

**EROSION CONTROL NOTES:**

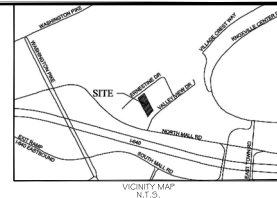
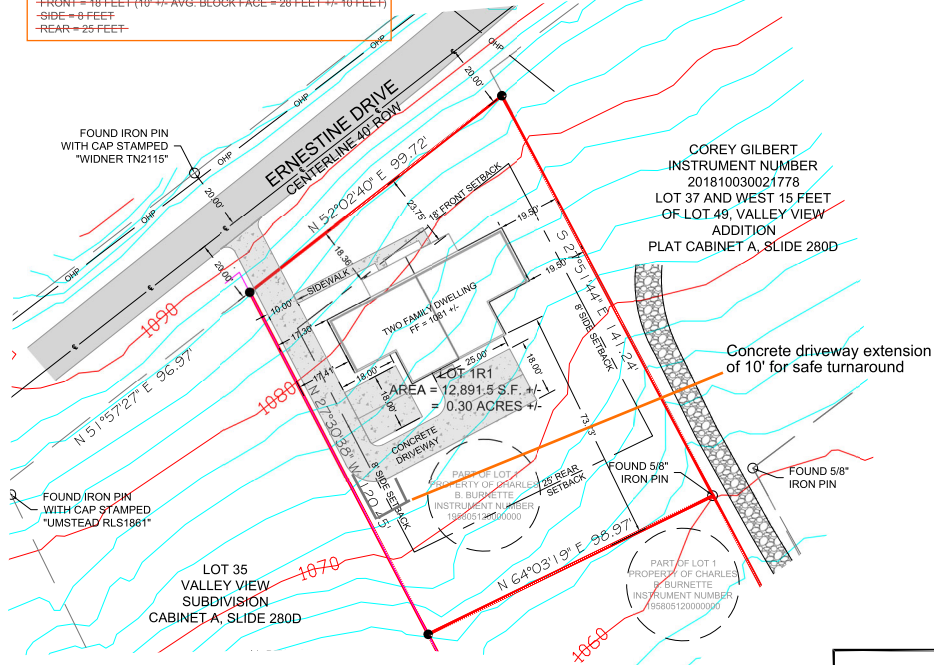
1. PRIOR TO ANY WORK, CONTRACTOR SHALL STRIP SITE OF ALL VEGETATION AND TOPSOIL IN AREAS OF OPERATION.
2. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE THROUGHOUT THE SITE AND USE ALL MEANS NECESSARY TO PREVENT SEDIMENT FROM EXITING THE SITE.
3. STAKED HAY BALES OR SILT FENCE SHALL BE PLACED PRECEDING ALL CULVERT INLETS OR OTHER DRAINAGE DITCHES BEFORE RUNOFF EXITS THE PROJECT OR ENTERS A SWALE AND AT OTHER LOCATIONS DESIGNATED BY THE ARCHITECT.
4. ALL DISTURBED AREAS, IF ANY, ARE TO BE MULCHED AND SEEDED AS SOON AS POSSIBLE.
5. ALL PERTINENT ORDINANCES OF CITY OF KNOXVILLE AND KNOX COUNTY SHALL BE FOLLOWED.
6. FINAL GRADING SHALL BE AS SUCH TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. GRADES SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET.

ZONING: **RN-2**

MAXIMUM BUILDING COVERAGE = 30%  
MAXIMUM IMPERVIOUS SURFACE = 40%

SITE AREA = 12,891.5 S.F. (0.30 A.C.) +/-  
IMPERVIOUS AREA = 3,461.0 S.F. (0.08 A.C.) +/-  
IMPERVIOUS SURFACE COVERAGE = 26.8%

SET-BACKS —  
-FRONT = 10 FEET (10' +/- AVG. BLOCK FACE = 20 FEET +/- 10 FEET)  
-SIDE = 0 FEET  
-REAR = 25 FEET



12-C-24-SU  
10/28/2024



HOUSE SITE PLAN  
FRANCISCO HERNANDEZ  
O ERNESTINE DRIVE  
CITY BLOCK 33974, WARD 33  
CITY OF KNOXVILLE, KNOX COUNTY, TENNESSEE

JUAN HERNANDEZ  
102 WELLINGTON CIRCLE  
OAK RIDGE, TN 37830

ADAM SCHEIMG LAND SURVEYING  
SURVEYING THE PAST FOR A BETTER FUTURE  
6619 CROSSGATE DRIVE  
KNOXVILLE, TN 37912  
615.321.7601

SCALE: 1" = 30'      DATE: 03/28/2023      22203

**PROJECT INFORMATION:**

NAME: FRANCISCO'S DUPLEXES,  
 NEW TWO-FAMILY DWELLING, Townhouses, Attached 2-Units,  
 LOCATION: 4600 ERNESTINE DRIVE., Knoxville, TN. 37914  
 PARCEL ID#: 059 KB 015 01  
 OWNERS: HERNANDEZ FRANCISCO & Family  
 CONTACT - JUAN HERNANDEZ TELEPHONE (865)200-7707  
 CONTRACTOR: JUAN HERNANDEZ EMAIL: habuilders3@gmail.com

**BUILDING DATA:**

**AREAS & OCCUPANT:**

LOT SIZE (AREA) = ± 8,400 S.F.  
 DUPLEX UNITS SIZE = ± 62'x30'  
 UNIT TOTAL LIVING SQUARE FOOTAGES = 2,338.75 S.F.  
 LOWER LEVEL AREA SF. = 665.65 S.F.  
 UPPER LEVEL AREA SF. = 1,673.1

PARKING SPACES = 4, (2)-SPOT / FAMILY-UNIT,  
 PARKING MATERIAL: ASPHALT (PAVEMENTS) NEW PARKING SURFACE,

HEIGHTS:  
 NUMBER OF STORIES = 2-STORIES  
 BUILDING HEIGHT = ± 23'-6"

WALL HEIGHTS (LOWER FLOOR-TO-CEILING): 8'-0"  
 LEVEL TO CEILING HEIGHT = 8'-0"  
 HEADERS (DOORS & WINDOWS TOP) = 6'-8"

FINISH FLOOR ELEVATION = (SEE SITE SURVEY AND GRADING)  
 SETBACK LINES (FRONT, REAR & SIDES) = (SEE SITE SURVEY AND GRADING)

**OCCUPANCY:**

CLASSIFICATION (GROUP): RESIDENTIAL, TWO-FAMILY DWELLING, FRAMED,  
 ZONING = (SLEEPING UNITS, ATTACHED, SERRATED WALL, FIRE-RESISTANT)

**AUTHORITY HAVING JURISDICTION:**

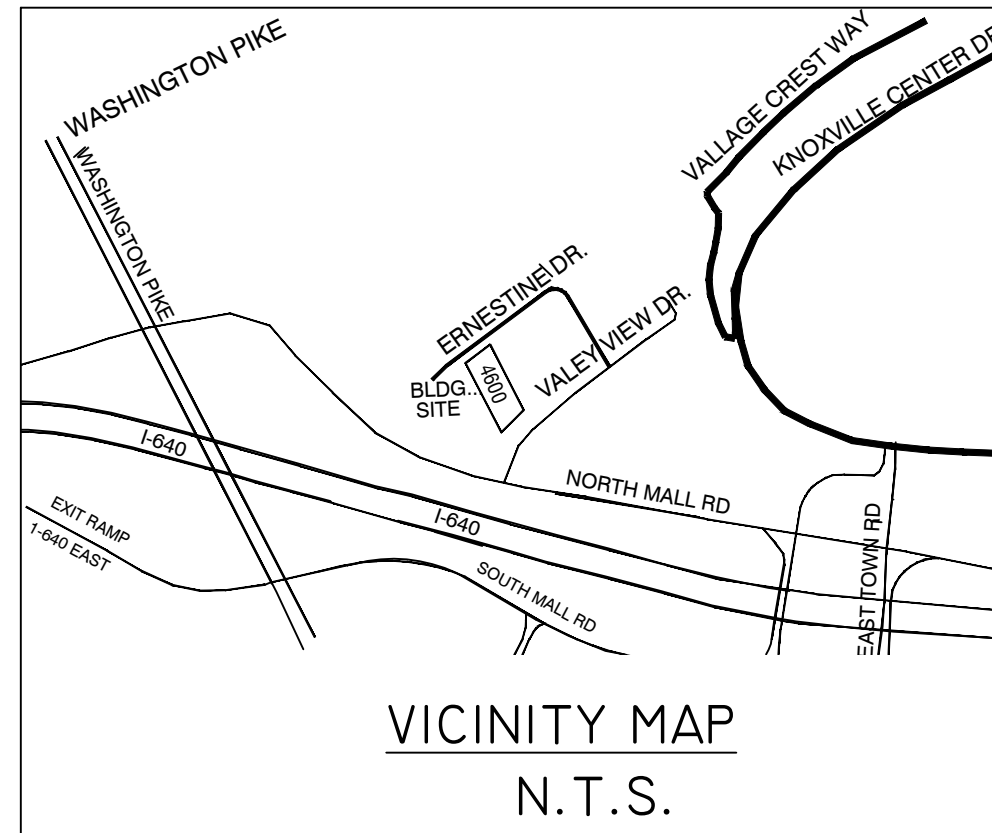
CITY OF KNOXVILLE, KNOX COUNTY,  
 Engineering, Planning,  
 400 MAIN ST., SUITE 475  
 KNOXVILLE, TN. 37902

**ADOPTED CODES AND REFERENCES:**

ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF FEDERAL, TN STATE, AND LOCAL COUNTY CODES,  
 CITY OF HERMITAGE PLANING, ANDERSON COUNTY RULES & REGULATIONS AND ALL LEGALLY AUTHORITIES,  
 IN CASE OF CONFLICT BETWEEN REQUIREMENTS, THE MOST UP-TO-DATE RESTRICTIVE SHALL APPLY.

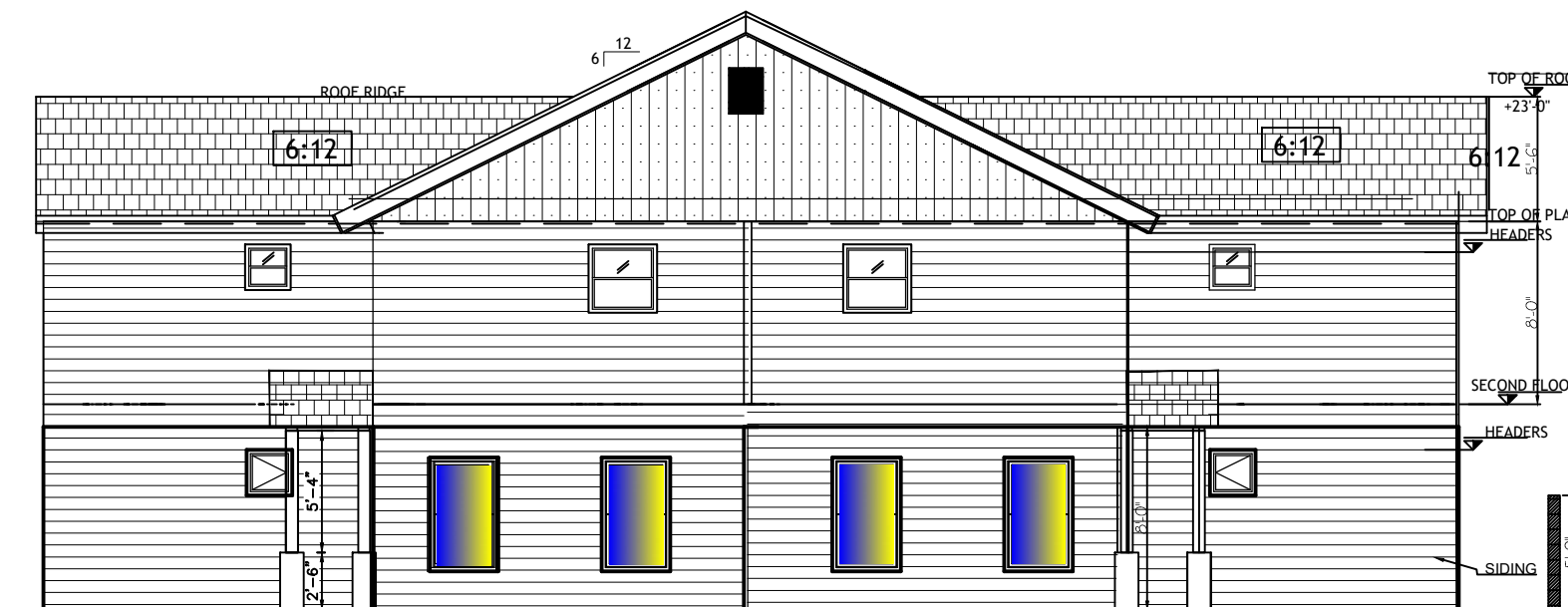
- 2018 INTERNATIONAL BUILDING CODE
- 2018 IRC. INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS
- 2018 INTERNATIONAL FIRE PREVENTION & SAFETY CODES
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL ENERGY CODE (FUEL & GAS CODES),
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL SWIMMING POOL & SPA CODE
- 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2012 INTERNATIONAL GREEN CONSTRUCTION CODE
- 2009 ICC. ANS a117.1 ACCESSIBILITY CODE

**New Construction**  
**Residential**  
**Duplex - Townhouse**  
 4600 Ernestine Dr., Knoxville, TN.



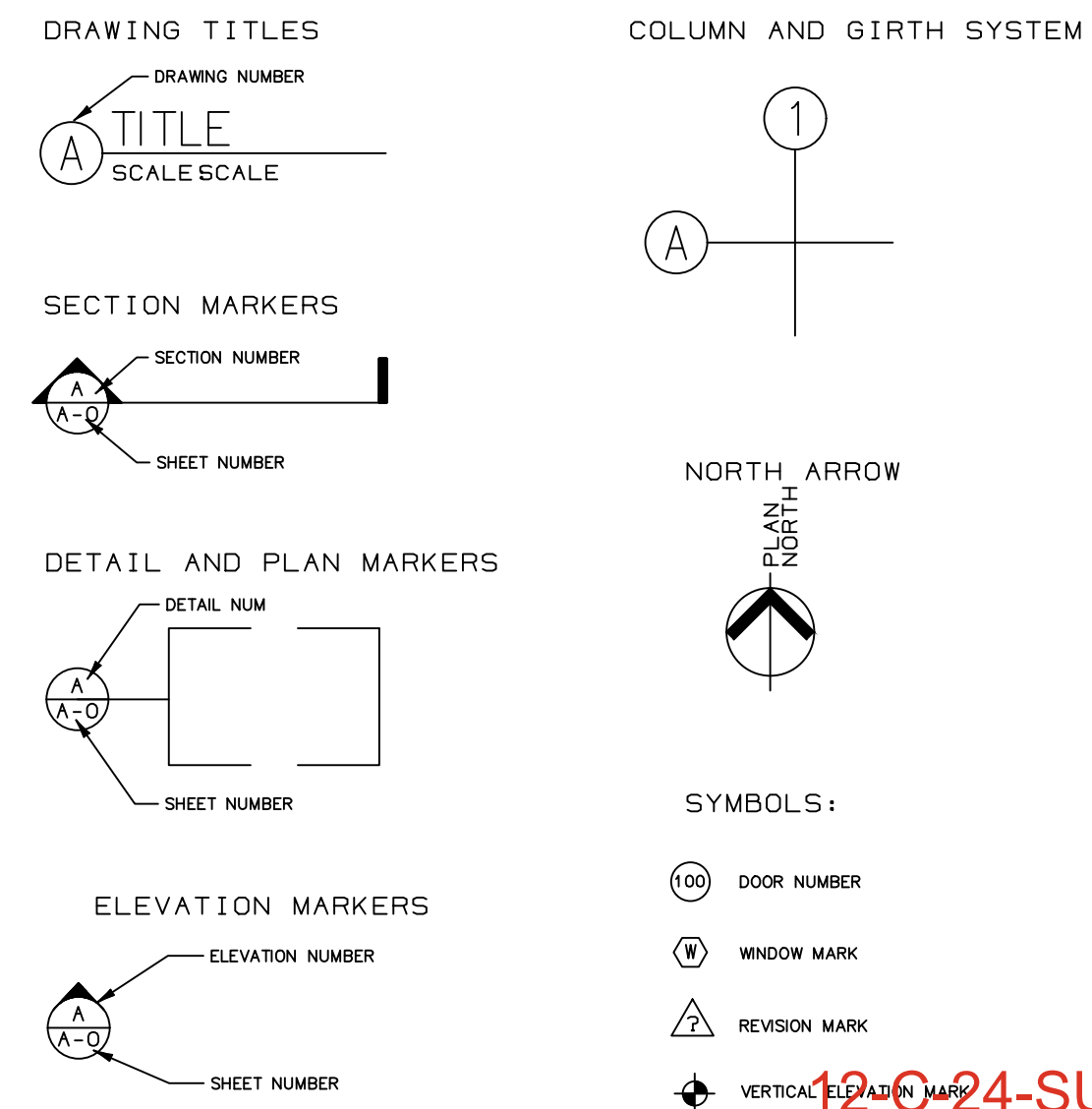
**DRAWING INDEX**

- A0.1 COVER SHEET
- C1 SITE PLAN - BUILDING LOCATION
- ARCHITECTURAL**
  - A1.1 FLOOR PLAN - ENLARGED, LOWER LEVEL UNIT
  - A1.2 UPPER LEVEL UNIT
  - A2.1 ELEVATIONS - FRONT VIEW
  - A2.2 ELEVATIONS - REAR VIEW
  - A3 SECTIONS
  - A4 ROOF PLAN
  - A5 DETAILS, NOTES, SPECIFICATION
- ELECTRICAL PLAN**
  - E1.1 ELECTRICAL PLAN
- PLUMBING**
  - P1 PLUMBING LAYOUT
- STRUCTURAL**
  - S1 FOUNDATION PLAN & FOOTING
  - S2 STRUCTURAL FRAMING



ELEVATION VIEW  
 N.T.S.

**ARCHITECTURAL SYMBOLS**



**H & A Builders**  
**JUAN HERNANDEZ**

KNOXVILLE, TN 37924  
 PHONE: (678)429-6006  
 EMAIL: HABUILDERS3@GMAIL.COM

**New Construction**  
**Residential**  
**FRANCISCO'S DUPLEXES,**  
**Townhouses**  
 4600 Ernestine Drive  
 Knoxville, TN 37914

**COVER SHEET**

PROJECT NO. #  
 P202312-100  
 DATE: 02-14-2024  
 SCALE: AS\_SHWN  
 DRWN: A.SOLIMAN  
 CHKD: AKAY  
 FILE: C

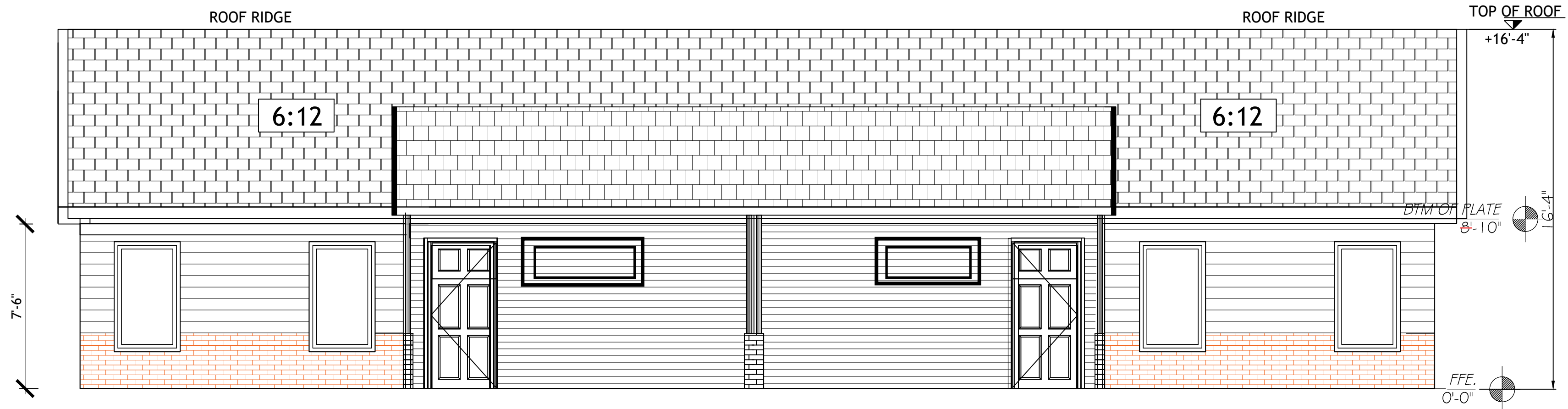
SHEET NO.

**A0**

12-0-24-SU  
 10/28/2024

FRANCISCO'S DUPLEXES  
 4600 ERNESTINE, Knoxville, TN  
 PARCEL ID# 059 KB 015 01  
 UNITS SQUARE FOOTAGE= 2,338.75 S.F.

**New Construction**  
**Residential**  
**Duplex - Townhouse**  
 4600 Ernestine Dr., Knoxville, TN.



FRONT DOORS  
 JELD-WEN WITH 9 LITE  
 WINDOW

FRONT DOOR LITE  
 2'X3'

TRANSPARANCY  
 471.24 SF  
 92 SF WINDOWS  
 19.52 % TRANSPARANCY

**ELEVATION FRONT**  
 SCALE: 1/4" = 1'-0"



Grade Fall: 6+ Inches within the 10 feet

**ELEVATION REAR**  
 SCALE: 1/4" = 1'-0"

12-C-24-SU  
 rev 12.2.2024

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**ELEVATIONS**  
**FRONT - REAR**

PROJECT NO. #  
 P202312-100

DATE: 05-14-2024

SCALE: AS\_SHWN

DRWN: A.SOLIMAN

CHKD: JUAN

FILE: ARCH

SHEET NO.

**A1.a**

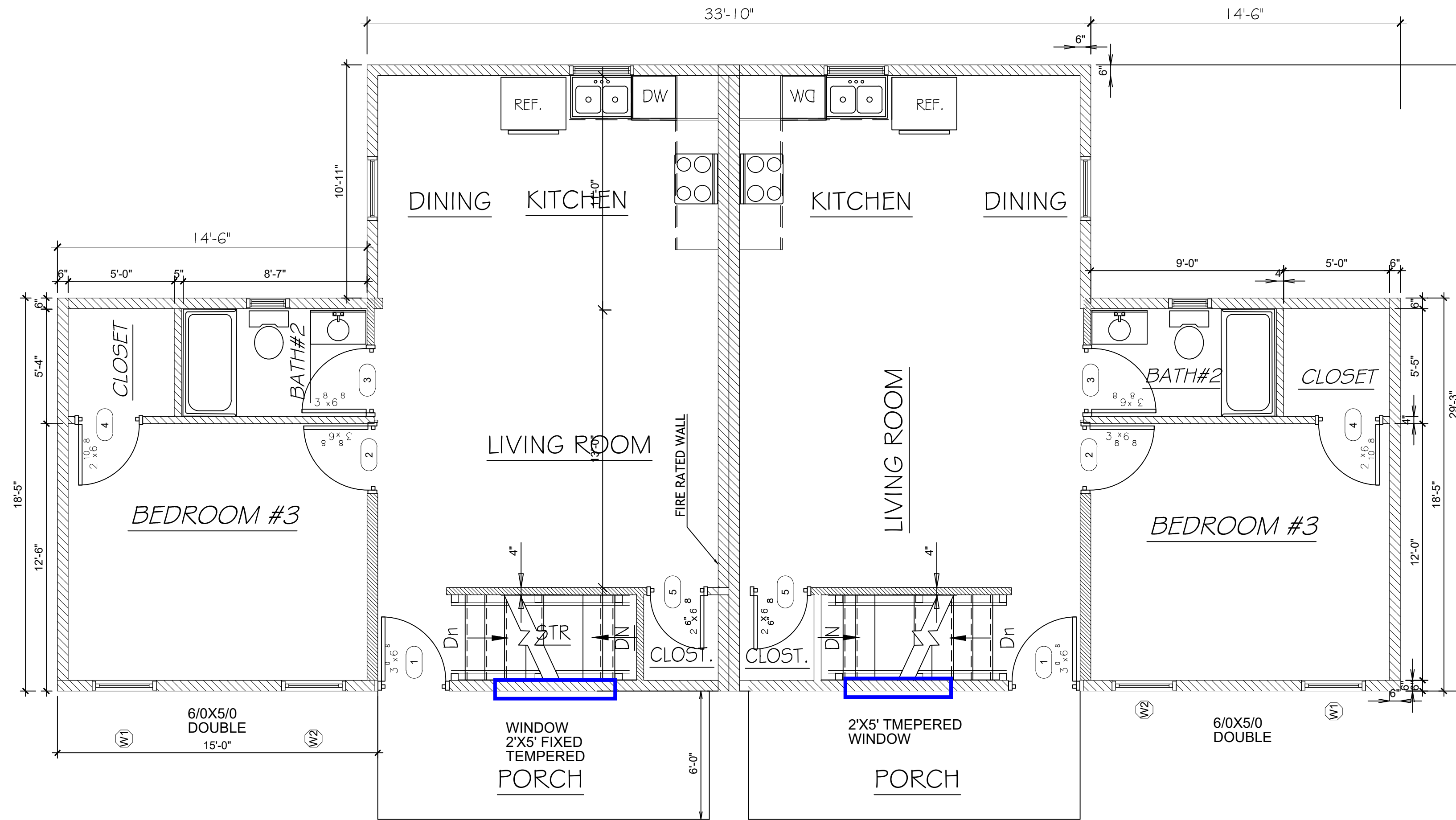
**New Construction**  
**Residential**  
**Duplex - Townhouse**  
4600 Ernestine Dr., Knoxville, TN.

GENERAL NOTES:

ALL WORKS AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF STATE OF TENNESSEE, KNOX COUNTY AND COMPLY WITH THE CITY OF KNOXVILLE BUILDING & ZONING, THE GUIDELINES OF 2018 IRC. ALL INTERNATIONAL LAWS APPLYING TO THIS TWO-FAMILY DWELLING PROJECT, 2018 IBC., ADA, AND OTHER APPLICABLE SECTIONS OF FAMILY LIFE SAFETY CODES, AND WITH THE MOST RECENT EDITION OF THE LOCAL AND INTERNATIONAL CODES, ALL UNITS ARE IN FEET (FT) UNLESS NOTED OTHERWISE, DO NOT SCALE THESE DRAWINGS (Use given dimensions, as shown only), PHYSICALLY MEASURE AND FIELD VERIFY ALL DIMENSIONS AND SITE CONDITIONS, ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

FLOOR PLAN NOTES:

THE INTENT OF THE DRAWINGS IS TO INDICATE THE GENERAL CODE REQUIRED FOR RESIDENTIAL UNITS THE FLOOR PLANS ARE SHOWING CONSTRUCTIONS WALLS TYPES, SIZES, AND LOCATIONS OF EXITS, DOORS AND WINDOWS ARE MEANS OF EGRESS (Maximum Allowable Windows sill is 44" aff. SILL HEIGHTS, BUILDING MATERIALS: DISCUSS WITH OWNER ABOUT BUILDING MATERIALS, AND TYPES AND QUANTITIES BUILDING MATERIALS, ALL MATERIALS USED SHALL BE NEW AND SHALL CONFORM TO THE STANDARDS, USE FIRE-RESISTANCE MATERIALS (INCLUDING WALLS, FLOORS, AND ROOFS) 2-SEPARATE UNITS, USE 2X6" LUMBER FOR EXTERIORS/SEPARATION WALLS, UNLESS NOTED OTHER WISE, USE 8" CMU. BLOCKS FOR EXTERIOR/RETAINING OR FOUND-WALLS, UNLESS NOTED OTHER WISE, USE 2X4" LUMBER FOR INTERIOR WALLS, UNLESS NOTED OTHER WISE, WALL HEIGHTS (FLOOR-TO-CEILING) AND PARTITIONS HEIGHTS ARE 8'-0" ARE 12'-0" PARTITIONS HEIGHTS ARE 8'-0" DOORS AND WINDOWS HEADER TOP 6'-8" CONTRACTOR SHALL & SHOULD HAVE LICENSED ENGINEER (A qualified professional or contractors) TO REVIEW,



**UNIT PLAN -UPPER LEVEL**

SCALE: 1/4" = 1'-0"

12-C-24-SU  
rev 12.2.2024

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Knoxville, TN 37914

**UNITS PLAN**  
**LEVELS**

PROJECT NO. #  
P202312-100

DATE: 05-14-2024

SCALE: AS\_SHWN

DRWN: A.SOLIMAN

CHKD: JUAN

FILE: ARCH

SHEET NO.

**A1.b**

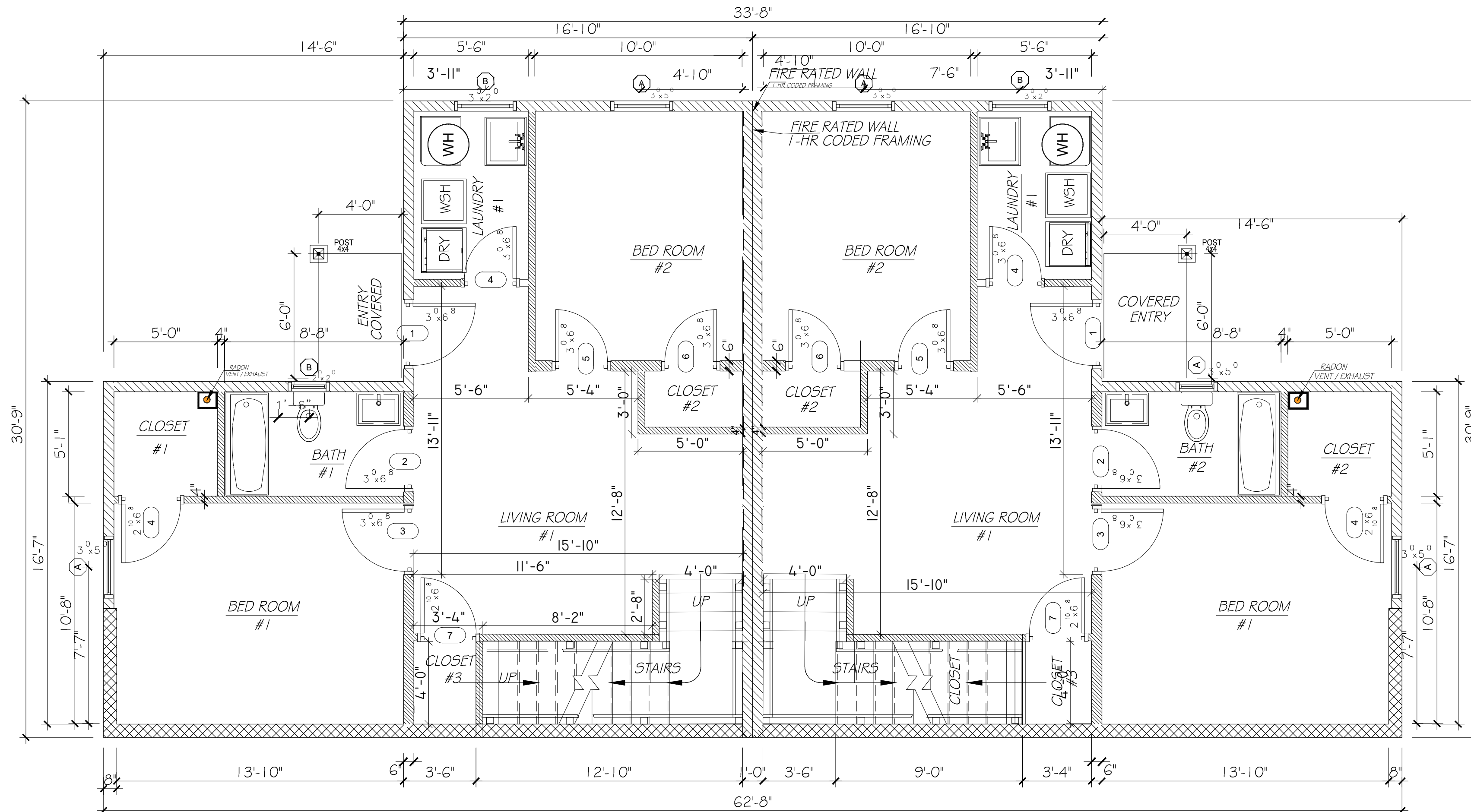
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**FLOOR PLAN - LOWER LEVEL**

SCALE: 1/4" = 1'-0"

**12-C-24-SU**  
**10/28/2024**

**New Construction**  
**Residential**  
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**LEVEL PLAN**  
**LOWER**

PROJECT NO. #  
P202312-100  
DATE: 05-14-2024  
SCALE: AS\_SHWN  
DRWN: A.SOLIMAN  
CHKD: JUAN  
FILE: ARCH

SHEET NO.  
**A1.a**

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