

DIANAS VIEW

1316 LOVELL ROAD

DISTRICT 6* KNOX COUNTY* TENNESSEE

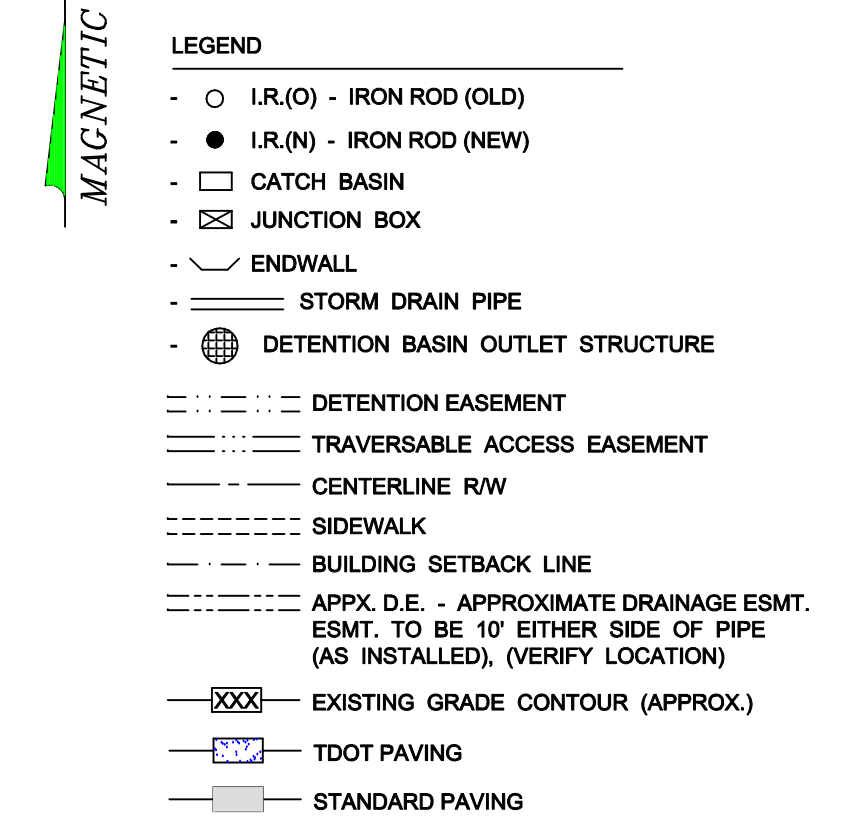
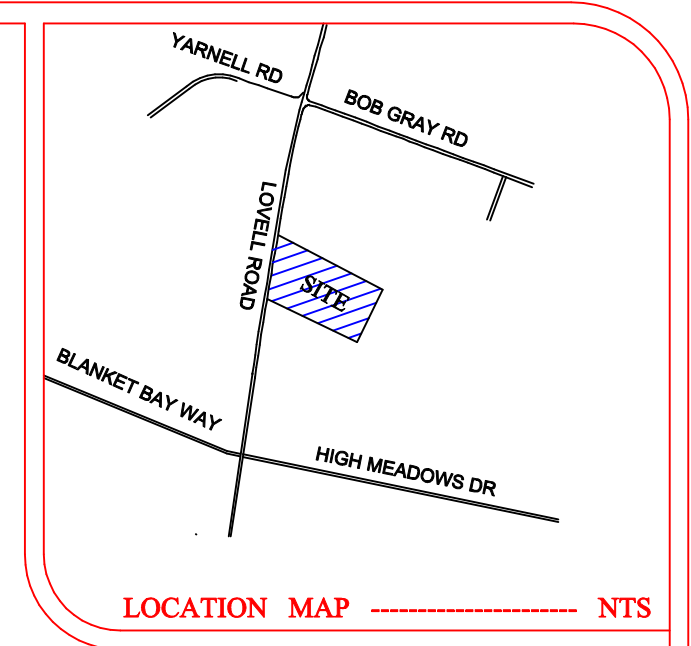
SHEET(S)

S-1	SITE PLAN
S-2	SITE DETAILS
C-1	INITIAL GRADING PLAN
C-2	DURING CONSTRUCTION GRADING PLAN
C-3	POST CONSTRUCTION GRADING PLAN
C-4	SWPPP DETAILS

LeMAY AND ASSOCIATES
CONSULTING ENGINEERS

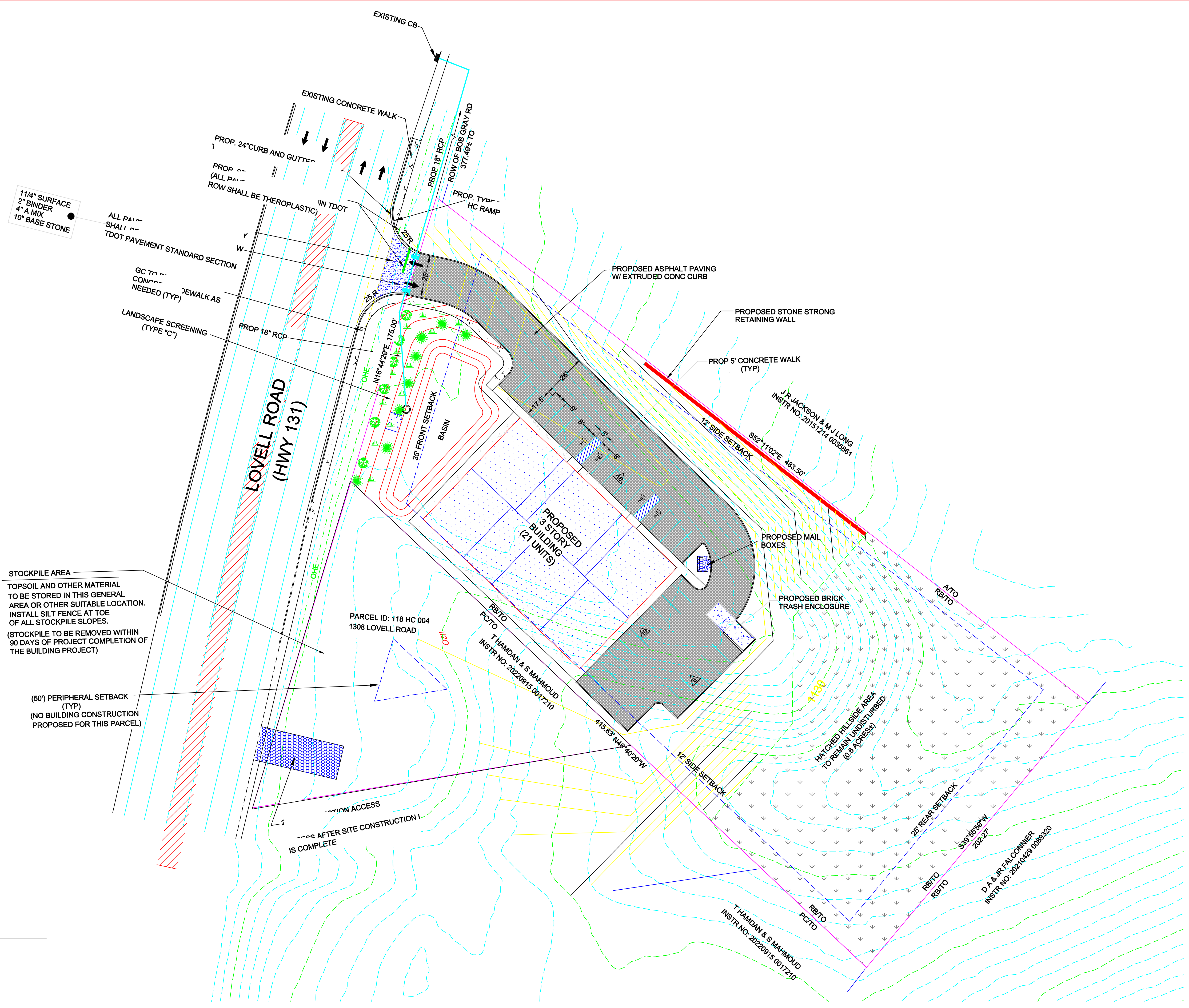
PH: (865) 671-0183
FAX: (865) 671-0213
EMAIL: rlemay@lemayassociates.com
10816 KINGSTON PIKE
KNOXVILLE, TENNESSEE 37934

OWNER / DEVELOPER
H R DAVIS REVOCABLE TRUST
P O BOX 1525
NORRIS, TENNESSEE 37828



SITE UTILITIES

SANITARY SEWER	FIRST UTILITY DISTRICT
WATER	FIRST UTILITY DISTRICT
ELECTRIC	LCUB
GAS	K.U.B.
TELEPHONE	BELLSOUTH
CABLE	COMCAST



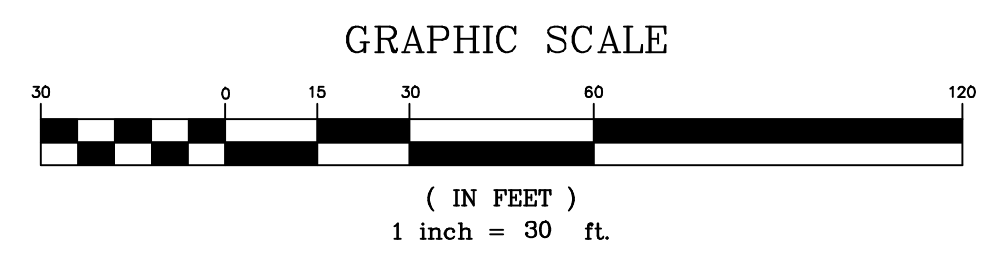
PARKING REQUIRED

1.5 SPACES PER UNIT
21 UNITS X 1.5 = 31.5 = 32 SPACES.
PARKING PROVIDED
32 STANDARD SPACES
4 HANDICAPPED SPACES

NOTE:

SITE = 1.86 ACRES
PROPOSED DISTURBED AREA = 2.3 ACRES
EXISTING IMPERVIOUS AREA = 0.08 ACRES
DEVELOPED IMPERVIOUS AREA = 0.83 ACRES
INCREASE IN IMPERVIOUS AREA = 0.55 ACRES

- SITE NOTES
- CORNER MONUMENTS AS SHOWN HEREON
 - VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION
 - 10' UTILITY AND DRAINAGE EASEMENT INSIDE ALL EXTERIOR BOUNDARY LINES, 5' EACH SIDE ALL INTERIOR LOT LINES, EXCEPT UNDER BUILDINGS.
 - DEED REFERENCE: INSTR. NO. 20221031 0026207 & 20220915 0017210
 - PROPERTY SHOWN ON MAP 118, GROUP H, C, PARCELS 005 & 004
 - PROPERTY ZONED: (RB) - GENERAL RESIDENTIAL
 - TOTAL AREA OF SUBDIVISION: 1.86 ACRES (PARCEL 5) 0.46 ACRES (PARCEL 4)
 - TOTAL PROPOSED LOTS: 1 (21) UNITS (11.29 UNITS/ACRE) PARCEL 4.
 - PROPERTY SUBJECT TO ALL APPLICABLE EASEMENTS, SETBACKS AND RESTRICTIONS OF RECORD.
 - BEARINGS SHOWN HEREON ARE MAGNETIC AND NOT RELATED TO U.S.G.S. DATUM.
 - ALL LOTS TO HAVE ACCESS TO INTERNAL ROAD SYSTEM ONLY.
 - COMPACTION TESTING OF ROADWAY, TO BE PERFORMED AND INSPECTED IN ACCORDANCE WITH KNOX COUNTY REQUIREMENTS.
 - A PROP 20' DRAINAGE EASEMENT TO BE 10' EITHER SIDE OF STORM PIPES AS INSTALLED.
 - A PROP 15' UTILITY EASEMENT TO BE 7.5' EITHER SIDE OF WATER LINES AND SEWER LINES AS INSTALLED.
 - A PLAT TO BE RECORDED REFLECTING ALL REQUIRED EASEMENTS.



TTCDA # (10-A-24-TOG)

OWNER / DEVELOPER
 H R DAVIS REVOCABLE TRUST
 P O BOX 1525
 NORRIS, TENNESSEE 37828

TTCDA # (10-A-24-TOG)

SITE/ DEVELOPMENT PLAN

SHEET: S-1

DIANAS VIEW

DISTRICT 6 * KNOX COUNTY * TENNESSEE
 PROPERTY SHOWN ON MAP 118 H, GROUP C, PARCEL 5 & 4
 ADDRESS: 1316 & 1308 LOVELL ROAD * KNOXVILLE * TENNESSEE

DRAWN BY: RELjr	APPROVED BY: REL	DATE: 01-26-2024	MOST RECENT REVISIONS: 06-12-2024 11-25-2024	SCALE: 1" = 30'	DRAWING NUMBER: 6212
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LeMAY AND ASSOCIATES
 CONSULTING ENGINEERS

PH: 865-671-0183 FAX: 865-671-0213
 10816 KINGSTON PIKE
 KNOXVILLE, TENNESSEE 37934

GRADING AND EROSION CONTROL NOTES

- CONTRACTOR TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO CALL TENNESSEE ONE-CALL AT 1-800-351-1111 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION ACTIVITIES FOR UTILITIES LOCATION.
- CONTRACTOR RESPONSIBLE FOR COMPLIANCE OSHA REQUIREMENTS FOR SLOPE STABILITY, SHORING, AND SLOPE CONTROL DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADES AND ALIGNMENTS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO LEMAY & ASSOCIATES AT (865) 671-0183.
- TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION AND KNOX COUNTY REQUIREMENTS.
- THE REQUIREMENTS LISTED BELOW ARE INTENDED TO SERVE AS AN OUTLINE OF GENERAL REQUIREMENTS. ADDITIONAL REQUIREMENTS MAY BE SET FORTH IN THESE DRAWINGS.

PERMITS
CONTRACTOR SHALL PAY GRADING PERMIT FEE AND POST GRADING BOND, AS REQUIRED.

EROSION CONTROL
INSTALL ALL CONSTRUCTION ENTRANCE, SILT FENCE AND EROSION CONTROL BERMS AND SEDIMENT RETENTION FACILITIES PRIOR TO THE START OF GRADING.

CLEARING AND GRUBBING
COMPLY WITH LOCAL AND STATE ORDINANCES REGARDING DISPOSAL OF DEBRIS. DO NOT BURN DEBRIS ON SITE WITHOUT APPROVAL OF LOCAL AUTHORITY. CLEAR AND GRUB FOR NEW CONSTRUCTION AS REQUIRED.

EXCAVATION PREPARATION
VERIFY LOCATION OF EXISTING ON-SITE UTILITIES. PROTECT AND MAINTAIN EXISTING UTILITIES AS REQUIRED. ESTABLISH AND VERIFY EXISTING LINES, GRADE, AND DIMENSIONS AS SHOWN ON THE DRAWING. REPORT ANY ERRORS OR INCONSISTENCIES TO LEMAY & ASSOCIATES AT (865) 671-0183 BEFORE COMMENCEMENT OF WORK.

BARRIERS
SAFETY BARRIERS HAVING A MAXIMUM OPENING OF 4" SHALL BE PROVIDED FOR ANY PIPE, OPENING OR EXCAVATION TO PREVENT CHILDREN OR LARGE ANIMALS FROM CRAWLING INTO THE STRUCTURES. SCREENS SHALL BE WELDED 3/8" BARS # 4 @ 2' ON BOTH SIDES.

TEMPORARY DIVERSION SWALES
TEMPORARY DIVERSION SWALES SHALL BE CONSTRUCTED PRIOR TO STRIPPING OR ANY OTHER GRADING ACTIVITY. IF SHOWN THIS DRAWING, ALSO TEMPORARY SEDIMENT TRAPS AND/OR PERMANENT DETENTION BASINS SHALL BE CONSTRUCTED PRIOR TO STRIPPING OR OTHER GRADING ACTIVITY.

EXISTING TOPD ACCURACY
EXISTING CONTOURS SHOWN ARE BASED ON KGIS AND ON GROUND SURVEYING DATA. ELEVATIONS, TOPOGRAPHIC INFORMATION SHOWN HEREIN SHALL BE VERIFIED BY THE CONTRACTOR AND ANY ERRORS OR VARIATIONS SHOULD BE REPORTED TO LEMAY AND ASSOCIATES PRIOR TO COMMENCEMENT OF WORK. ANY ERROR NOT REPORTED CANNOT BE CONSIDERED FOR ADJUSTMENT IN CONTRACT PRICE.

STRIPPING AND SPREADING TOPSOIL
TOPSOIL SHALL BE STRIPPED AND TEMPORARILY STOCK PILED FOR LATER REUSE IN AREA SHOWN ON PLAN OR OTHER AGREED TO LOCATION ON SITE.

PLACEMENT OF FILL
ALL AREAS TO RECEIVE NEW STRUCTURAL FILL SHALL BE PROOF ROLLED OR TESTED BY A SOIL TESTING ENGINEER OR LEMAY & ASSOCIATES. THE CONTRACTOR'S REPRESENTATIVE SHALL NOTIFY LEMAY & ASSOCIATES THAT ALL AREAS HAVE PASSED PROOF ROLL INSPECTION PRIOR TO COMMENCEMENT OF STRUCTURAL OR GENERAL BACKFILL. DO NOT COMMENCE FILL PRIOR TO SUCH NOTIFICATION.

STRUCTURAL OR ROADWAY
STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF STANDARD PROCTOR DENSITY WITH MOISTURE CONTENT ± 1% OF OPTIMUM. UNSUITABLE OR QUESTIONABLE SOILS SHALL BE REMOVED FROM AREAS RECEIVING STRUCTURAL BACKFILL. BACKFILL TO BE PLACED IN 6" TO 8" LIFTS, NO ORGANIC, OR ROCK LARGER THAN 6" DIA SHALL BE USED IN FILL AREAS.

GRADING TOLERANCE
GRADING CONTRACTOR SHALL BRING SUBGRADE TO WITHIN AN AVERAGE OF 1/10 OF ONE FOOT OF REQUIRED ELEVATION TO OBTAIN FINISHED GRADE INDICATED ON DRAWINGS OR AS APPROVED BY LEMAY AND ASSOCIATES.

TESTING
CONTRACTOR SHALL INCLUDE PRICE FOR ONE PROCTOR DENSITY ANALYSIS FROM SAMPLES COLLECTED AT LOCATIONS SPECIFIED BY THE INDEPENDENT QUALIFIED GEOTECHNICAL TESTING AGENT SUITABLE TO LEMAY & ASSOCIATES. ALL TESTS SHALL SPECIFICALLY STATE THAT THE TEST EITHER PASSES OR FAILS TO MEET SPECIFICATIONS. CONTRACTOR SHALL INCLUDE IN HIS BASE BID 10 SOIL DENSITY DETERMINATION TESTS AFTER COMPLETION OF GRADING IF REQUIRED.

STORMWATER RUNOFF
THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO PREVENT STORMWATER RUNOFF FROM EXITING THE SITE OR ENTERING ADJACENT WATER QUALITY BUFFERS OR STREAMS. ALL KNOX COUNTY AND TDEC REGULATIONS TO BE COMPLIED WITH THROUGHOUT THE CONSTRUCTION PROCESS.

SITE UTILITIES

- SANITARY SEWER : FIRST UTILITY DISTRICT
- WATER : FIRST UTILITY DISTRICT
- ELECTRIC : LCUB
- GAS : K.U.B.
- TELEPHONE : BELLSOUTH
- CABLE : COMCAST

NOTE:

SITE = 1.88 ACRES
PROPOSED DISTURBED 2.31 ACRES
EXISTING IMPERVIOUS AREA = 0.08 ACRES
DEVELOPED IMPERVIOUS AREA = 0.63 ACRES
INCREASE IN IMPERVIOUS AREA = 0.63 ACRES

SITE NOTES

- CORNER MONUMENTS AS SHOWN HEREON
- VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- 10' UTILITY AND DRAINAGE EASEMENT INSIDE ALL EXTERIOR BOUNDARY LINES, 5' EACH SIDE ALL INTERIOR LOT LINES, EXCEPT UNDER BUILDINGS.
- DEED REFERENCE: INSTR. NO. 20221031 0026207
- PROPERTY SHOWN ON MAP 118, GROUP H, C, PARCEL 545
- PROPERTY ZONED: (RB) - GENERAL RESIDENTIAL
- TOTAL AREA OF SUBDIVISION: 1.88 ACRES
- TOTAL PROPOSED LOTS: 1
- PROPERTY SUBJECT TO ALL APPLICABLE EASEMENTS, SETBACKS AND RESTRICTIONS OF RECORD.
- BEARINGS SHOWN HEREON ARE MAGNETIC AND NOT RELATED TO U.S.G.S. DATUM.
- ALL LOTS TO HAVE ACCESS TO INTERNAL ROAD SYSTEM ONLY.
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- A PROP 15' UTILITY EASEMENT TO BE 7.5' EITHER SIDE OF WATER LINES AND SEWER LINES AS INSTALLED.

GRADING AND EROSION CONTROL NOTES

Prior to grading, contractor shall strip site of all vegetation and topsoil in areas of grading operation. Areas of soft or unsuitable materials shall be removed at the direction of the soils engineer.

The contractor shall maintain positive drainage throughout the site and use all means necessary to prevent sediment from exiting the site.

Silt fence shall be placed preceding all culvert inlets or other drains and ditches before the runoff exits the project of enters a swale and at other locations designated by the engineer.

Silt fences and other erosion control devices shall be cleaned of accumulated sediment when approximately 50% filled with such sediment.

All dimensions and locations of temporary soil erosion and water pollution control devices shall be subject to adjustments as designated by the engineer.

The contractor shall notify the engineer of any changes in existing topographic features, spot elevations, or utilities shown on survey.

The contractor shall notify the engineer prior to culvert installations to verify inverts.

All graded areas including slopes are to be mulched and seeded as soon as possible after grading is completed.

All grading and drainage ordinances of Knox County Tennessee shall be followed.

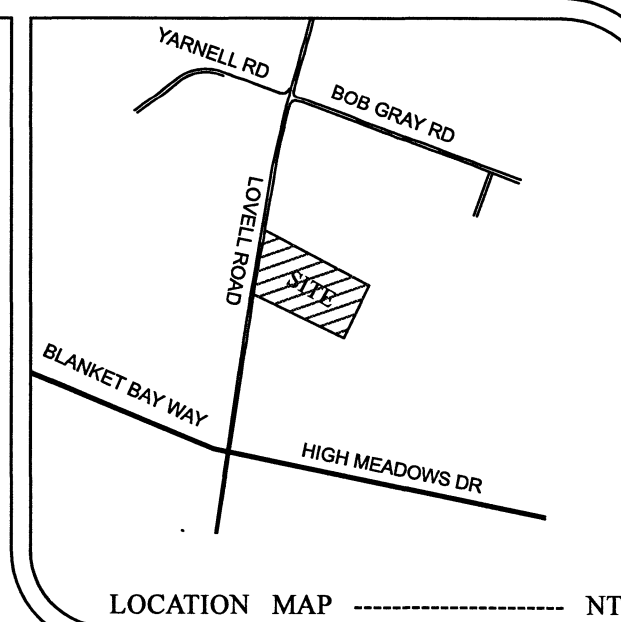
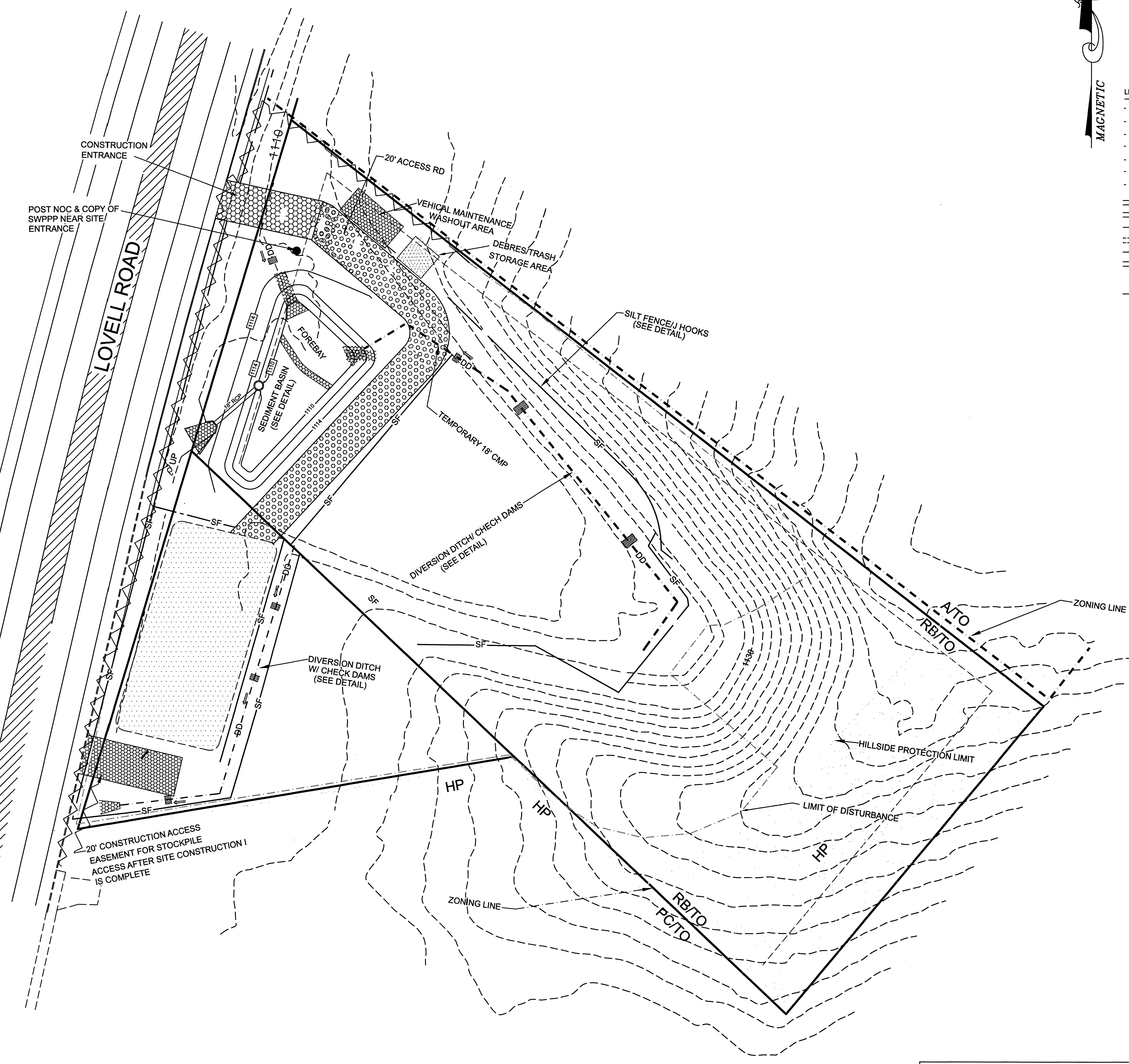
SEEDING

- APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
- APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.

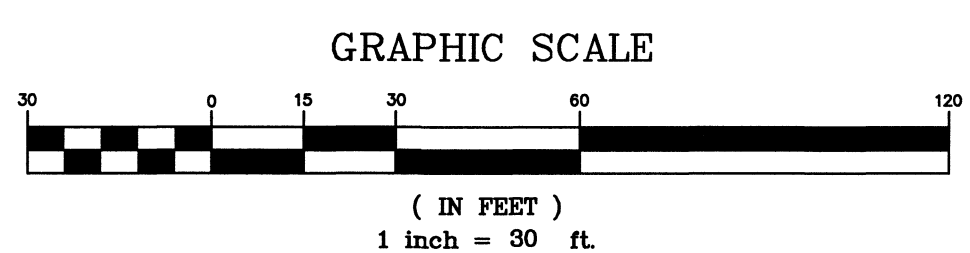
SEQUENCE OF PRE-CONSTRUCTION ACTIVITIES

THE CONSTRUCTION SEQUENCE FOR THIS PROJECT IS AS FOLLOWS:

- INSTALL SILT FENCE
- INSTALL STORMWATER PERMIT STAND
- INSTALL CONSTRUCTION ENTRANCE
- INSTALL RIPRAP SEDIMENT TRAPS, DIVERSION DITCHES, AND THE REMAINDER OF EROSION CONTROL DEVICES.
- COMMENCE REQUIRED INSPECTIONS AND MAINTENANCE OF EROSION CONTROL SYSTEMS



- LEGEND**
- I.R.(O) - IRON ROD (OLD)
 - I.R.(N) - IRON ROD (NEW)
 - CATCH BASIN
 - ⊠ JUNCTION BOX
 - ENDWALL
 - STORM DRAIN PIPE
 - ⊙ DETENTION BASIN OUTLET STRUCTURE
 - DETENTION EASEMENT
 - TRAVERSABLE ACCESS EASEMENT
 - CENTERLINE R/W
 - SIDEWALK
 - BUILDING SETBACK LINE
 - APPX. D.E. - APPROXIMATE DRAINAGE ESMT. ESMT. TO BE 10' EITHER SIDE OF PIPE (AS INSTALLED), (VERIFY LOCATION)
 - EXISTING GRADE CONTOUR (APPROX.)



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10816 KINGSTON PIKE
KNOXVILLE, TENNESSEE 37934

INITIAL CONSTRUCTION GRADING PLAN C-1

DIANAS VIEW

DISTRICT 6 * KNOX COUNTY * TENNESSEE
PROPERTY SHOWN ON MAP 118 H, GROUP C, PARCEL 5
ADDRESS: 1316 LOVELL ROAD* KNOXVILLE* TENNESSEE

OWNER / DEVELOPER
H R DAVIS REVOCABLE TRUST
P O BOX 1525
NORRIS, TENNESSEE 37828

DRAWN BY: RELjr	APPROVED BY: REL	DATE: 01-26-2024	MOST RECENT REVISIONS: 04-22-2024 10-25-2024	SCALE: 1" = 30'	DRAWING NUMBER: 6212
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SEQUENCE OF DURING CONSTRUCTION ACTIVITIES

- Continue required inspections of erosion control systems
- Clear and grub remainder of site to be graded.
- Strip topsoil from area to be graded. Stock pile in area indicated on plan or other suitable area. Install silt fencing at toe of topsoil stockpiles.
- Remove any unsuitable material.
- Grade site to grades shown on Final Grading Plan.
- Maintain all erosion and sediment control measures to include silt fence, construction entrance, diversion ditches, sediment basin and any other measures utilized.
- Perform site assessment of all erosion control measures after 30 days, continue to inspect and maintain all erosion control systems and file reports as required by the SWPPP.
- Stabilize the site with seed and straw and maintain all disturbed areas in accordance with the SWPPP.

SITE UTILITIES

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GAS : K.U.B.
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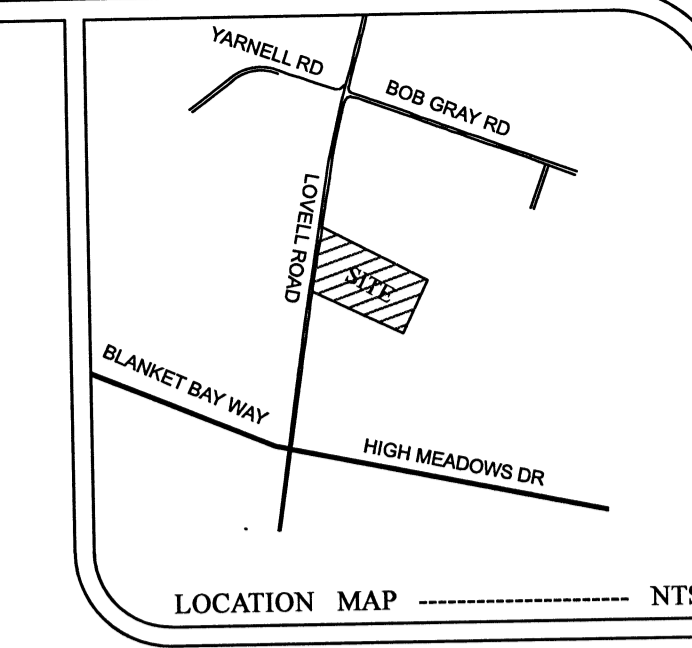
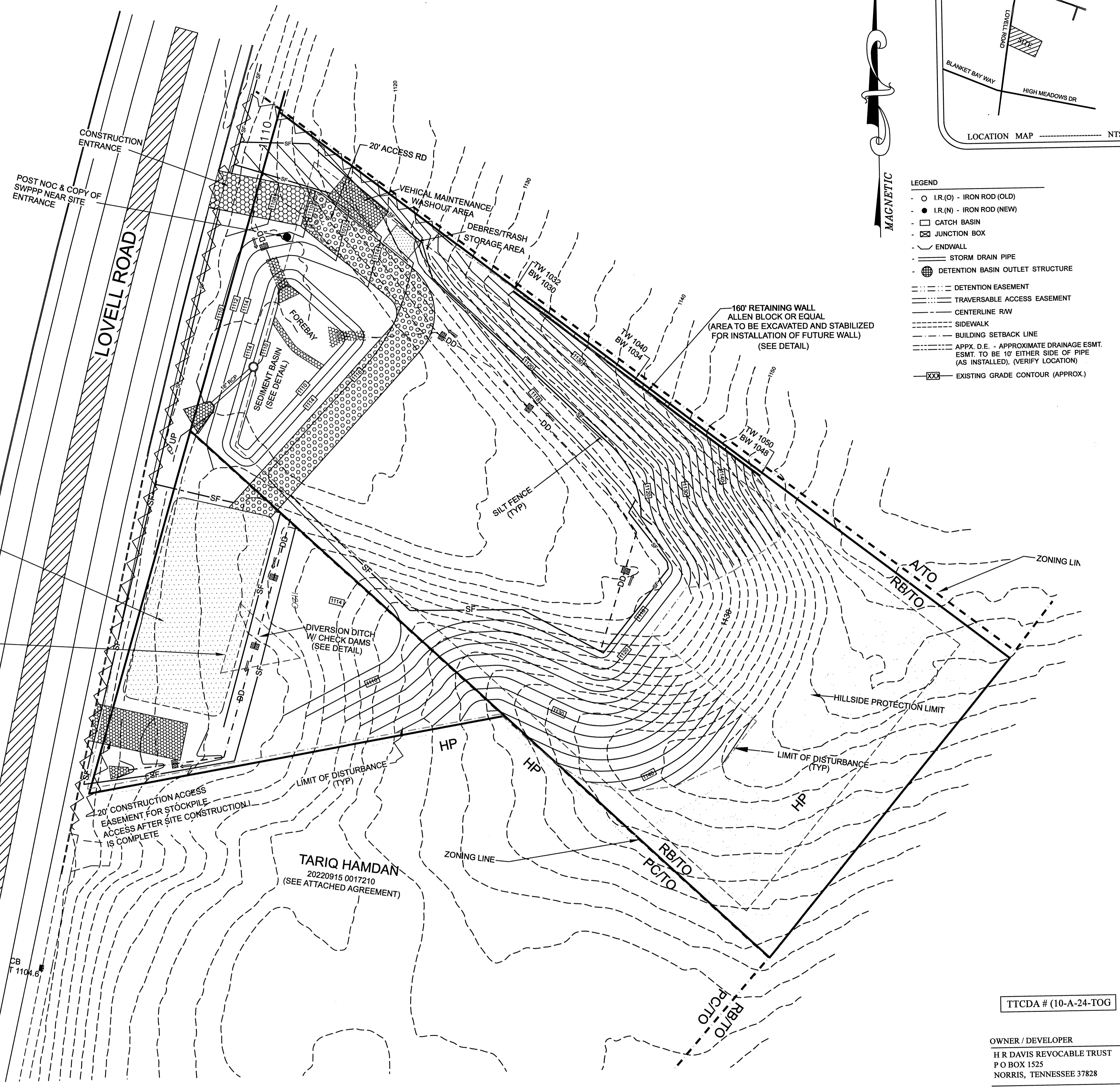
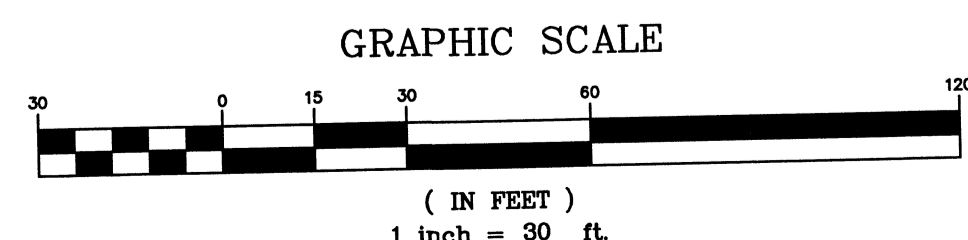
SITE NOTES

- CORNER MONUMENTS AS SHOWN HEREON
- VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
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- TOTAL PROPOSED LOTS: 1 (21) UNITS (11.29 UNITS/ACRE) PARCEL 4.
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- BEARINGS SHOWN HEREON ARE MAGNETIC AND NOT RELATED TO U.S.G.S. DATUM.
- ALL LOTS TO HAVE ACCESS TO INTERNAL ROAD SYSTEM ONLY.
- COMPACTION TESTING OF ROADWAY TO BE PERFORMED AND INSPECTED IN ACCORDANCE WITH KNOX COUNTY REQUIREMENTS.
- A PROP 20' DRAINAGE EASEMENT TO BE 10' EITHER SIDE OF STORM PIPES AS INSTALLED.
- A PROP 15' UTILITY EASEMENT TO BE 7.5' EITHER SIDE OF WATER LINES AND SEWER LINES AS INSTALLED.

- This is a priority construction activity.
- Adequate drainage, erosion and sediment control measures, best management practices and/or other stormwater management facilities shall be provided and maintained at all times during construction. Damages to adjacent property and/or the construction site caused by the contractor's or property owner's failure to provide and maintain adequate drainage and erosion/sediment control for the construction area shall be the responsibility of the property owner and/or contractor.
- Quality assurance of erosion prevention and sediment controls shall be conducted by qualified personnel performing site assessment at each outfall involving drainage totaling 10 or more acres, or five or more acres if draining to impaired or exceptional waters. This assessment will be conducted at each qualifying outfall within a month of construction commencement. (see CGP sec 3.1.2 for assessment language)
- Fugitive sediment that has escaped the construction site must be removed so that it is not subsequently washed into storm sewers and/or streams by the next rain and/or so that it does not pose a safety hazard to users of public streets. Arrangements concerning removal of sediment on adjoining property must be settled by the permittee with the adjoining land owner.
- Sediment should be removed from sediment traps, silt fences, sedimentation ponds, other sediment controls when design capacity has been reduced by 50 %.
- Litter, construction debris, and construction chemicals exposed to stormwater shall be picked up prior to anticipated storm events or before being carried off the site by wind, or otherwise prevented from becoming a pollution source for stormwater discharges.
- Preconstruction vegetative ground cover shall not be destroyed, removed, or disturbed more than 15 days prior to grading or earth moving unless the area is seeded and/or mulched or other temporary cover is installed.
- Existing vegetation should be preserved to the maximum extent practicable.
- Temporary or permanent soil stabilization must be completed no later than 15 days after the construction activity in that portion of the site has permanently or temporarily ceased. Steep slopes (>35 %) must be permanently or temporarily stabilized within 7 days.
- Site inspections shall be performed at least twice weekly at a minimum of 72 hours apart on all unstabilized sites.

SEEDING

- APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
- APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.



LEGEND

- I.R.(O) - IRON ROD (OLD)
- I.R.(N) - IRON ROD (NEW)
- CATCH BASIN
- ⊗ JUNCTION BOX
- ENDWALL
- STORM DRAIN PIPE
- ⊕ DETENTION BASIN OUTLET STRUCTURE
- DETENTION EASEMENT
- TRAVERSABLE ACCESS EASEMENT
- CENTERLINE RW
- SIDEWALK
- BUILDING SETBACK LINE
- APPX. D.E. - APPROXIMATE DRAINAGE ESMT. ESMT. TO BE 10' EITHER SIDE OF PIPE (AS INSTALLED). (VERIFY LOCATION)
- EXISTING GRADE CONTOUR (APPROX.)

TTCDA # (10-A-24-TOG)

OWNER / DEVELOPER
H R DAVIS REVOCABLE TRUST
P O BOX 1525
NORRIS, TENNESSEE 37828

LeMAY AND ASSOCIATES CONSULTING ENGINEERS
PH: 865-671-0183 FAX: 865-671-0213
10816 KINGSTON PIKE
KNOXVILLE, TENNESSEE 37934

DURING CONSTRUCTION GRADING PLAN C-2

DIANAS VIEW

DISTRICT 6 * KNOX COUNTY * TENNESSEE
PROPERTY SHOWN ON MAP 118 H, GROUP C, PARCEL 5 & PRT 004
ADDRESS: 1316 LOVELL ROAD * KNOXVILLE * TENNESSEE

DRAWN BY: RELjr	APPROVED BY: REL	DATE: 01-28-2024	MOST RECENT REVISIONS: 04-22-2024 10-25-2024	SCALE: 1" = 30'	DRAWING NUMBER: 6212
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Standard Notes:

1. This is a priority construction activity.
2. Adequate drainage, erosion and sediment control measures, best management practices and/or other stormwater management facilities shall be provided and maintained at all times during construction. Damages to adjacent property and/or the construction site caused by the contractor's or property owner's failure to provide and maintain adequate drainage and erosion/sediment control for the construction area shall be the responsibility of the property owner and/or contractor.
3. Quality assurance of erosion prevention and sediment controls shall be conducted by qualified personnel performing site assessment at each outfall involving drainage totaling 10 or more acres, or five or more acres if draining to impaired or exceptional waters. This assessment will be conducted at each qualifying outfall within a month of construction commencement (see CGP sec 3.1.2 for assessment language)
4. Fugitive sediment that has escaped the construction site must be removed so that it is not subsequently washed into storm sewers and/or streams by the next rain and/or so that it does not pose a safety hazard to users of public streets. Arrangements concerning removal of sediment on adjoining property must be settled by the permittee with the adjoining land owner.
5. Sediment should be removed from sediment traps, silt fences, sedimentation ponds, other sediment controls when design capacity has been reduced by 50 %.
6. Litter, construction debris, and construction chemicals exposed to stormwater shall be picked up prior to anticipated storm events or before being carried off the site by wind, or otherwise prevented from becoming a pollution source for stormwater discharges.
7. Preconstruction vegetative ground cover shall not be destroyed, removed, or disturbed more than 15 days prior to grading or earth moving unless the area is seeded and/or mulched or other temporary cover is installed.
8. Existing vegetation should be preserved to the maximum extent practicable.
9. Temporary or permanent soil stabilization must be completed no later than 15 days after the construction activity in that portion of the site has permanently or temporarily ceased. Steep slopes (>35%) must be permanently or temporarily stabilized within 7 days.
10. Site inspections shall be performed at least twice weekly at a minimum of 72 hours apart on all unstabilized sites.

SEQUENCE OF DURING CONSTRUCTION ACTIVITIES

- Continue required inspections of erosion control systems
- Stabilize with seed and straw and continue maintenance of disturbed areas.
- File Notice of Termination once site is stabilized.

SEEDING

- A. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
- B. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.

SITE UTILITIES

SANITARY SEWER	FIRST UTILITY DISTRICT
WATER	: FIRST UTILITY DISTRICT
ELECTRIC	: LCUB
GAS	: K.U.B.
TELEPHONE	: BELLSOUTH
CABLE	: COMCAST

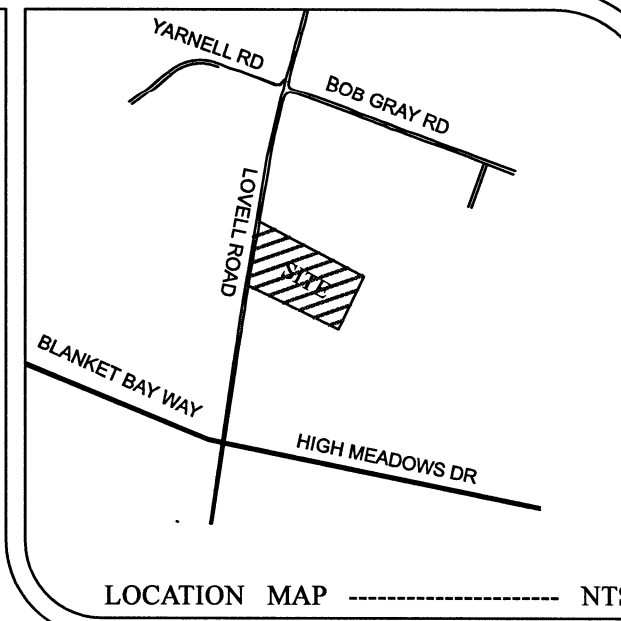
SITE NOTES

1. CORNER MONUMENTS AS SHOWN HEREON
2. VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3. 10' UTILITY AND DRAINAGE EASEMENT INSIDE ALL EXTERIOR BOUNDARY LINES. 5' EACH SIDE ALL INTERIOR LOT LINES, EXCEPT UNDER BUILDINGS.
4. DEED REFERENCE: INSTR. NO. 20221031 0026207 & 20220915 0017210
5. PROPERTY SHOWN ON MAP 118, GROUP H, C, PARCELS 005 & 004
6. PROPERTY ZONED: (RB) - GENERAL RESIDENTIAL.
7. TOTAL AREA OF SUBDIVISION: 1.86 ACRES (PARCEL 5) 0.46 ACRES (PARCEL 4)
8. TOTAL PROPOSED LOTS: 1 (21) UNITS (11.29 UNITS/ACRE) PARCEL 4.
9. PROPERTY SUBJECT TO ALL APPLICABLE EASEMENTS, SETBACKS AND RESTRICTIONS OF RECORD.
10. BEARINGS SHOWN HEREON ARE MAGNETIC AND NOT RELATED TO U.S.G.S. DATUM.
11. ALL LOTS TO HAVE ACCESS TO INTERNAL ROAD SYSTEM ONLY.
12. COMPACTION TESTING OF ROADWAY, TO BE PERFORMED AND INSPECTED IN ACCORDANCE WITH KNOX COUNTY REQUIREMENTS.
13. A PROP 20' DRAINAGE EASEMENT TO BE 10' EITHER SIDE OF STORM PIPES AS INSTALLED.
14. A PROP 15' UTILITY EASEMENT TO BE 7.5' EITHER SIDE OF WATER LINES AND SEWER LINES AS INSTALLED.
15. A PLAT TO BE RECORDED REFLECTING ALL REQUIRED EASEMENTS.

LEGEND

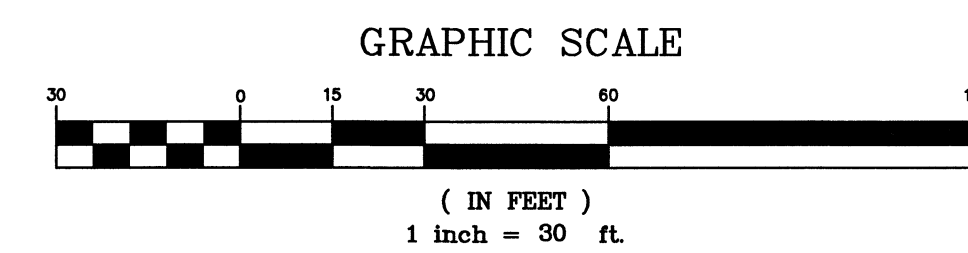
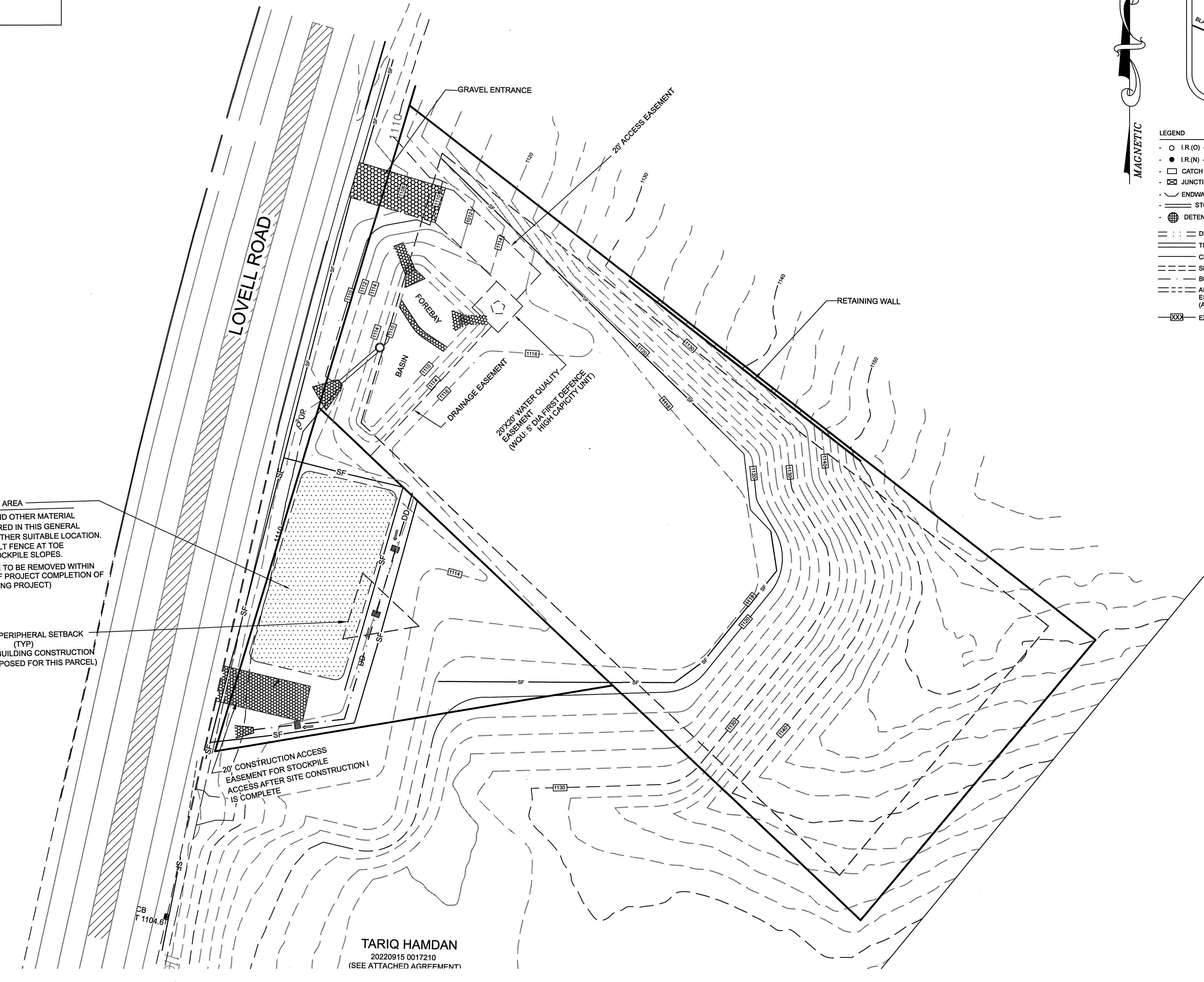
- I.R.(O) - IRON ROD (OLD)
- I.R.(N) - IRON ROD (NEW)
- CATCH BASIN
- ⊞ JUNCTION BOX
- ENDWALL
- STORM DRAIN PIPE
- ⊕ DETENTION BASIN OUTLET STRUCTURE
- DETENTION EASEMENT
- TRAVERSABLE ACCESS EASEMENT
- CENTERLINE RAW
- SIDEWALK
- BUILDING SETBACK LINE
- APPX. D.E. - APPROXIMATE DRAINAGE ESMT. ESMT. TO BE 10' EITHER SIDE OF PIPE (AS INSTALLED), (VERIFY LOCATION)
- EXISTING GRADE CONTOUR (APPROX.)

MAGNETIC



STOCKPILE AREA
OIL AND OTHER MATERIAL
STORED IN THIS GENERAL
OR OTHER SUITABLE LOCATION.
ALL SILT FENCE AT TOE
OF STOCKPILE SLOPES.
STOCKPILE TO BE REMOVED WITHIN
15 DAYS OF PROJECT COMPLETION OF
BUILDING PROJECT

(50') PERIPHERAL SETBACK
(TYP)
(NO BUILDING CONSTRUCTION
PROPOSED FOR THIS PARCEL)

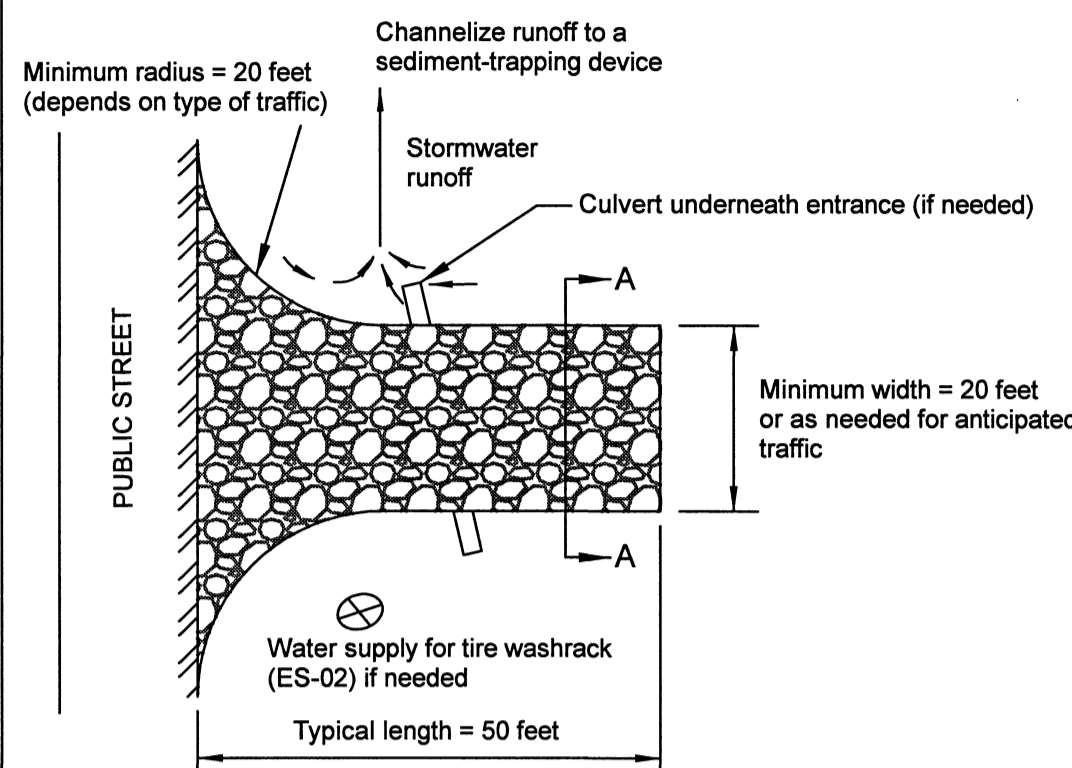
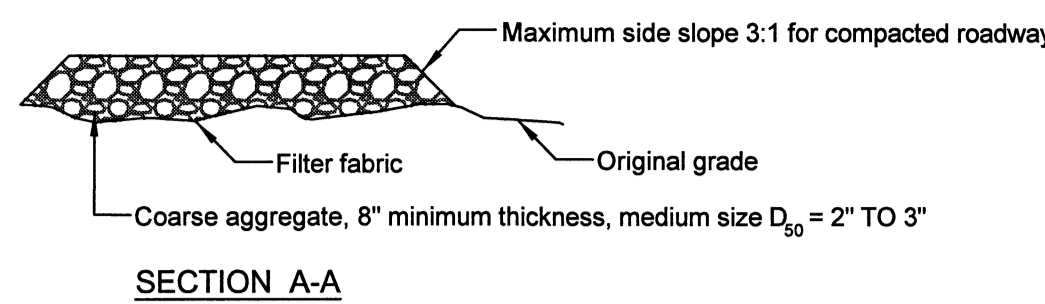


TARIQ HAMDAN
20220915 0017210
(SEE ATTACHED AGREEMENT)

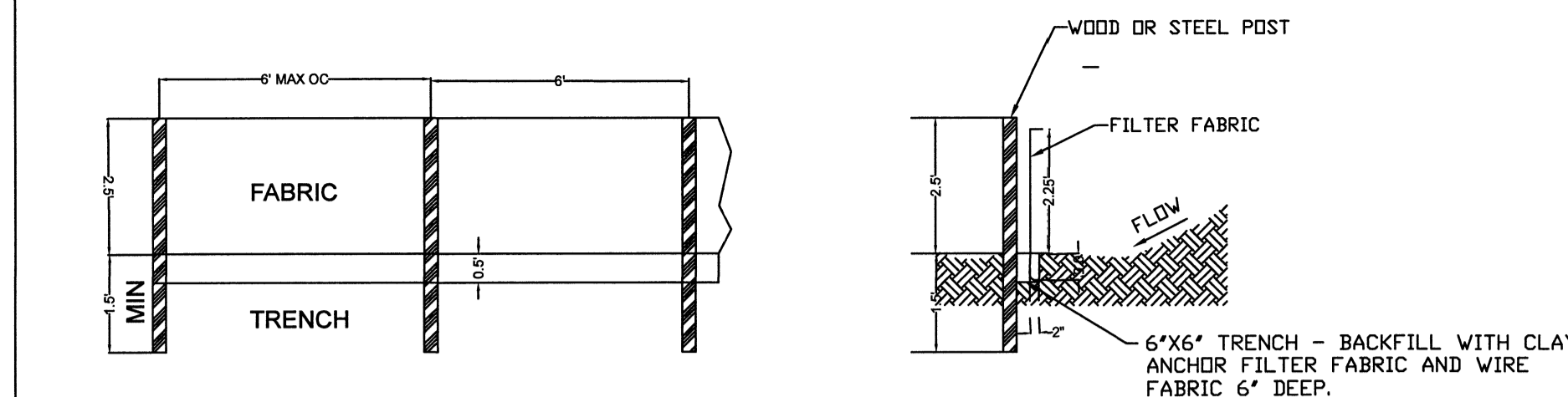
TTCCDA # 10-A-24-TOG
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KNOXVILLE, TENNESSEE 37934

POST CONSTRUCTION PLAN		C-3	
DIANAS VIEW			
DISTRICT 6 * KNOX COUNTY * TENNESSEE PROPERTY SHOWN ON MAP 118 H, GROUP C, PARCEL 5 & 4 ADDRESS: 1316 & 1308 LOVELL ROAD* KNOXVILLE* TENNESSEE			
DRAWN BY: RELjr	APPROVED BY: REL	DATE: 02-28-2024	MOST RECENT REVISIONS 07-14-2024 10-25-2024
SCALE: 1" = 30'		DRAWING NUMBER: 6212	



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

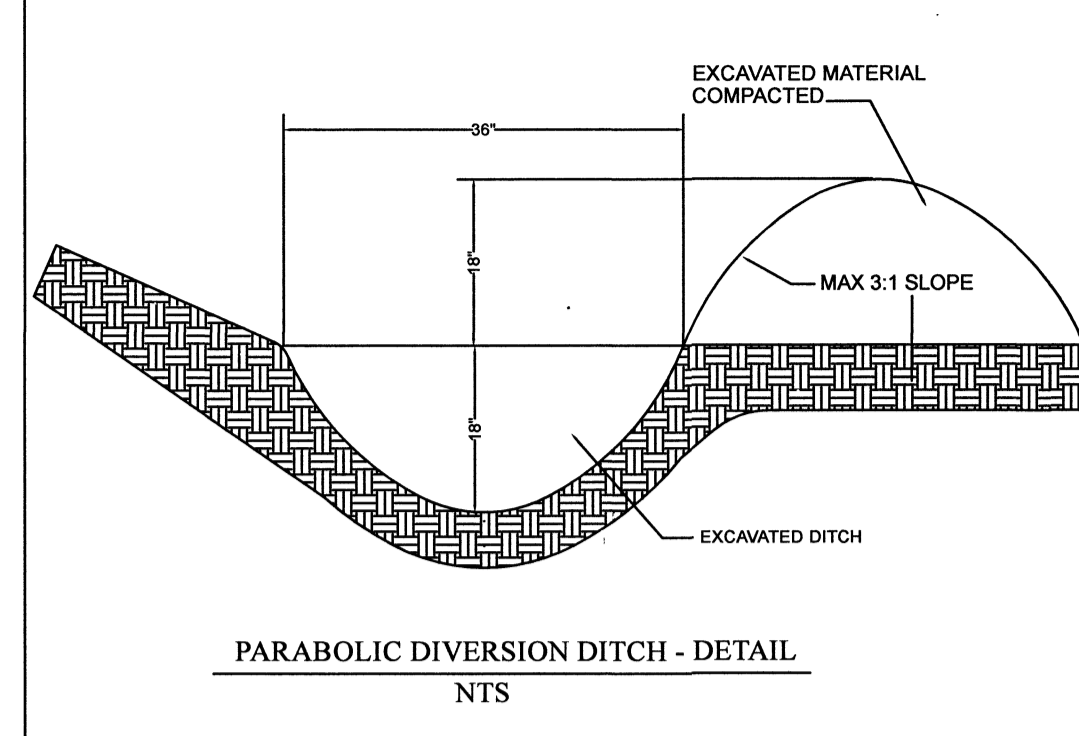


FRONT **SIDE**

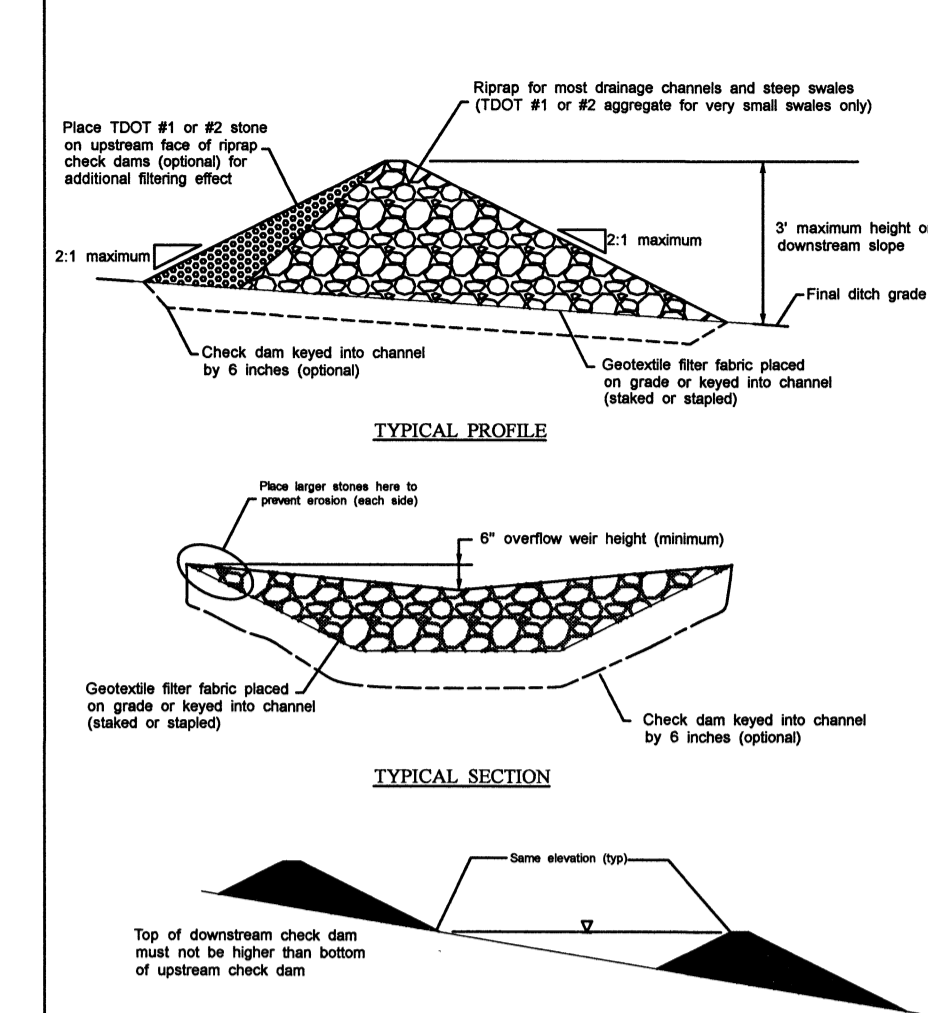
NOTES:

1. FILTER FABRIC FENCE TO BE PLACED PRIOR TO START OF ROUGH GRADING.
2. WOOD POSTS SHALL BE 2"x2" MIN. OF OAK OR SIMILAR HARDWOOD.
3. POSTS SHALL BE SPACED AT 6' INTERVALS.
4. WIRE FABRIC AND FILTER FABRIC SHALL BE SECURELY BOUND TO POSTS WITH EITHER STAPLES OR WIRE TIES.
5. FILTER FABRIC SHALL BE POLYPROPYLENE FABRIC WITH EQUIVALENT OPENING SIZE (EDS) OF NO.100 SIEVE MIN, NO. 40 SIEVE, MAX. AS DETERMINED BY CORPS OF ENGINEERS GUIDE SPEC CW 02215 (SHORT TERM).
6. FILTER FABRIC FENCE TO BE INSTALLED WITH "J" HOOKS AT ALL ENDS TOWARD UPHILL GRADE.
7. INSTALLATION AND MAINTENANCE TO BE IN ACCORDANCE WITH THE ATTACHED SWPPP.

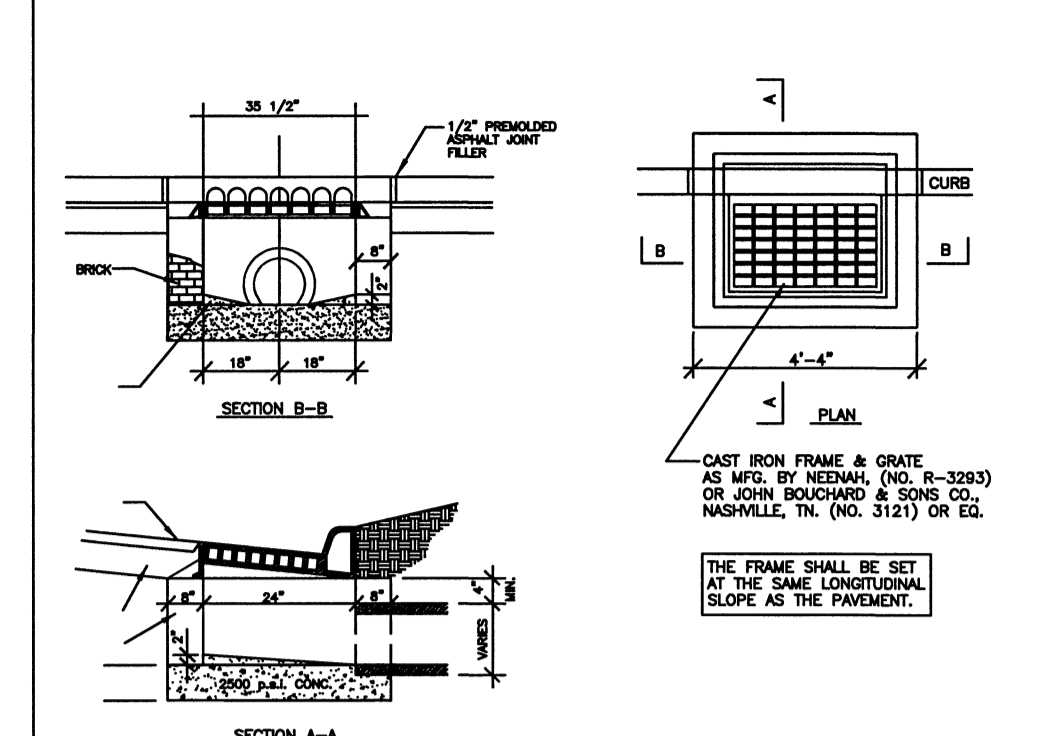
TEMPORARY SILT FENCE -- DETAIL -- NTS



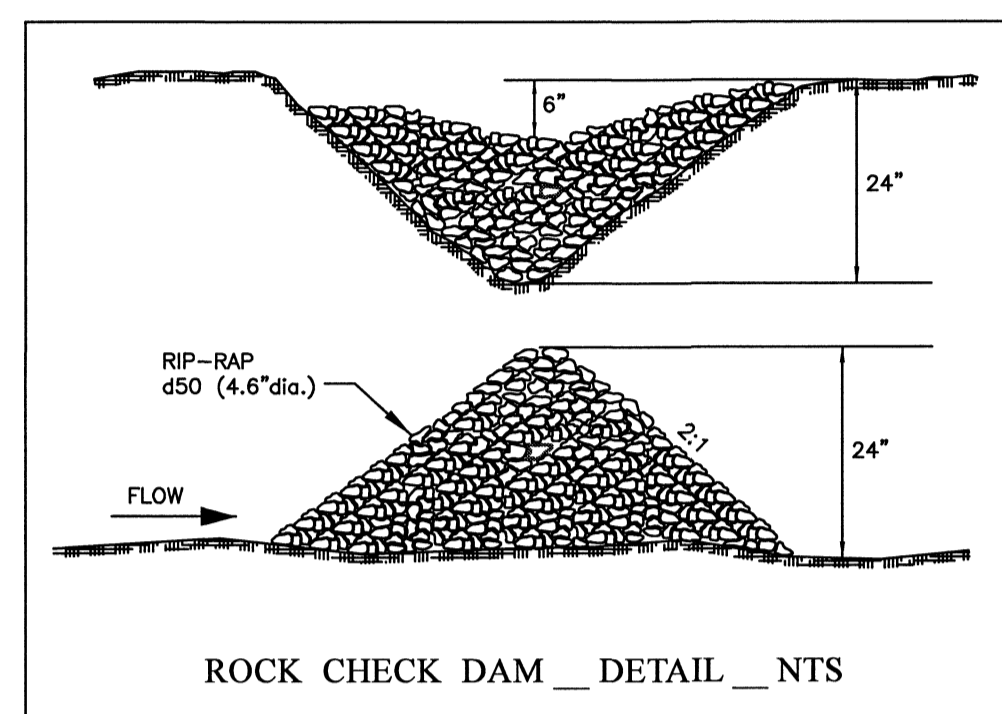
PARABOLIC DIVERSION DITCH - DETAIL
NTS



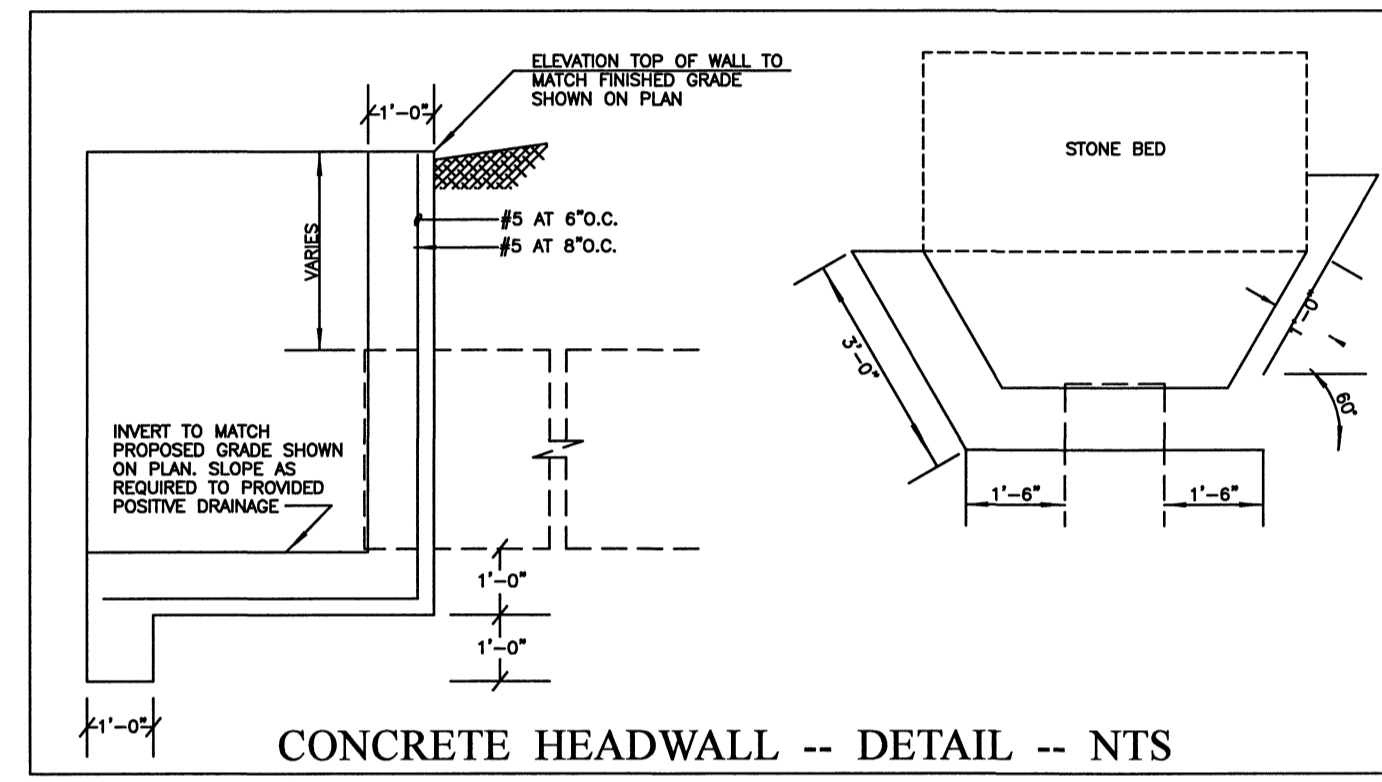
TYPICAL PROFILE
TYPICAL SECTION
SPACING
ROCK CHECK DAM -- DETAIL -- NTS



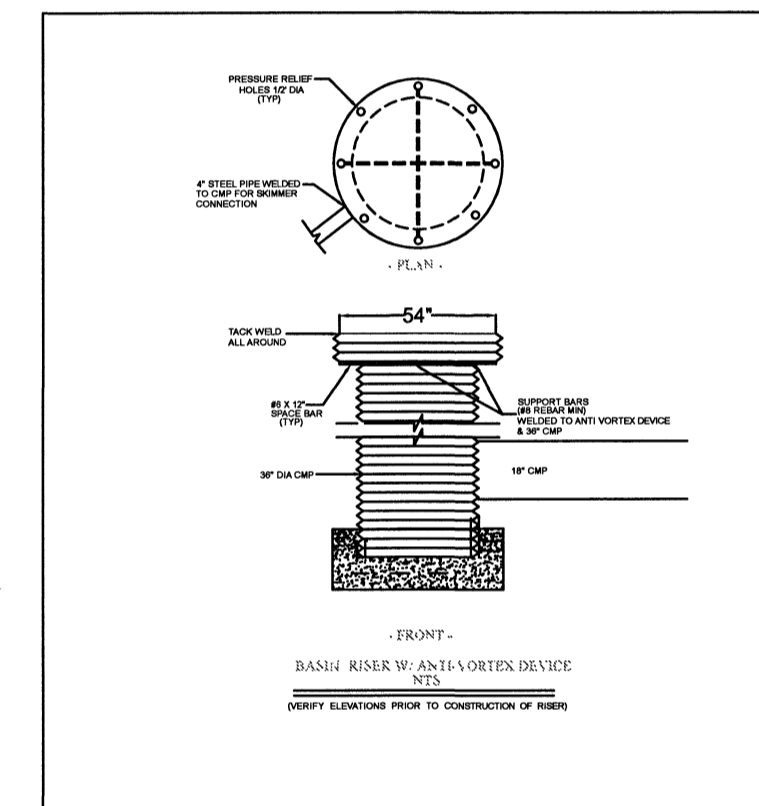
CATCH BASIN / CURB INLET DETAIL - NTS
CURB IRON TO BE STAMPED WITH: "NO DUMPING, DRAINS TO RIVER"



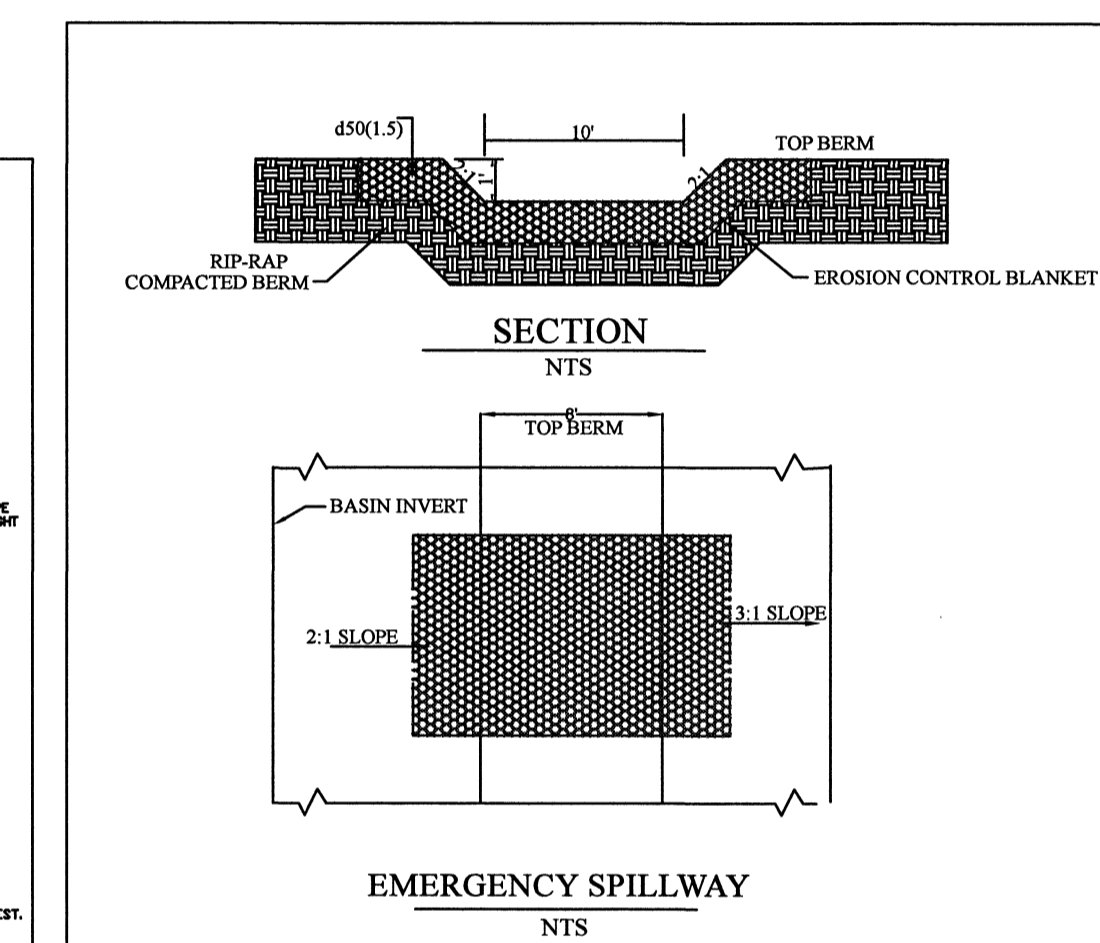
ROCK CHECK DAM -- DETAIL -- NTS



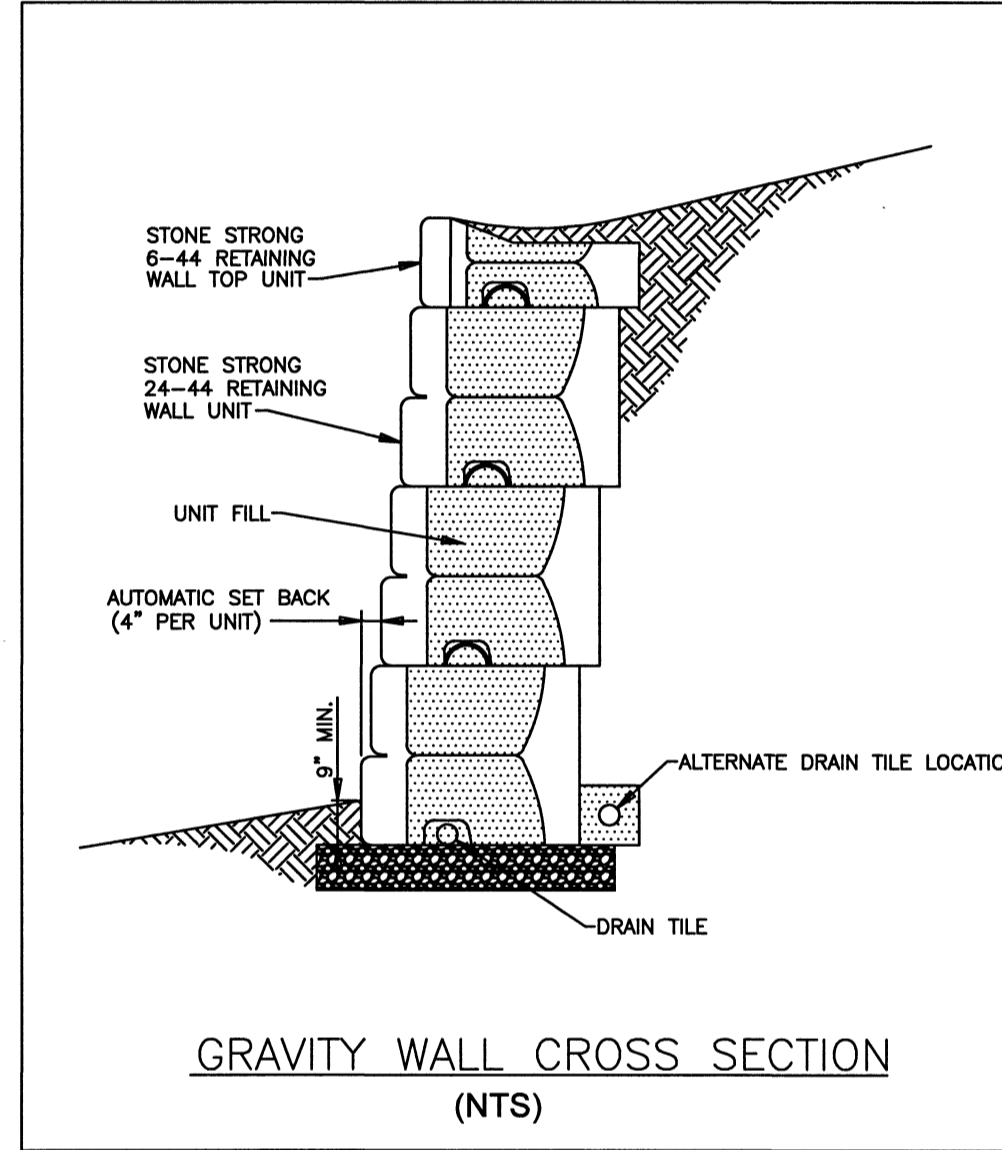
CONCRETE HEADWALL -- DETAIL -- NTS



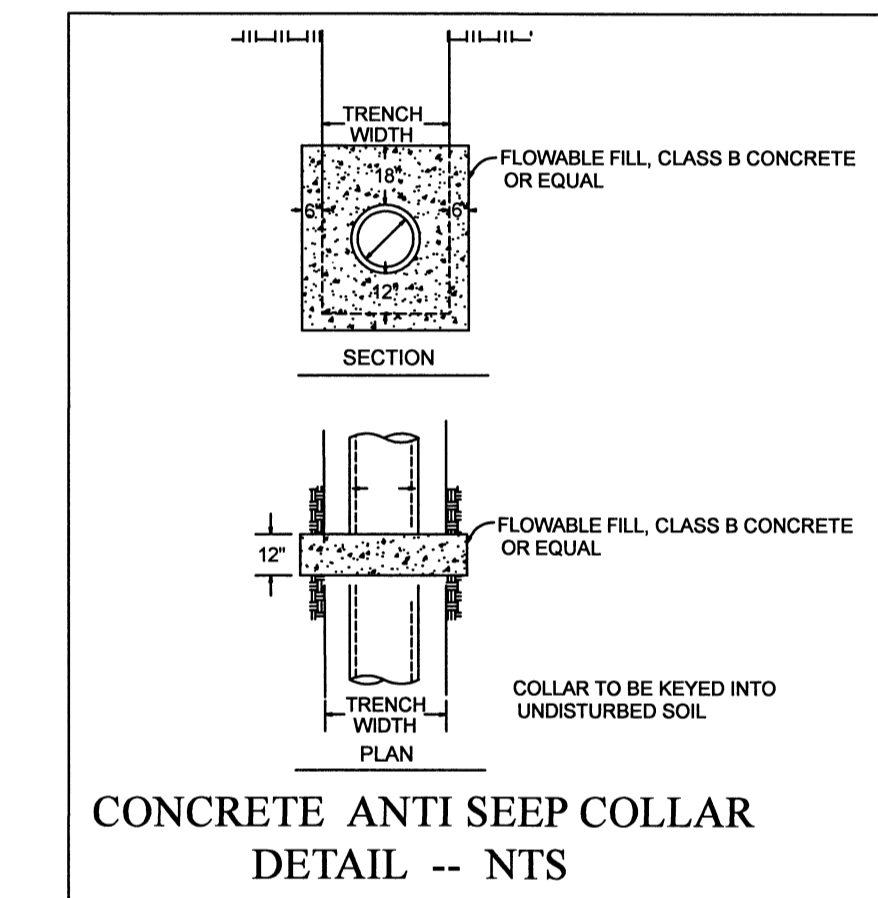
PRECAST CONCRETE
JUNCTION BOX -- DETAIL -- NTS
TOP TO BE STAMPED WITH: "NO DUMPING, DRAINS TO RIVER"



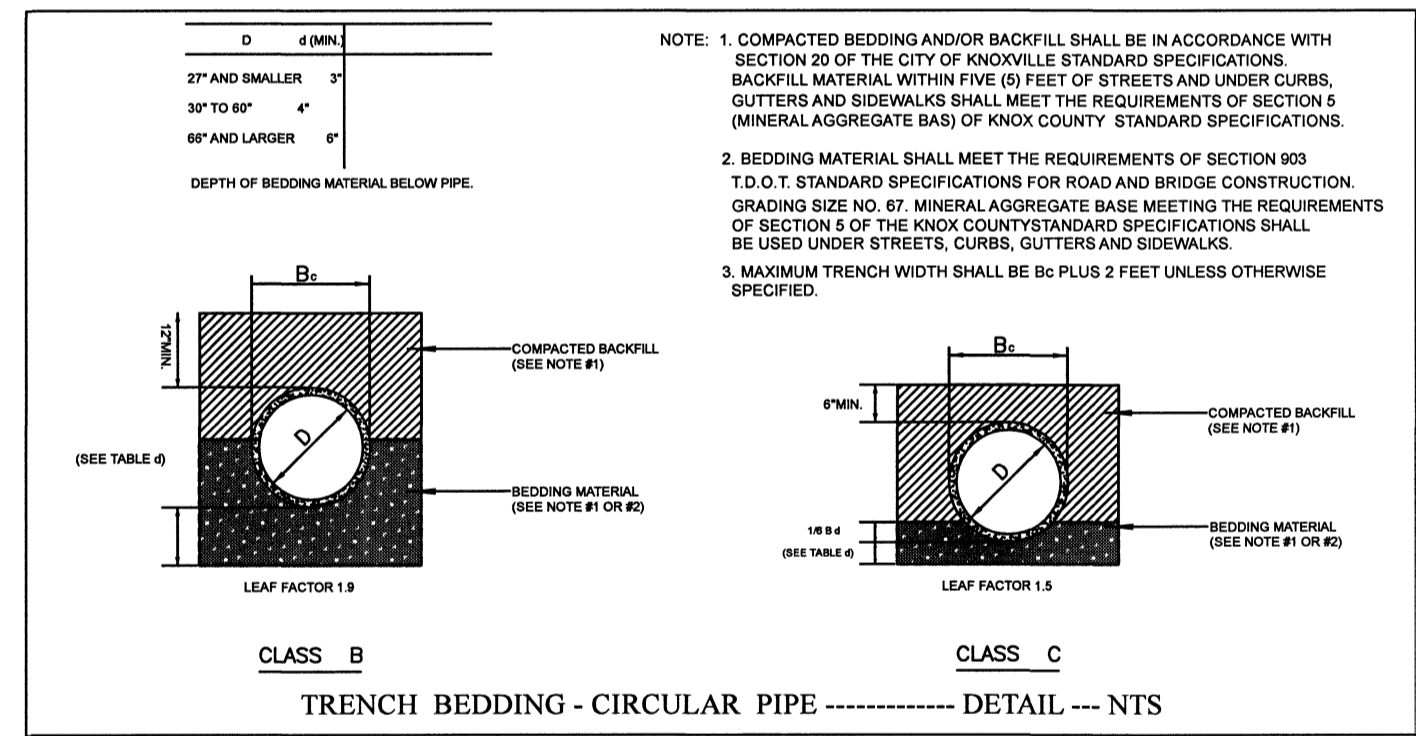
EMERGENCY SPILLWAY
NTS



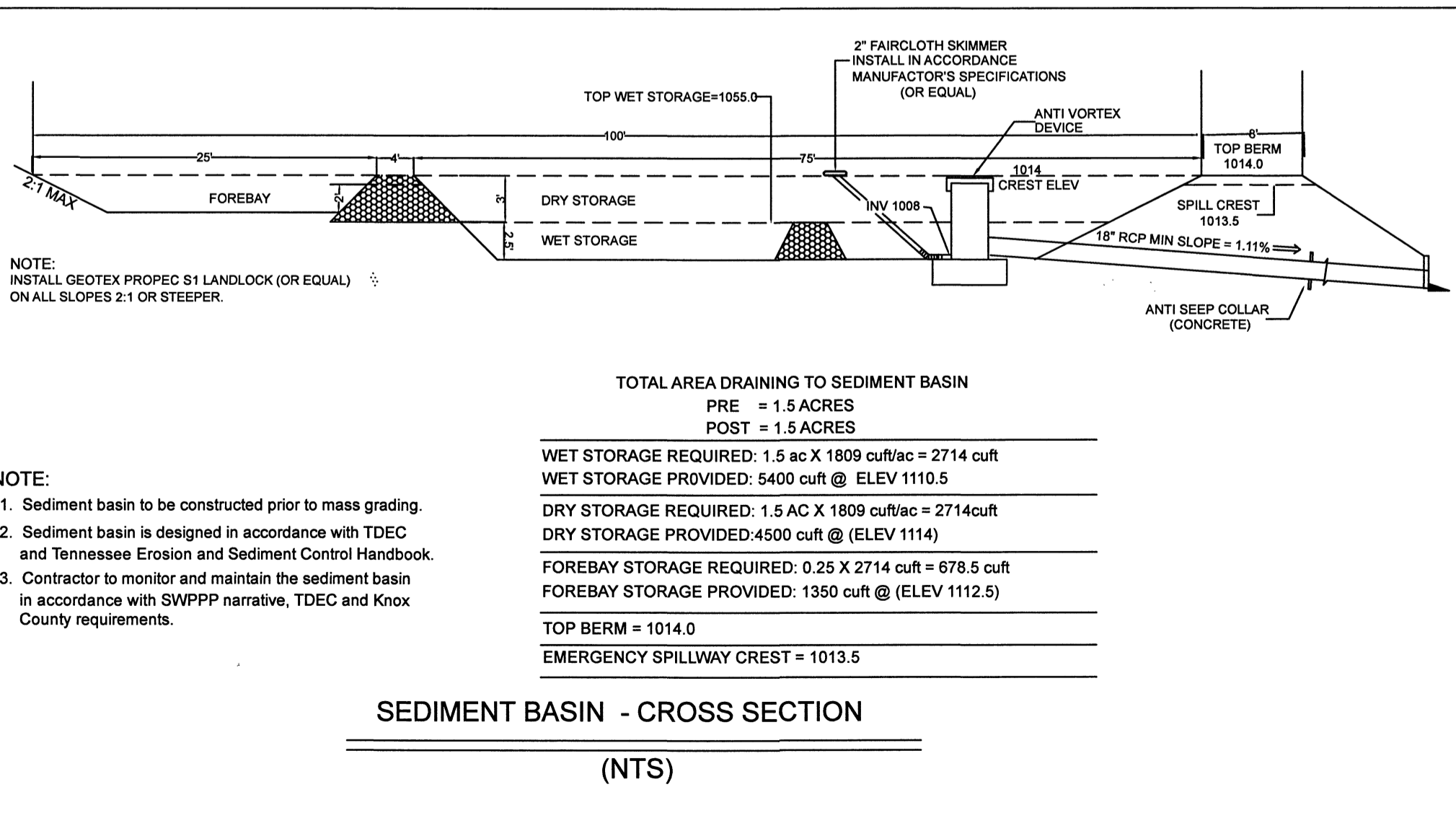
GRAVITY WALL CROSS SECTION
(NTS)



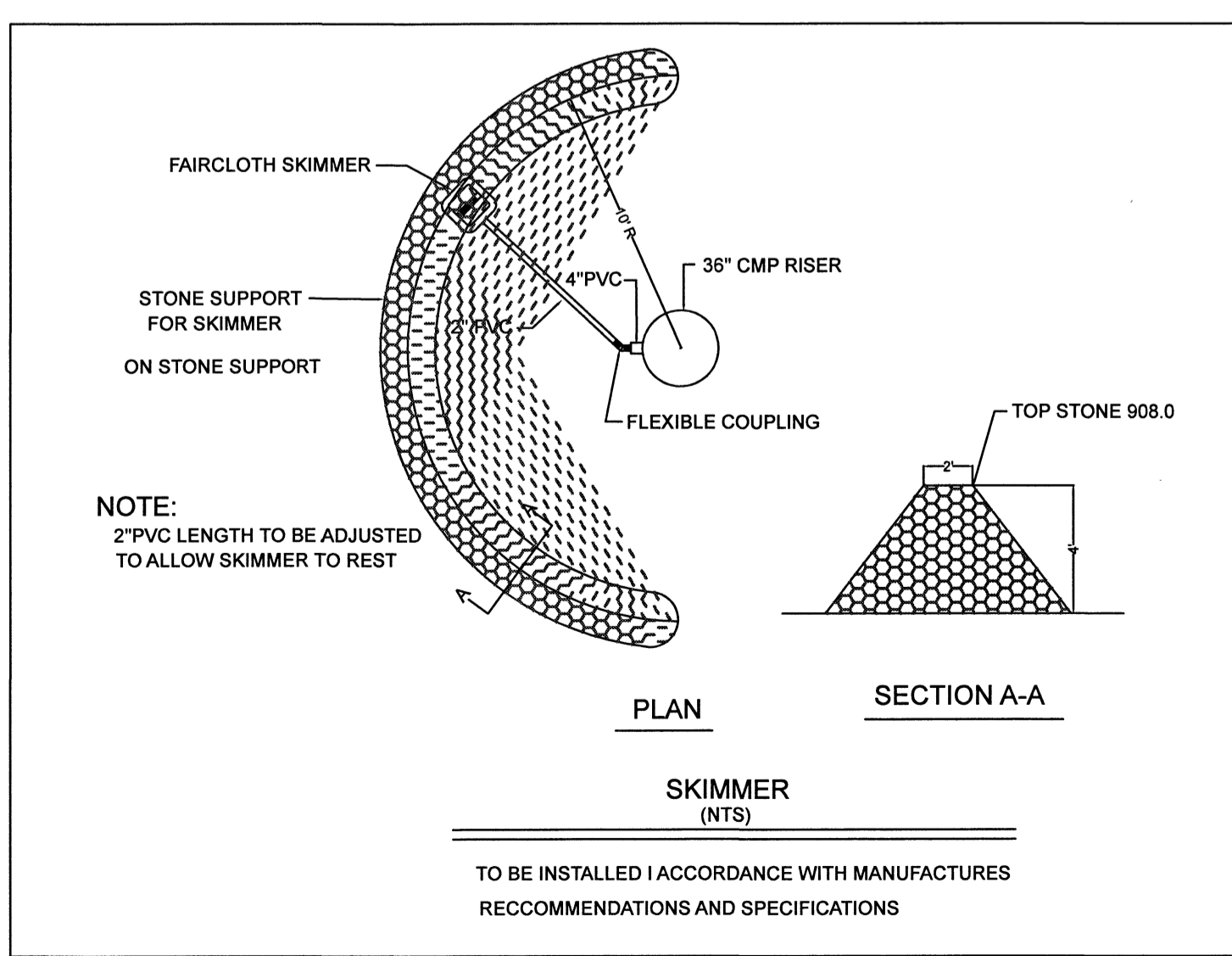
CONCRETE ANTI SEEP COLLAR
DETAIL -- NTS



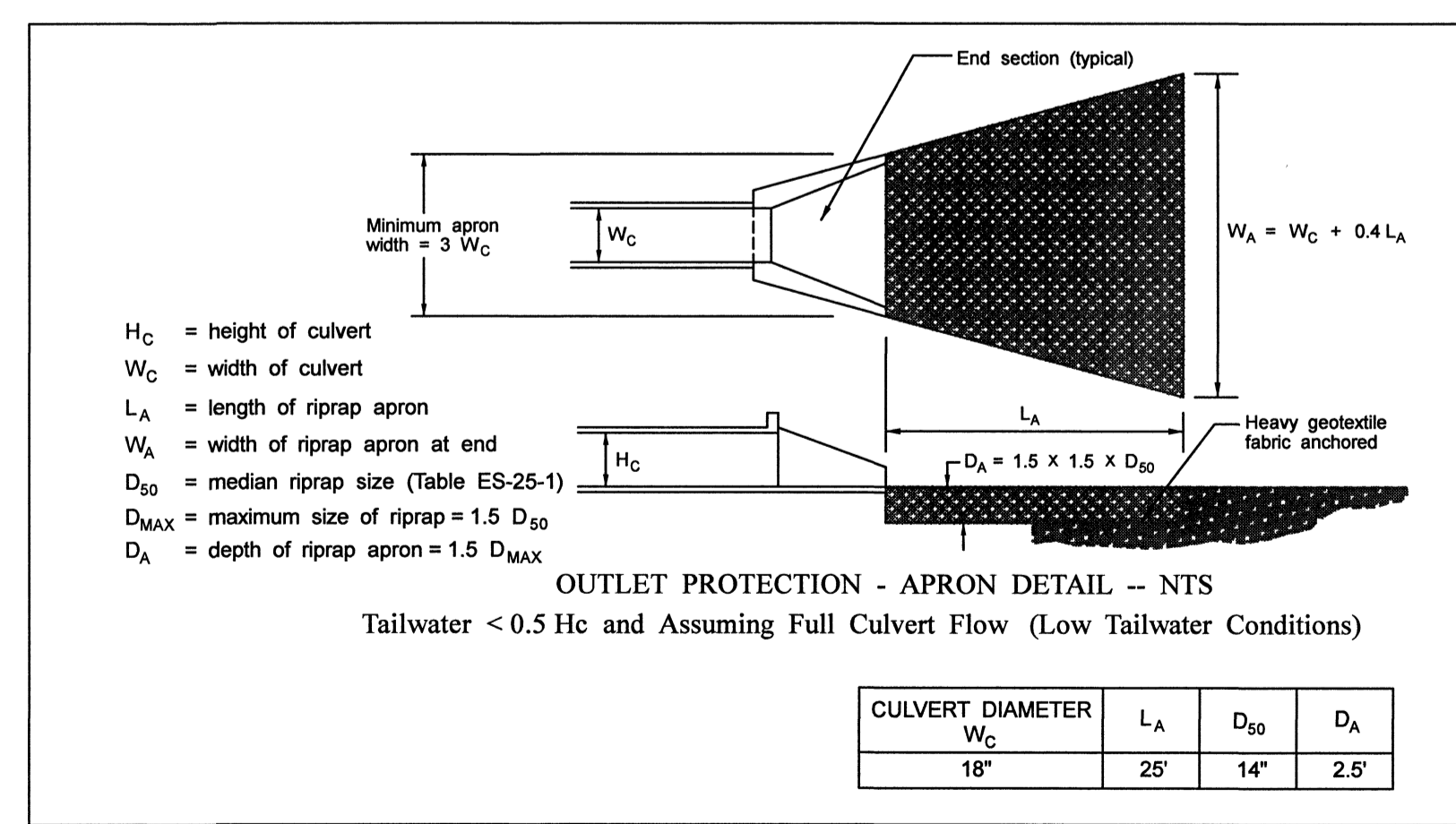
TRENCH BEDDING - CIRCULAR PIPE -- DETAIL -- NTS



SEDIMENT BASIN - CROSS SECTION
(NTS)



SKIMMER
(NTS)
TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS
RECOMMENDATIONS AND SPECIFICATIONS



OUTLET PROTECTION - APRON DETAIL -- NTS
Tailwater < 0.5 H_c and Assuming Full Culvert Flow (Low Tailwater Conditions)

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SWPPP DETAILS C-4

DIANAS VIEW

DISTRICT 6 * KNOX COUNTY * TENNESSEE
PROPERTY SHOWN ON MAP 118 H, GROUP C, PARCEL 5
ADDRESS: 1316 LOVELL ROAD * KNOXVILLE * TENNESSEE

DRAWN BY: RELjr	APPROVED BY: REL	DATE: 02-26-2024	MOST RECENT REVISIONS: 07-24-2024	SCALE:	DRAWING NUMBER: 6212
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