REDUCE THE MINIMUM PROPERTY LINE RADIUS AT THE INTERSECTION OF ELEVENTH STREET AND CLINCH AVENUE FROM 75' TO 30' (ARTICLE 3, SECTION 3.04.I.3)

BZA VARIANCES APPROVED:

- 10-D-19-VA APPROVED ON 11/21/2019
 - REDUCE THE REQUIRED FRONT YARD SETBACK ALONG TWELFTH STREET FROM 25 FEET TO 5 FEET. (ARTICLE 4, SECTION 2.2.1.D.1)
 - REDUCE THE REQUIRED FRONT YARD SETBACK ALONG CLINCH AVENUE FROM 25 FEET TO 5 FEET. (ARTICLE 4, SECTION 2.2.1.D.1)
 - REDUCE THE REQUIRED FRONT YARD SETBACK ALONG ELEVENTH STREET FROM 25 FEET TO 5 FEET. (ARTICLE 4, SECTION 2.2.1.D.1)
 - INCREASE THE HEIGHT REGULATION FROM FORTY-FIVE (45) FEET IN HEIGHT TO EIGHTY-FIVE (85) FEET IN HEIGHT. (ARTICLE 4, SECTION 2.2.1.E.2)
- 10-D-19-VA APPROVED ON 12/19/2019
 - REDUCE THE MINIMUM DISTANCE BETWEEN A DRIVEWAY AND THE INTERSECTING STREET FROM 50' TO 33.9'. (ARTICLE 4, SECTION 7.1.2.A TABLE 5)
- 1-F-20-VA APPROVED ON 01/16/2020
 - REDUCE THE REQUIRED SIDE YARD SETBACK ALONG THE EXISTING ALLEY FROM 15 FEET TO 5 FEET. (ARTICLE 4, SECTION 2.2.1.D.2)
 - INCREASE THE REQUIRED MAXIMUM LOT COVERAGE AREA FOR MAIN AND ACCESSORY BUILDINGS FROM THIRTY-FIVE (35) PERCENT TO SEVENTY-SIX (76) PERCENT. (ARTICLE 4, SECTION 2.2.1.D.3.B)

PARKING SUMMARY:

REQUIRED PARKING
PROPOSED USE: HOTEL (120 LODGING UNITS)
1 SPACES MINIMUM PER LODGING UNIT
1.5 SPACES MAXIMUM PER LODGING UNIT
1 x 120 = 120 REQUIRED PARKING SPACES

101 TO 150 STANDARD SPACES REQUIRES
7 CAR ACCESSIBLE AND 1 VAN ACCESSIBLE SPACES
TOTAL ACCESSIBLE REQUIRED = 5 ACCESSIBLE SPACES

TOTAL SPACES REQUIRED = 120 SPACES
TOTAL BICYCLE SPACES REQUIRED = 12 SPACES

PROVIDED:
TOTAL STANDARD SPACES PROVIDED = 91 SPACES
TOTAL ACCESSIBLE SPACES PROVIDED = 5 SPACES
TOTAL COMPACT SPACES PROVIDED = 24 SPACES
TOTAL SPACES PROVIDED = 120 SPACES
BICYCLE SPACES PROVIDED = 12 SPACES

12-H-19-UR
Revised: 1/27/2020

LOT COVERAGE

TOTAL AREA OF SITE (CURRENT)	= 0.664 AC = 28,630 S.F.
TOTAL AREA OF SITE (ROW RADIUS)	= 28,433 S.F.
PROPOSED HOTEL BUILDING	= 7,635 S.F.
PROPOSED GARAGE STRUCTURE	= 11,908 S.F.
TOTAL AREA OF BUILDINGS	= 21,543 S.F.
PROPOSED LOT COVERAGE AREA	= 21,543/28,433 = 76%

- NOTES:**
- THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON AND CANNON, INC. DATED AUGUST 28, 2018.
 - THE DISTURBED AREA IS APPROXIMATELY 0.657± ACRES. THE TOTAL SITE AREA IS APPROXIMATELY 0.657± ACRES. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF BUILDING AND/OR FACE OF CURB.
 - THE MINERAL, AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL BE THE MATERIALS EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE CITY OF KNOXVILLE STANDARD SPECIFICATIONS.
 - PROPERTY CONCERNED REFLECTS PARCELS 8.00, 9.00, 10.00, 11.00, AND 12.00 AS SHOWN ON KNOX COUNTY CLT TAX MAP NO. 94-M AND ALSO PARCEL 7.00 AS SHOWN ON TAX MAP 94-M. ZONING FOR THE PROPERTY IS 0-1 "OFFICE, MEDICAL, AND RELATED SERVICES DISTRICT". TOTAL AREA IS 0.657± ACRES. THE TOTAL DISTURBED AREA IS APPROXIMATELY 0.657± ACRES. CITY BLOCK NUMBER IS 10022.
 - TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 - ALL SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE ZONING ORDINANCE.
 - OWNER:
 - PARCELS 8.00, 10.00, 11.00, AND 12.00
 - LESLIE A BARRETT
 - 800 2708
 - KNOXVILLE, TN 37927
 - PARCEL 7.00
 - 2120 BUILDING PARTNERSHIP
 - 2950 KRAFT DRIVE, SUITE 500
 - MADISON, TN 37204
 - DEVELOPER:
 - THE 9 GROUP
 - 1619 PURPLE MARTIN WAY
 - KNOXVILLE, TENNESSEE 37922
 - UTILITY SERVICES ARE TO BE PROVIDED BY THE FOLLOWING:
 - WATER AND SEWER - KNOXVILLE UTILITY BOARD
 - GAS AND ELECTRIC - KNOXVILLE UTILITY BOARD
 - TELEPHONE - BELLSOUTH
 - CABLE - COMCAST
 - PERMETER SLOPES SHALL BE LANDSCAPED AND ARE NOT TO EXCEED 2:1 (H:V) UNLESS PROPER STABILIZATION IS PROVIDED BY A GEOTECHNICAL ENGINEER.
 - ALL LANDSCAPING ACTIVITIES SHALL BE IN ACCORDANCE WITH SECTION 63-40 "LANDSCAPING" OF THE KNOXVILLE, KNOX COUNTY MINIMUM SUBDIVISION REGULATIONS.
 - REFERENCING SECTION 14-37 OF THE ORDINANCE, ALL TREES SHALL BE MAINTAINED TO ASSURE SURVIVAL A MINIMUM OF 18 MONTHS AFTER COMPLETION OF CONSTRUCTION.
 - PROPOSED SITE LIGHTING PLAN SHALL MEET KNOX PLANNING AND CITY OF KNOXVILLE REGULATIONS.

REVISIONS	DATE

CLIENT: **THE 9 GROUP**
1619 PURPLE MARTIN WAY
KNOXVILLE, TENNESSEE 37922

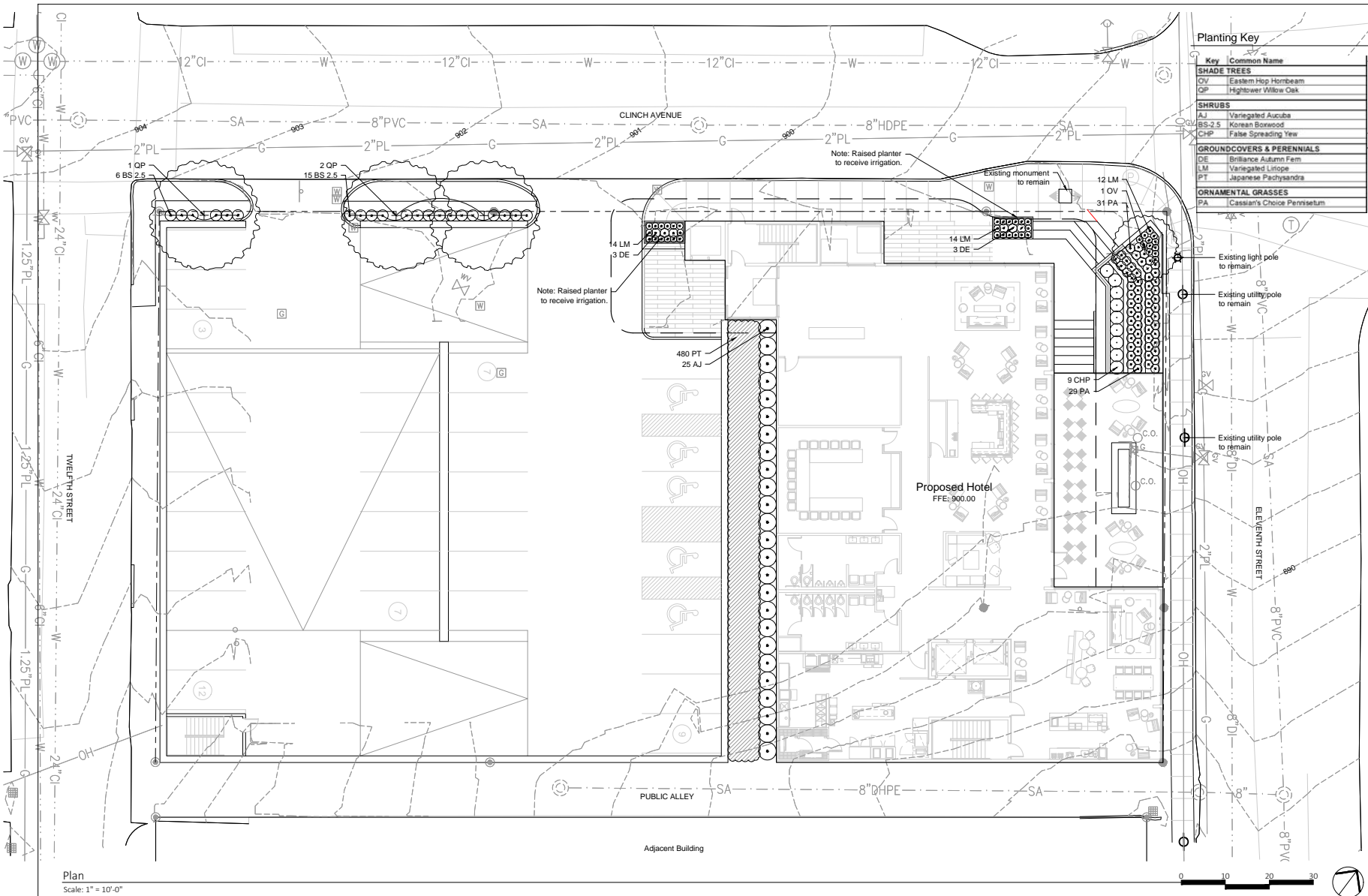
PROJECT: **UPSCALE WORLD'S FAIR PARK HOTEL**
1100 CLINCH AVENUE
DISTRICT 4, WARD 15, BLOCK 10402
KNOXVILLE, TENNESSEE

SITE LAYOUT PLAN

CD PROJECT NO.	01490-0000
DRAWING DATE	JANUARY 27, 2020
PN	JRH
RC	-
DRAWN	CID
CHECKED	-

USE ON REVIEW SUBMITTAL 12-H-19-UR

UOR1.01



Planting Key

Key	Common Name
SHADE TREES	
OV	Eastern Hop Hornbeam
OP	Highower Willow Oak
SHRUBS	
AJ	Variegated Aucuba
BS-2.5	Korean Broomrape
CHP	False Spreading Yew
GROUNDCOVERS & PERENNIALS	
DE	Brilliance Autumn Fern
LM	Variegated Liriope
PT	Japanese Pachysandra
ORNAMENTAL GRASSES	
PA	Cassian's Choice Pennisetum



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Any discrepancies, inconsistencies or ambiguities found between the drawings, specifications, and site conditions shall be immediately reported to the Landscape Architect in writing. The Landscape Architect will promptly correct the same in writing. Work done by the Contractor after discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the Contractor's risk.

Worlds Fair Park Hotel
Address
Knoxville, TN

Not for Construction

Date: 10.28.19
Job Number: 19-075
Drawn By: WC Ck'd By: AS

Rev	Description	Date

Sheet Name: **Site Plan**

Sheet Number: **L100**

12-H-19-UR
Revised: 1/27/2020

Plan
Scale: 1" = 10'-0"

Perimeter Landscape Requirements

Between parking lots and rights-of-way: A perimeter screening area at least ten (10) feet wide, measured from the edge of the parking lot to the right-of-way, shall be provided between the parking area and the right-of-way of all adjoining streets. Such perimeter screening area shall be planted with a minimum of three (3) deciduous and/or evergreen trees and ten (10) shrubs for every one hundred (100) linear feet. A minimum of fifty (50) percent of the shrubs shall be evergreen. For parking lots, including vehicular use areas, of less than twenty thousand (20,000) square feet, the width of the perimeter screening area may be reduced to six (6) feet.

Site Information

Parking Lot Size: 14,503 sf
Parking Lot ROW Frontage: 108 lf

Required Trees: 4 Provided Trees: 4
Required Shrubs: 11 Provided Shrubs: 11



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PROPOSAL

WORLD'S FAIR PARK HOTEL
THE 9 GROUP
CLINCH AVENUE
KNOXVILLE, TENNESSEE 37916

Issue Date 01-27-2020

Drawn RRS Checked RMR

Revisions

12-H-19-UR
Revised: 1/27/2020

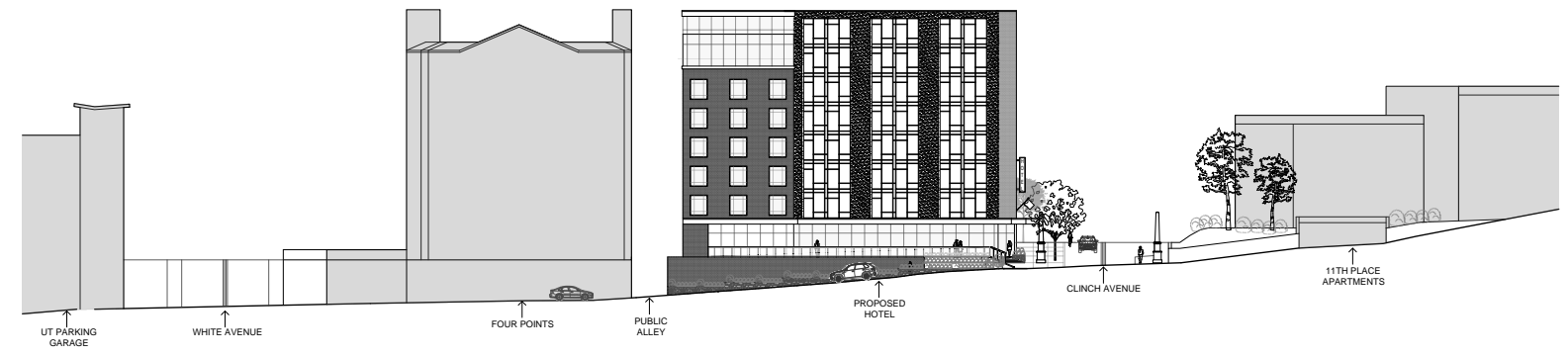
a0.91
site sections



SITE SECTION ALONG CLINCH AVENUE

SCALE: 1"=20'-0"

2



SITE SECTION ALONG ELEVENTH STREET

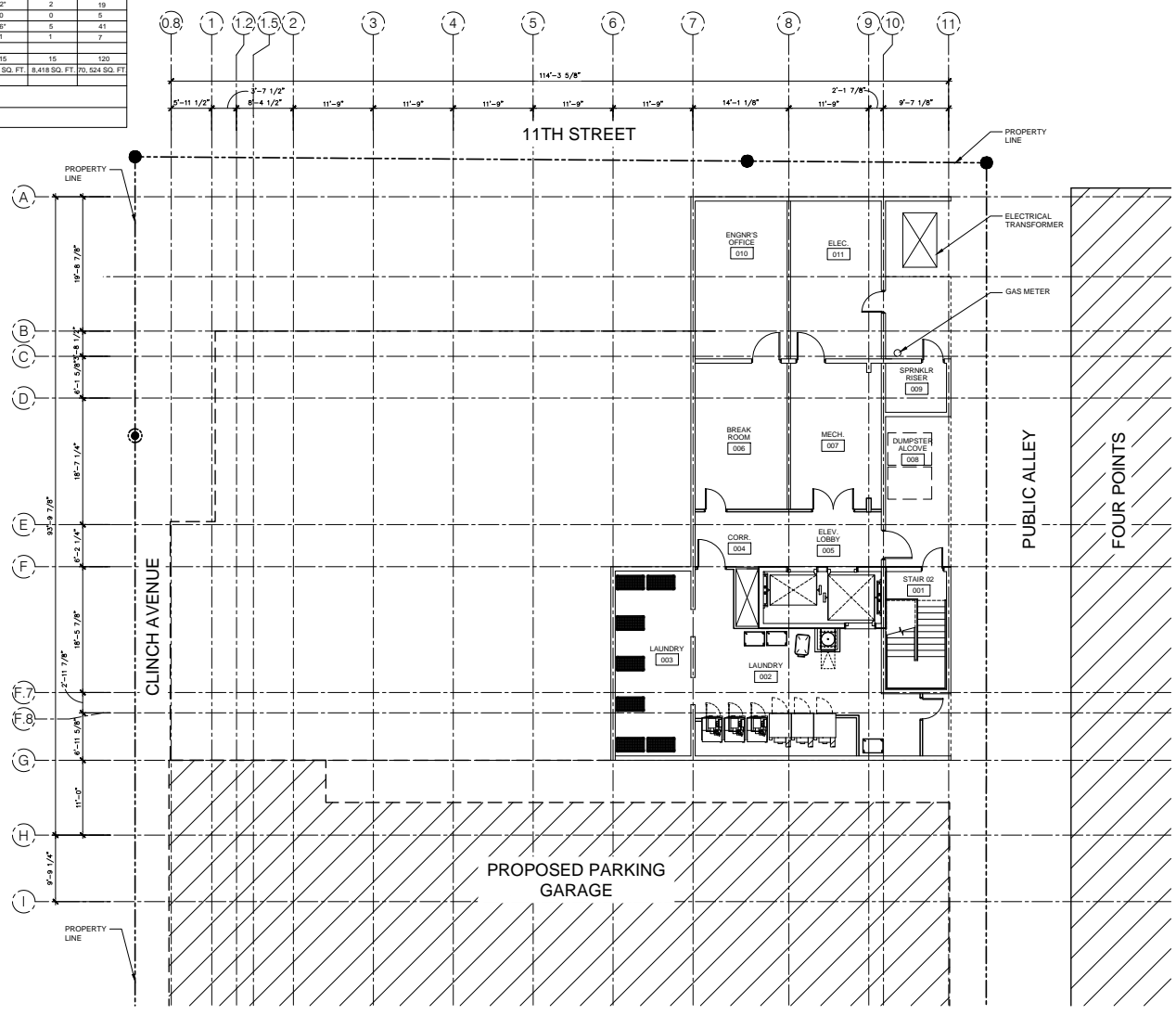
SCALE: 1"=20'-0"

1

ROOM MATRIX										
ROOM TYPE	LOWER FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	7TH FLOOR	8TH FLOOR	TOTAL
KING	0	0	7	7	7	7	7	6	7	48
KING END	0	0	3	3	3	3	3	2	2	19
KING ACCESS	0	0	1	1	1	1	1	0	0	5
QUEEN/QUEEN	0	0	6	6	6	6	6	6	5	41
QUEEN/QUEEN ACCESS	0	0	1	1	1	1	1	1	1	7
TOTAL	0	0	18	18	18	18	18	15	15	120
SQUARE FOOTAGE	3,180 SQ. FT.	8,418 SQ. FT.	8,418 SQ. FT.	8,418 SQ. FT.	8,418 SQ. FT.	8,418 SQ. FT.	8,418 SQ. FT.	8,418 SQ. FT.	70,524 SQ. FT.	

*DENOTES 1 HEARING IMPAIRED ROOM - 12 TOTAL ROOMS REQ'D PER 2010 ADA

NOTE: TOTAL REQUIRED H.C. ROOMS PER 2010 ADA: 7 (2 ROOMS SMALL HAVE A ROLL IN SHOWER)



LOWER LEVEL FLOOR PLAN - HOUSEKEEPING / MECH. / ELEC.
SCALE: 1/8"=1'-0"



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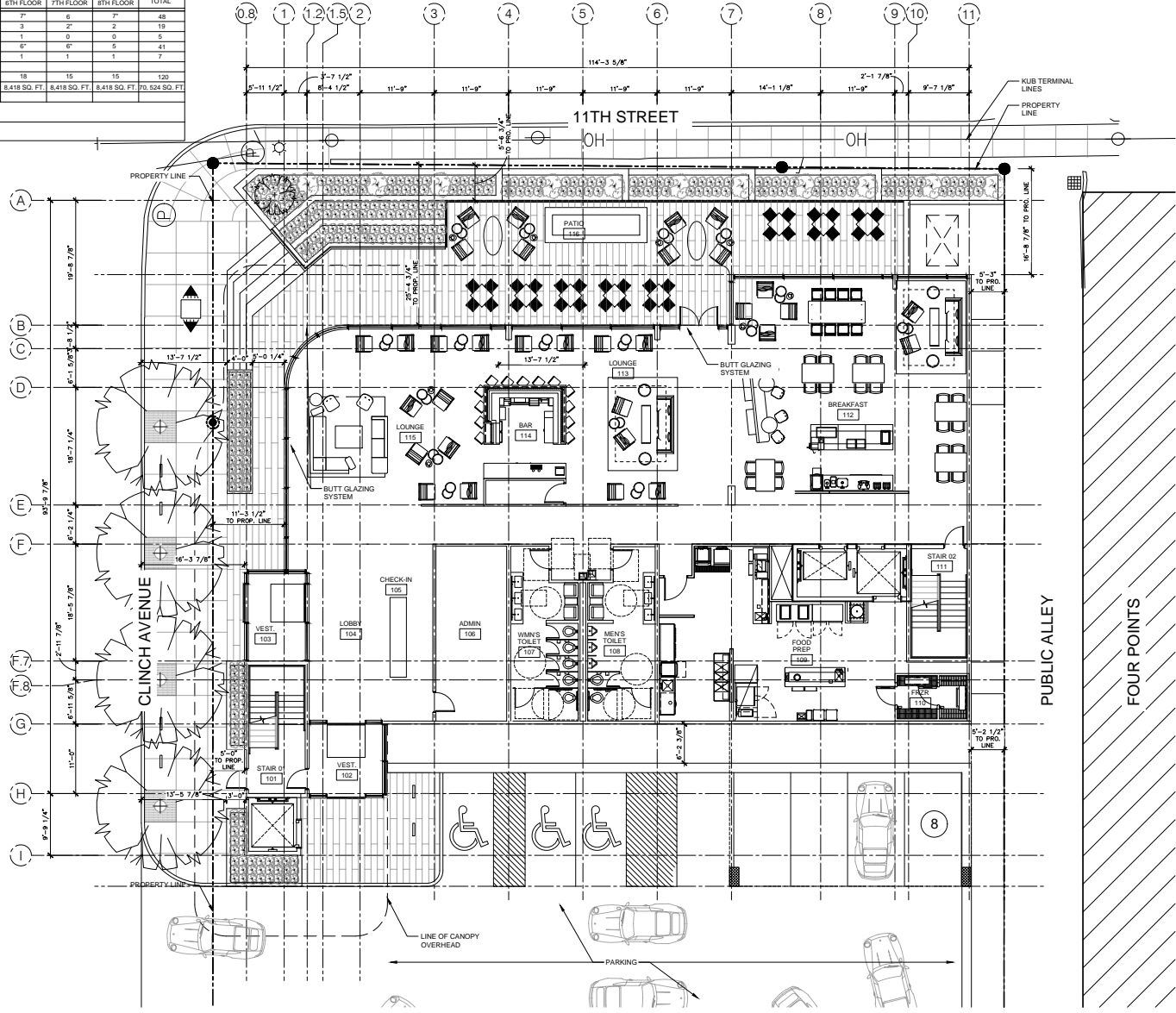
Revisions

a1.01
lower level overall floor
plan

ROOM MATRIX

ROOM TYPE	LOWER FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	7TH FLOOR	8TH FLOOR	TOTAL
KING	0	0	7	7	7	7	7	6	7	48
KING END	0	0	3	3	3	3	3	2	2	19
KING ACCESS.	0	0	1	1	1	1	1	0	0	5
QUEEN/QUEEN	0	0	6	6	6	6	6	6	5	41
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1 DENOTES 1 HEARING IMPAIRED ROOM - 12 TOTAL ROOMS REQ'D PER 2010 ADA
 NOTE: TOTAL REQUIRED H.C. ROOMS PER 2010 ADA: 7 (2 ROOMS SHALL HAVE A ROLL IN SHOWER)



FIRST FLOOR OVERALL PLAN - MAIN LEVEL

SCALE: 1/8"=1'-0"



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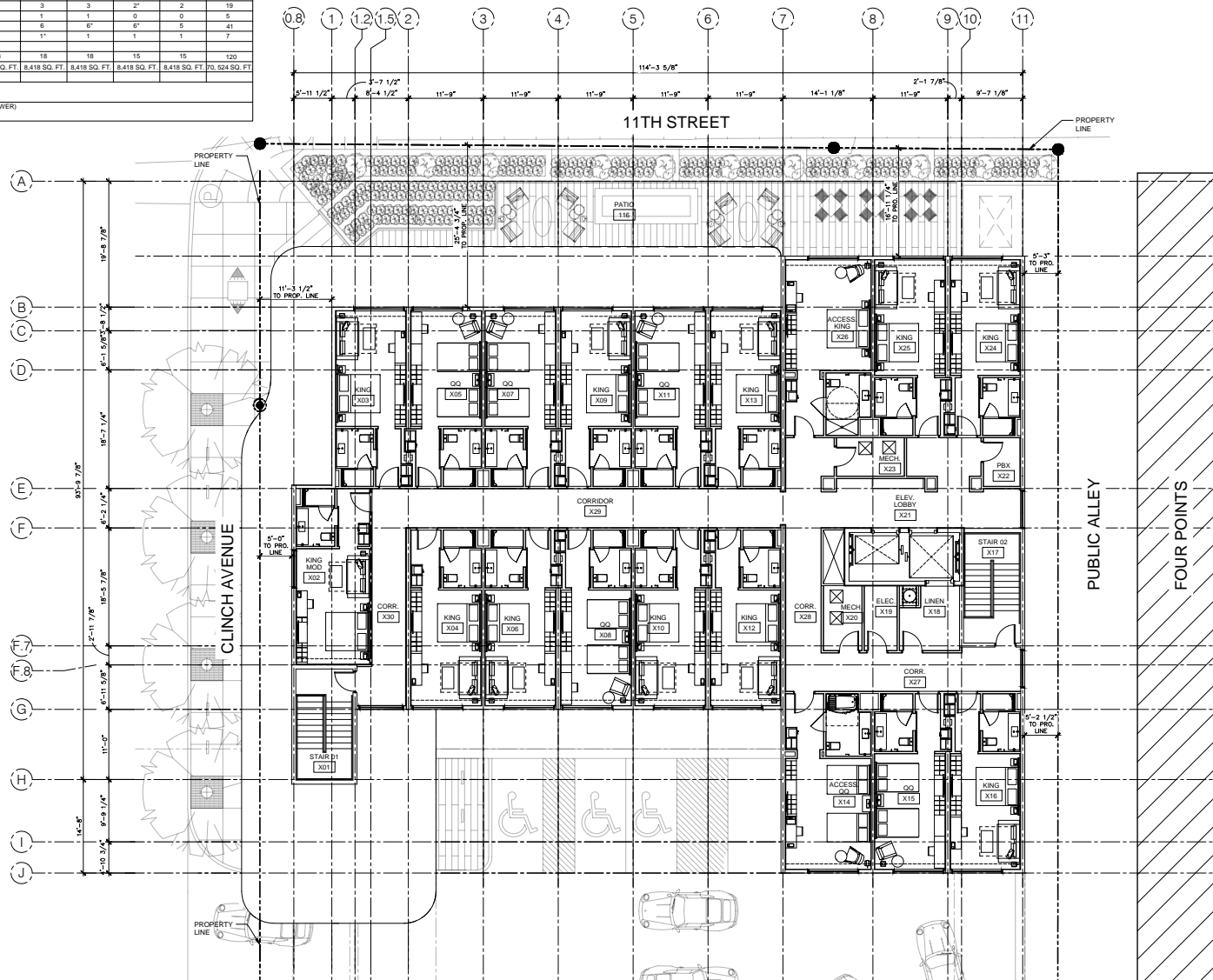
a1.02
 1st floor overall plan

ROOM MATRIX

ROOM TYPE	LOWER FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	7TH FLOOR	8TH FLOOR	TOTAL
KING	0	0	7	7	7	7	7	5	7	48
KING END	0	0	3	3	3	3	3	2	2	19
KING ACCESS	0	0	1	1	1	1	1	0	0	5
QUEEN/QUEEN	0	0	6	6	6	6	6	6	5	41
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*DENOTES 1 HEARING IMPAIRED ROOM - 12 TOTAL ROOMS REQ'D PER 2010 ADA

NOTE: TOTAL REQUIRED H.C. ROOMS PER 2010 ADA: 7 (2 ROOMS SHALL HAVE A ROLL IN SHOWER)



TYPICAL FLOOR OVERALL PLAN - FLOORS 2 - 6

SCALE: 1/8"=1'-0"



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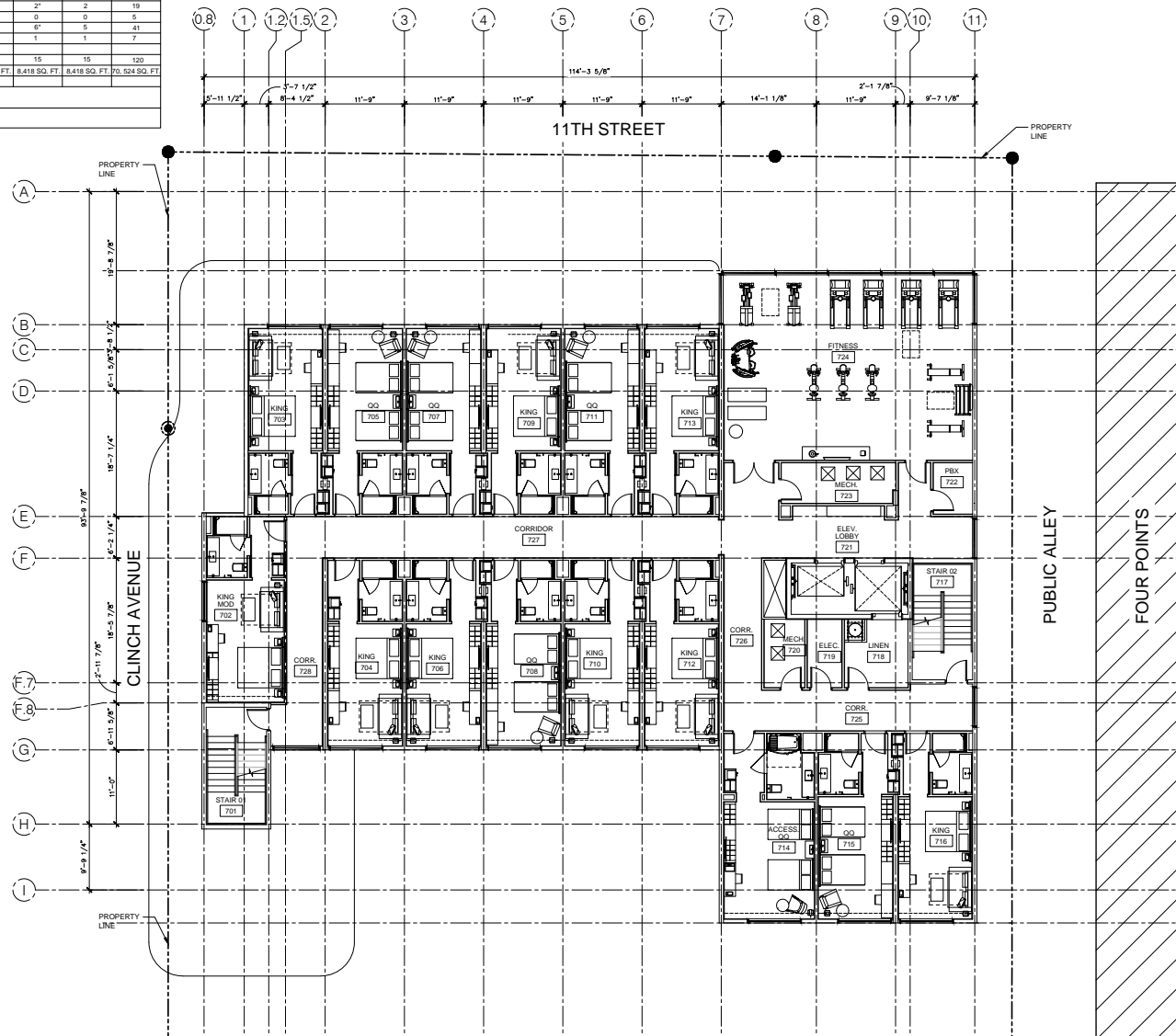
a1.03
 typical floor overall plan

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ROOM MATRIX

ROOM TYPE	LOWER FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	7TH FLOOR	8TH FLOOR	TOTAL
KING	0	0	7	7	7	7	7	5	7	48
KING END	0	0	3	3	3	3	3	2	2	19
KING ACCESS	0	0	1	1	1	1	1	0	0	5
QUEEN/QUEEN	0	0	6	6	6	6	6	6	5	41
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SQUARE FOOTAGE	3,180 SQ. FT.	8,418 SQ. FT.	8,418 SQ. FT.	8,418 SQ. FT.	8,418 SQ. FT.	8,418 SQ. FT.	8,418 SQ. FT.	8,418 SQ. FT.	70,324 SQ. FT.	

*DENOTES 1 HEARING IMPAIRED ROOM - 12 TOTAL ROOMS REQ'D PER 2010 ADA.
 NOTE: TOTAL REQUIRED H.C. ROOMS PER 2010 ADA: 7 (2 ROOMS SHALL HAVE A ROLL IN SHOWER)



SEVENTH FLOOR OVERALL PLAN - FITNESS

SCALE: 1/8"=1'-0"



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Revisions

a1.04

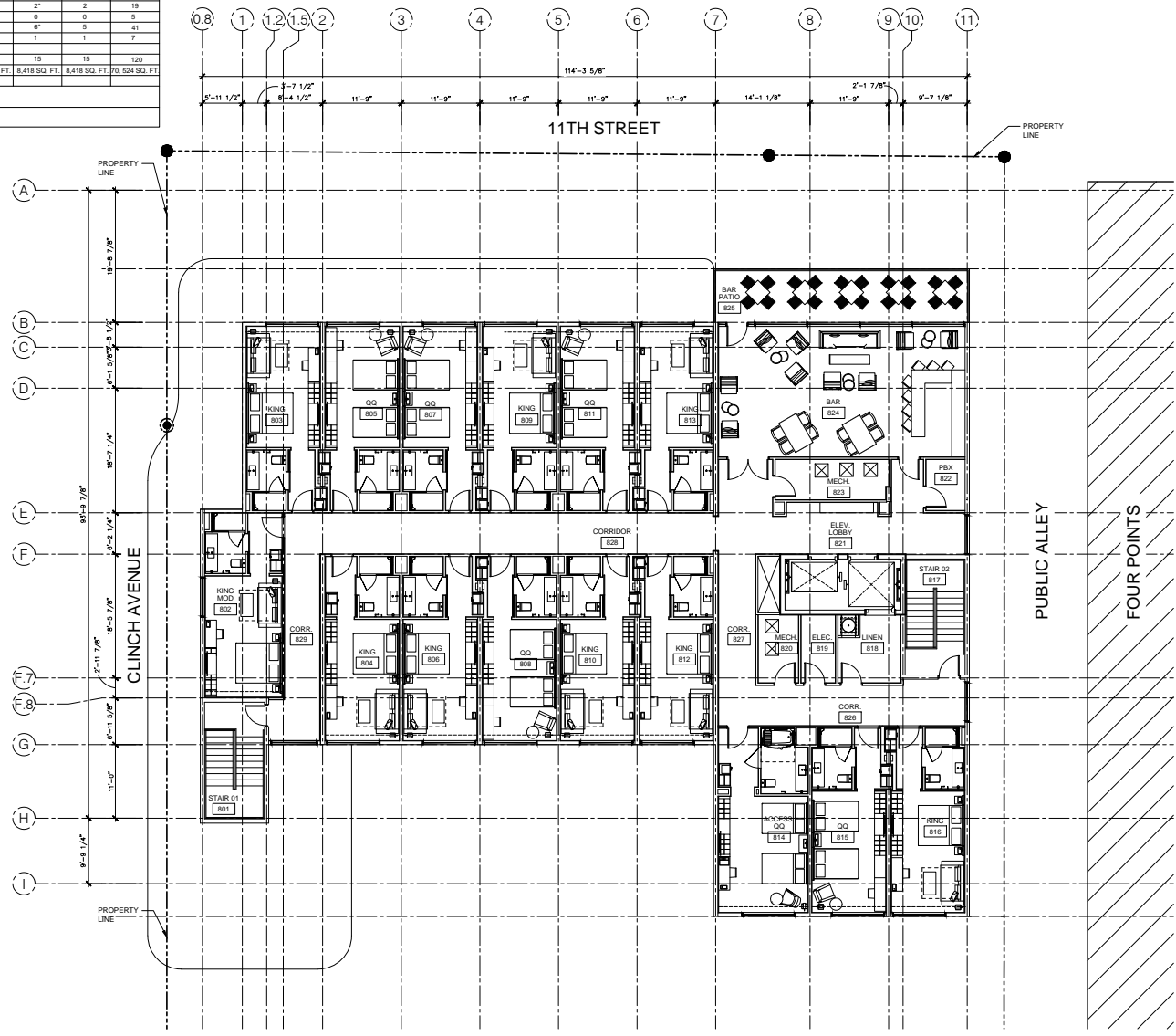
7th floor overall plan -
fitness level

ROOM MATRIX

ROOM TYPE	LOWER FLOOR	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	7TH FLOOR	8TH FLOOR	TOTAL
KING	0	0	7	7	7	7	7	5	7	48
KING END	0	0	3	3	3	3	3	2	2	19
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*DENOTES 1 HEARING IMPAIRED ROOM - 12 TOTAL ROOMS REQ'D PER 2010 ADA

NOTE: TOTAL REQUIRED H.C. ROOMS PER 2010 ADA: 7 (2 ROOMS SHALL HAVE A ROLL IN SHOWER)



EIGHTH FLOOR OVERALL PLAN - BAR

SCALE: 1/8"=1'-0"



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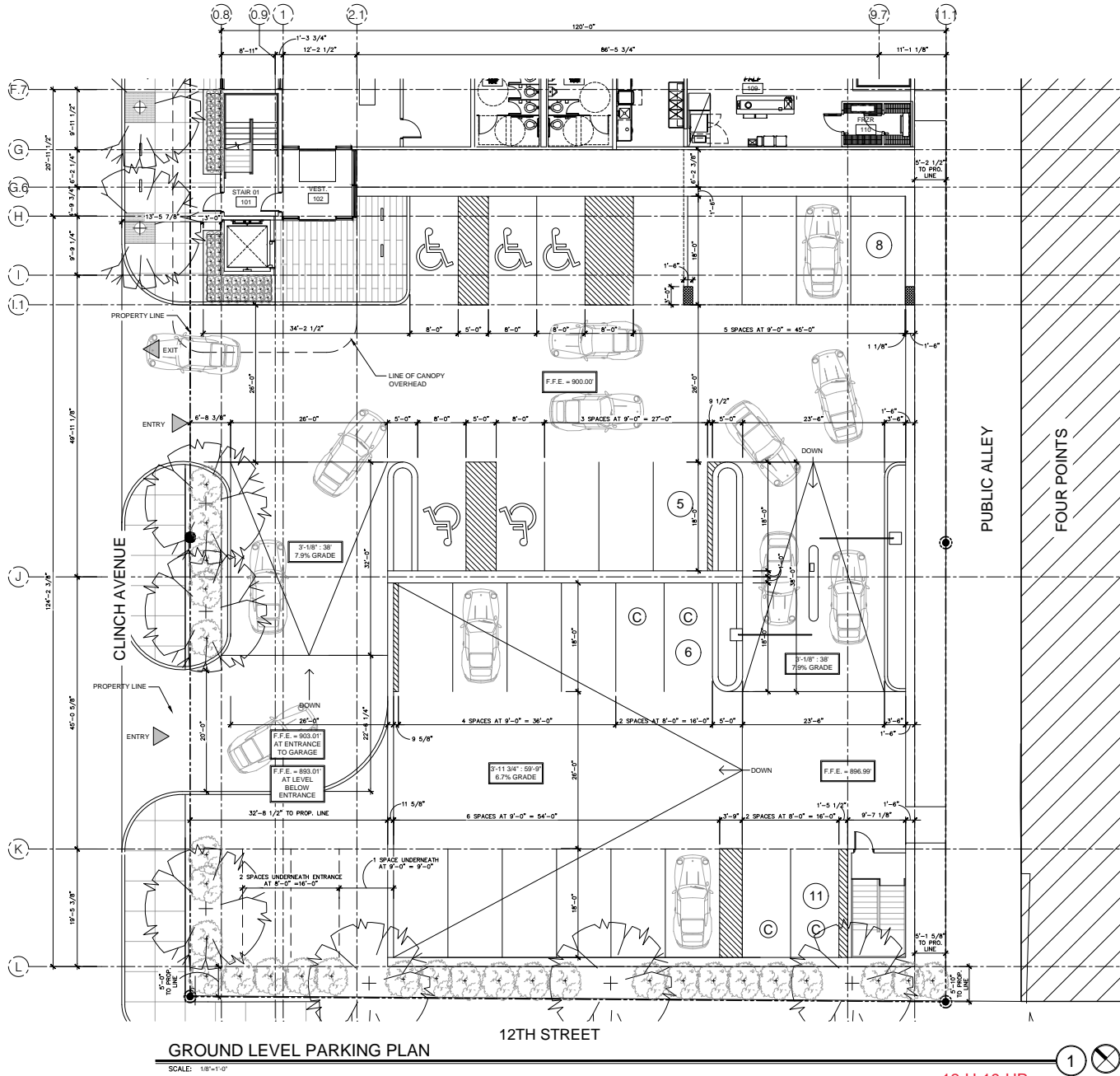
Drawn Checked
RRS RMR

Revisions

a1.05
8th floor overall plan -
bar level

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PARKING MATRIX	
LEVEL	PARKING COUNT
LOWER LEVEL G3	20 SPACES
LOWER LEVEL G2	35 SPACES
LOWER LEVEL G1	35 SPACES
MAIN LEVEL	30 SPACES
TOTAL	120 SPACES



GROUND LEVEL PARKING PLAN

SCALE: 1/8"=1'-0"

12TH STREET



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Drawn Checked
RRS RMR

Revisions

a1.20
ground level parking
plan

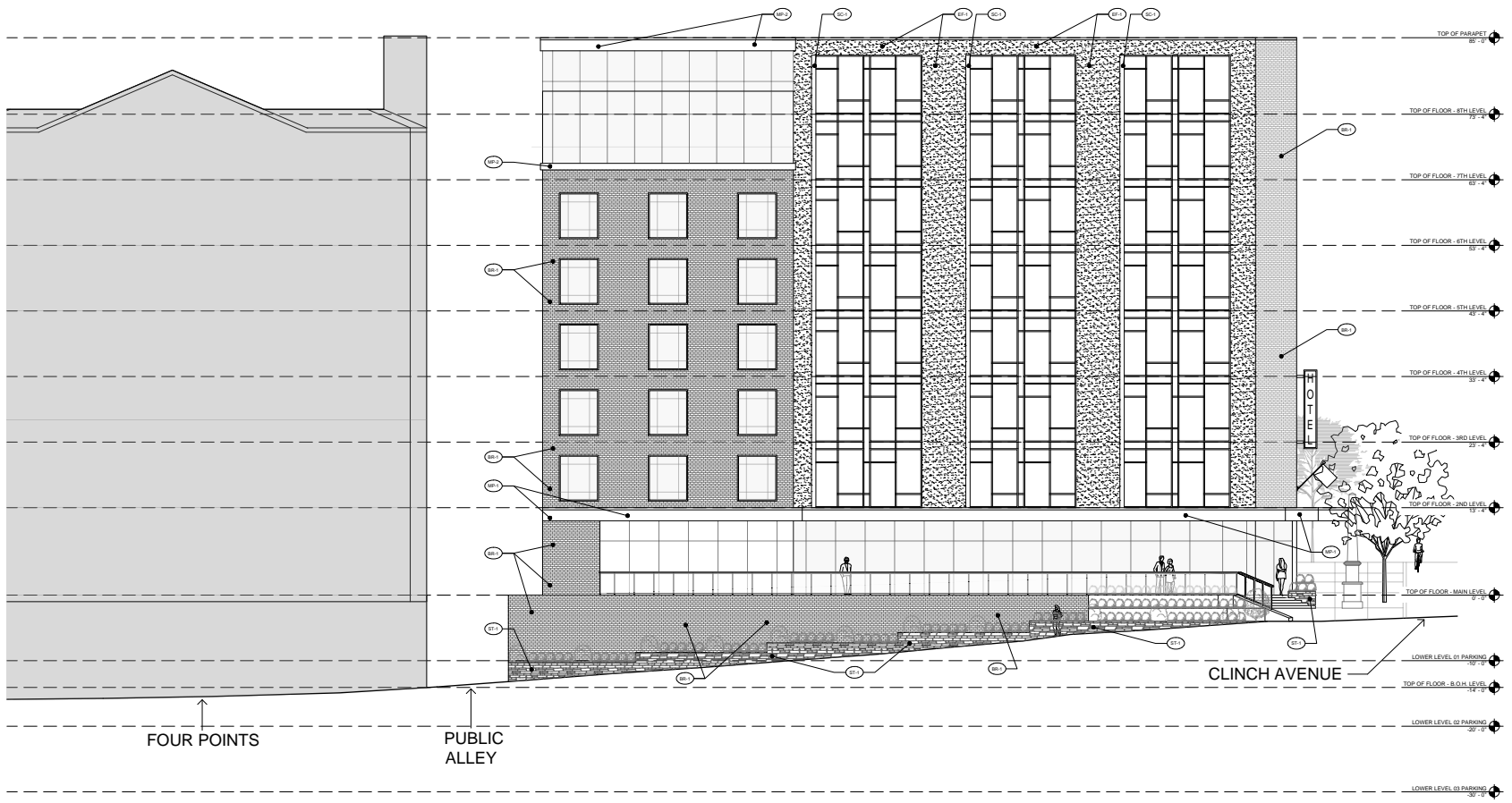
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EXTERIOR FINISH KEY	
	E.F.S.
	FULL BED BRICK
	FULL BED STONE VENEER
	STONE TRIM CAP
	METAL PANEL CANOPY SYSTEM
	METAL PANEL
	METAL SCREEN



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PROPOSAL

WORLD'S FAIR PARK HOTEL

THE 9 GROUP
CLINCH AVENUE
KNOXVILLE, TENNESSEE 37916

Issue Date 01-27-2020

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Revisions

ELEVATION FROM ELEVENTH STREET

SCALE: 1/8"=1'-0"

1

12-H-19-UR
Revised: 1/27/2020

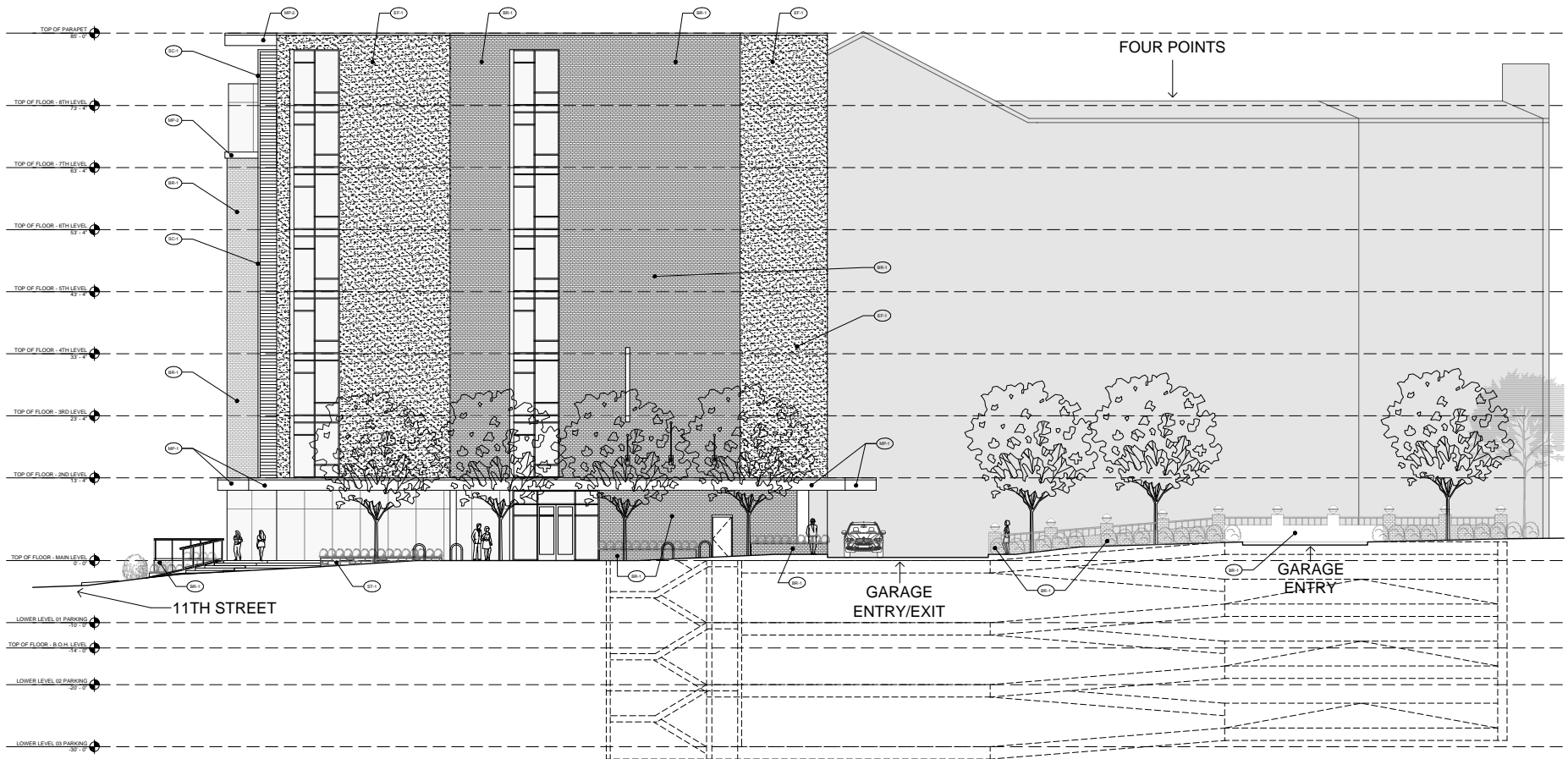
a4.01
elevation from 11th
street



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EXTERIOR FINISH KEY	
	E.I.F.S.
	FULL BED BRICK
	FULL BED STONE VENEER
	STONE TRIM CAP
	METAL PANEL CANOPY SYSTEM
	METAL PANEL
	METAL SCREEN



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CLINCH AVENUE
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Checked RMR

Revisions

ELEVATION FROM CLINCH AVENUE

SCALE: 1/8"=1'-0"

1

12-H-19-UR
Revised: 1/27/2020

a4.02
elevation from clinch
avenue



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EXTERIOR FINISH KEY	
	E.F.S.
	FULL BED BRICK
	FULL BED STONE VENEER
	STONE TRIM CAP
	METAL PANEL CANOPY SYSTEM
	METAL PANEL
	METAL SCREEN



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Drawn RRS Checked RMR

Revisions

ELEVATION FROM PARKING STRUCTURE

SCALE: 1/8"=1'-0"

1

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Revised: 1/27/2020

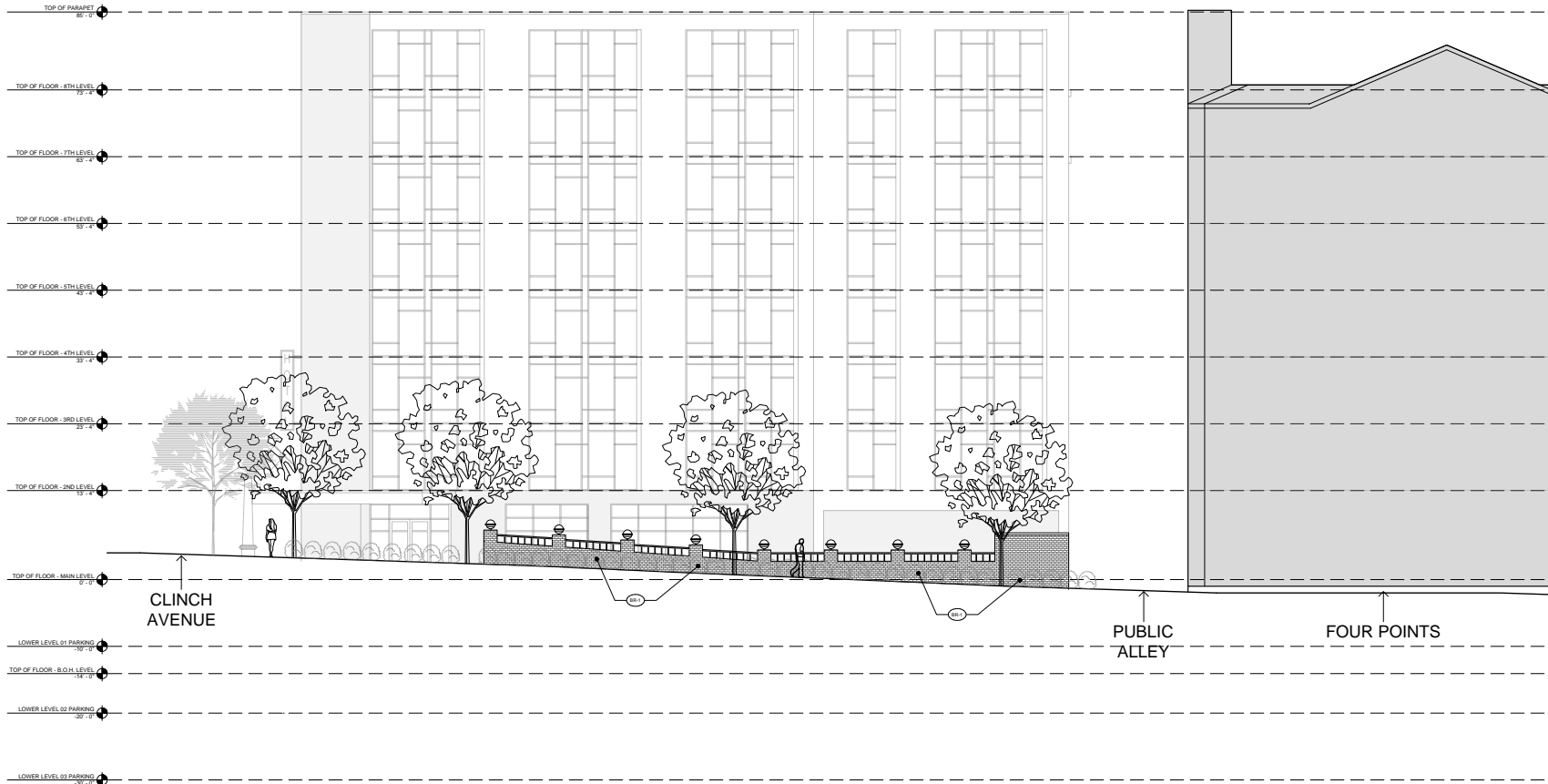
a4.03
elevation from parking
structure



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EXTERIOR FINISH KEY	
	EIFS
	FULL BED BRICK
	FULL BED STONE VENEER
	STONE TRIM CAP
	METAL PANEL CANOPY SYSTEM
	METAL PANEL
	METAL SCREEN



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WORLD'S FAIR PARK HOTEL
THE 9 GROUP
CLINCH AVENUE
KNOXVILLE, TENNESSEE 37916

Issue Date 01-27-2020

Drawn RRS
Checked RMR

Revisions

ELEVATION FROM TWELFTH STREET

SCALE: 1/8"=1'-0"

1

12-H-19-UR
Revised: 1/27/2020

a4.04

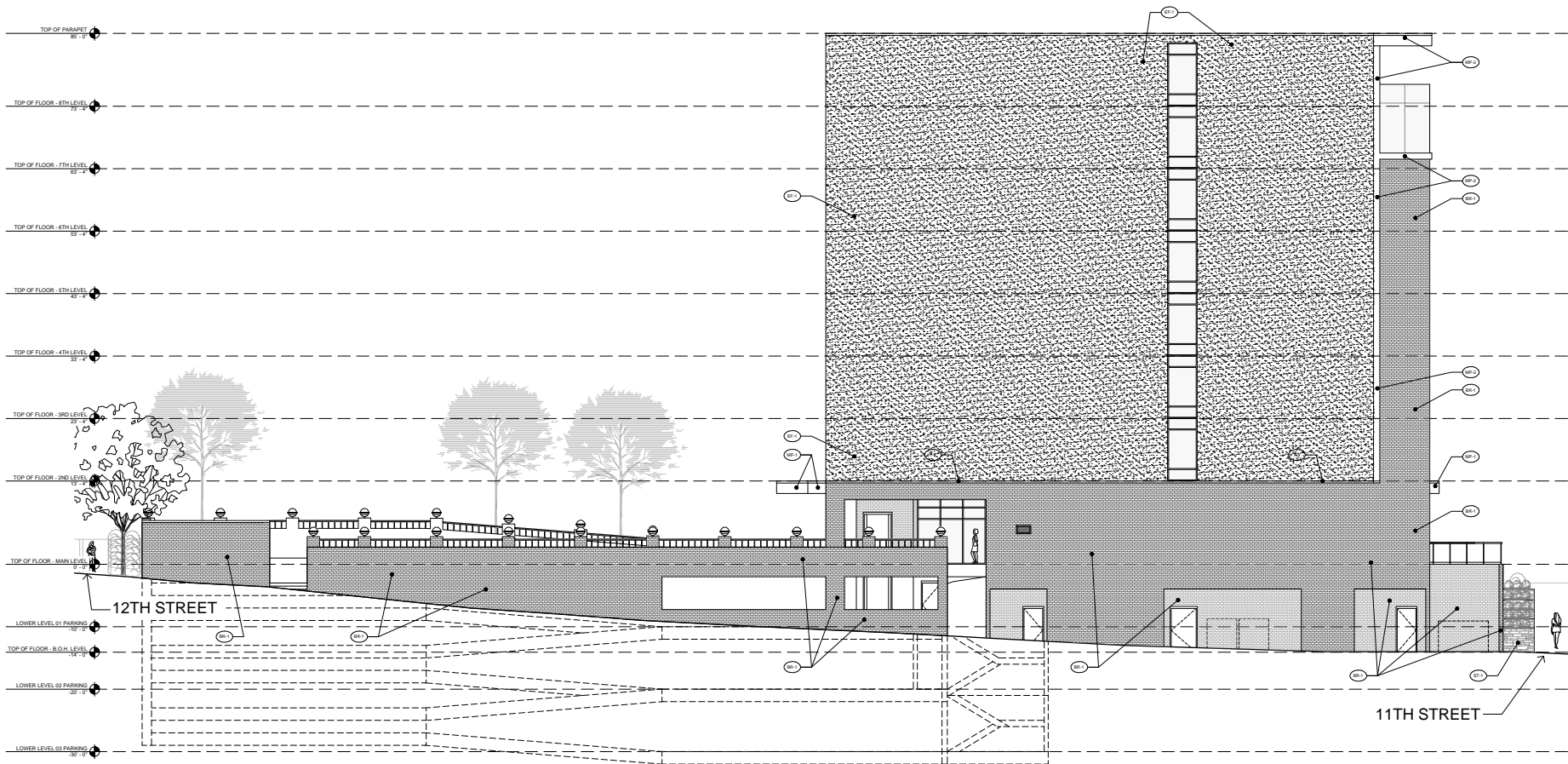
elevation from 12th
street



**randolph
architecture**

550 w main street
suite 725
knoxville, tn 37902
v: 865.357.3750
f: 865.357.3746

EXTERIOR FINISH KEY	
	E.F.S.
	FULL BED BRICK
	FULL BED STONE VENEER
	STONE TRIM CAP
	METAL PANEL CANOPY SYSTEM
	METAL PANEL
	METAL SCREEN



MPC
SUBMISSION

12-H-19-UR
PROPOSAL

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THE 9 GROUP
CLINCH AVENUE
KNOXVILLE, TENNESSEE 37916

Issue Date 01-27-2020

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Revisions

ELEVATION FROM PUBLIC ALLEY

SCALE: 1/8"=1'-0"

1

a4.05

elevation from public
alley

12-H-19-UR
Revised: 1/27/2020