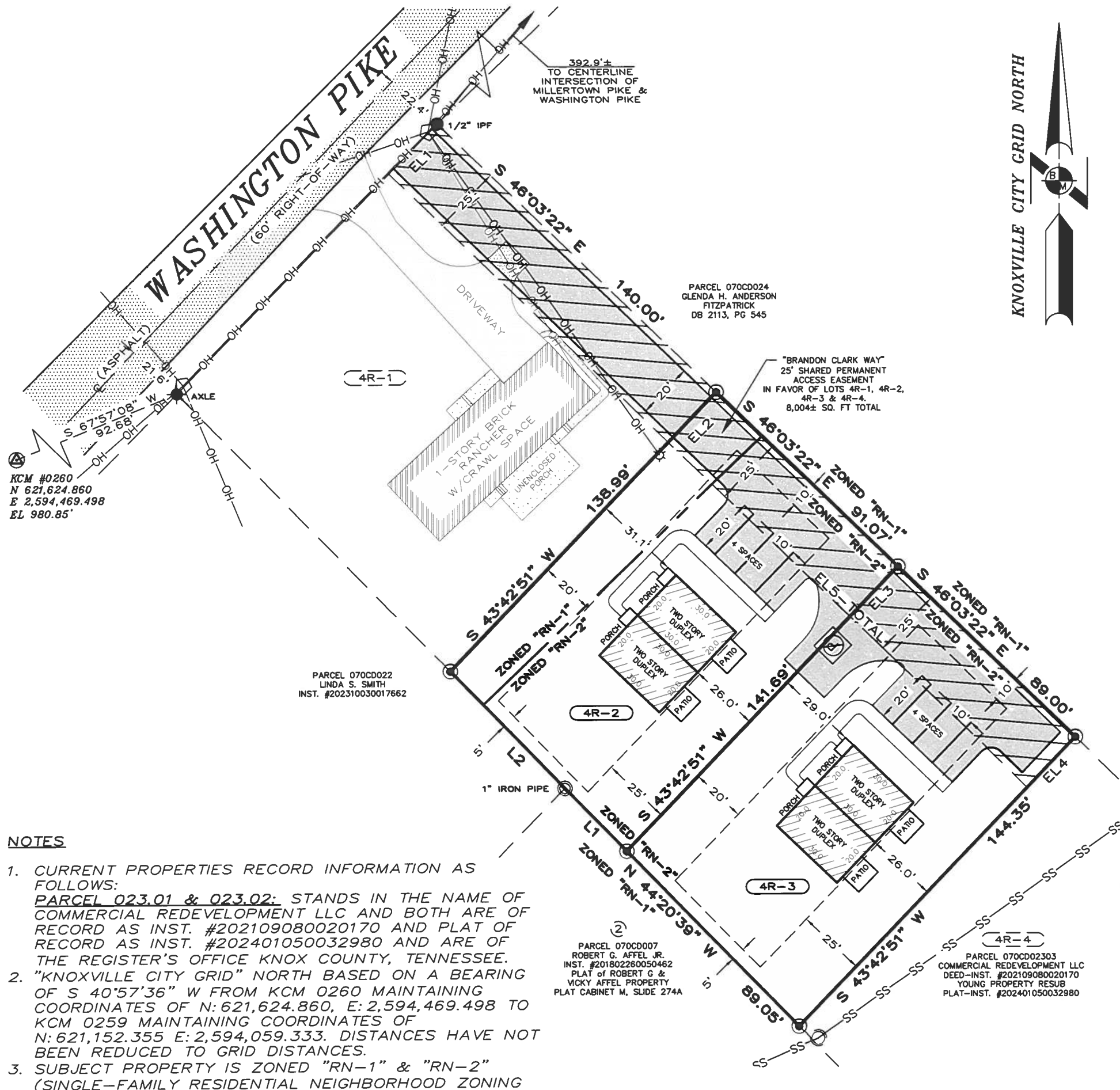


KNOXVILLE CITY GRID NORTH



KCM #0260
N 621,624.860
E 2,594,469.498
EL 980.85'

PARCEL 070CD022
LINDA S. SMITH
INST. #202310030017662

PARCEL 070CD024
GLENDA H. ANDERSON
FITZPATRICK
DB 2113, PG 545

"BRANDON CLARK WAY"
25' SHARED PERMANENT
ACCESS EASEMENT
IN FAVOR OF LOTS 4R-1, 4R-2,
4R-3 & 4R-4.
8,004± SQ. FT TOTAL

NOTES

- CURRENT PROPERTIES RECORD INFORMATION AS FOLLOWS:
PARCEL 023.01 & 023.02: STANDS IN THE NAME OF COMMERCIAL REDEVELOPMENT LLC AND BOTH ARE OF RECORD AS INST. #202109080020170 AND PLAT OF RECORD AS INST. #202401050032980 AND ARE OF THE REGISTER'S OFFICE KNOX COUNTY, TENNESSEE.
- "KNOXVILLE CITY GRID" NORTH BASED ON A BEARING OF S 40°57'36" W FROM KCM 0260 MAINTAINING COORDINATES OF N: 621,624.860, E: 2,594,469.498 TO KCM 0259 MAINTAINING COORDINATES OF N: 621,152.355 E: 2,594,059.333. DISTANCES HAVE NOT BEEN REDUCED TO GRID DISTANCES.
- SUBJECT PROPERTY IS ZONED "RN-1" & "RN-2" (SINGLE-FAMILY RESIDENTIAL NEIGHBORHOOD ZONING DISTRICT) AND IS PARTIALLY IN THE HILLSIDE PROTECTION OVERLAY AND IS SUBJECT TO CURRENT ZONING REQUIREMENTS MAINTAINING BUILDING SETBACKS AS FOLLOWS:
REFER TO CURRENT ZONING ORDINANCE FOR APPLICABLE BUILDING SETBACKS.
- PROPERTY IS SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND SETBACKS OF RECORD.
- THIS DEVELOPMENT WILL HAVE A TURNAROUND AREA IN ACCORDANCE WITH AASHTO STANDARDS.
- THIS DEVELOPMENT WILL BE ACCESSED BY ONE DRIVEWAY ONLY.

SPECIAL USE
BUILDING PLAN
SHEET 1 OF 2

FOR: Commercial Redevelopment LLC

LOCATION: 0 Washington, Knoxville, Tennessee 37917
Within the Corporate Limits of the City of
Knoxville, Tennessee

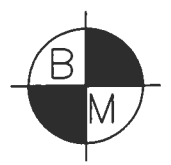
LOT NUMBER: 0 BLOCK: 32400 SCALE: 1" = 40'

BM-NUMBER: 21202A-SPECIAL USE DATE: 18 September 2024

RECORD: Instrument #202109080020170; R.O.K.C., Tennessee
Instrument #202401050032980; R.O.K.C., Tennessee

LEGEND

- 5/8" IRON PIN FOUND
- ⊙ 5/8" IRON PIN SET
- ⊙ W/CAP 'BENCHMARK'
- ⊙ AXLE FOUND
- ⊙ 1" IRON PIPE FOUND
- ⊙ KNOXVILLE CITY MONUMENT
- ⊙ FOUND CALLS
- ⊙ RECORD CALLS
- (2) LOT NUMBER
- ⊙ SANITARY SEWER MANHOLE
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- OH— OVERHEAD ELECTRIC
- SS— SANITARY SEWER LINE
- (4R-1) LOT NUMBER
- (P) NO PARKING
- ▨ ASPHALT SURFACE
- ▨ CONCRETE SURFACE
- ▨ 25' SHARED PERMANENT ACCESS EASEMENT



BENCHMARK ASSOCIATES, INC.

10308 Hardin Valley Road
Knoxville, Tennessee 37932

Member:
Tennessee Association
of Professional Surveyors

Land Planners Land Surveyors

Phone (865) 692-4090
Facsimile (865) 692-4091

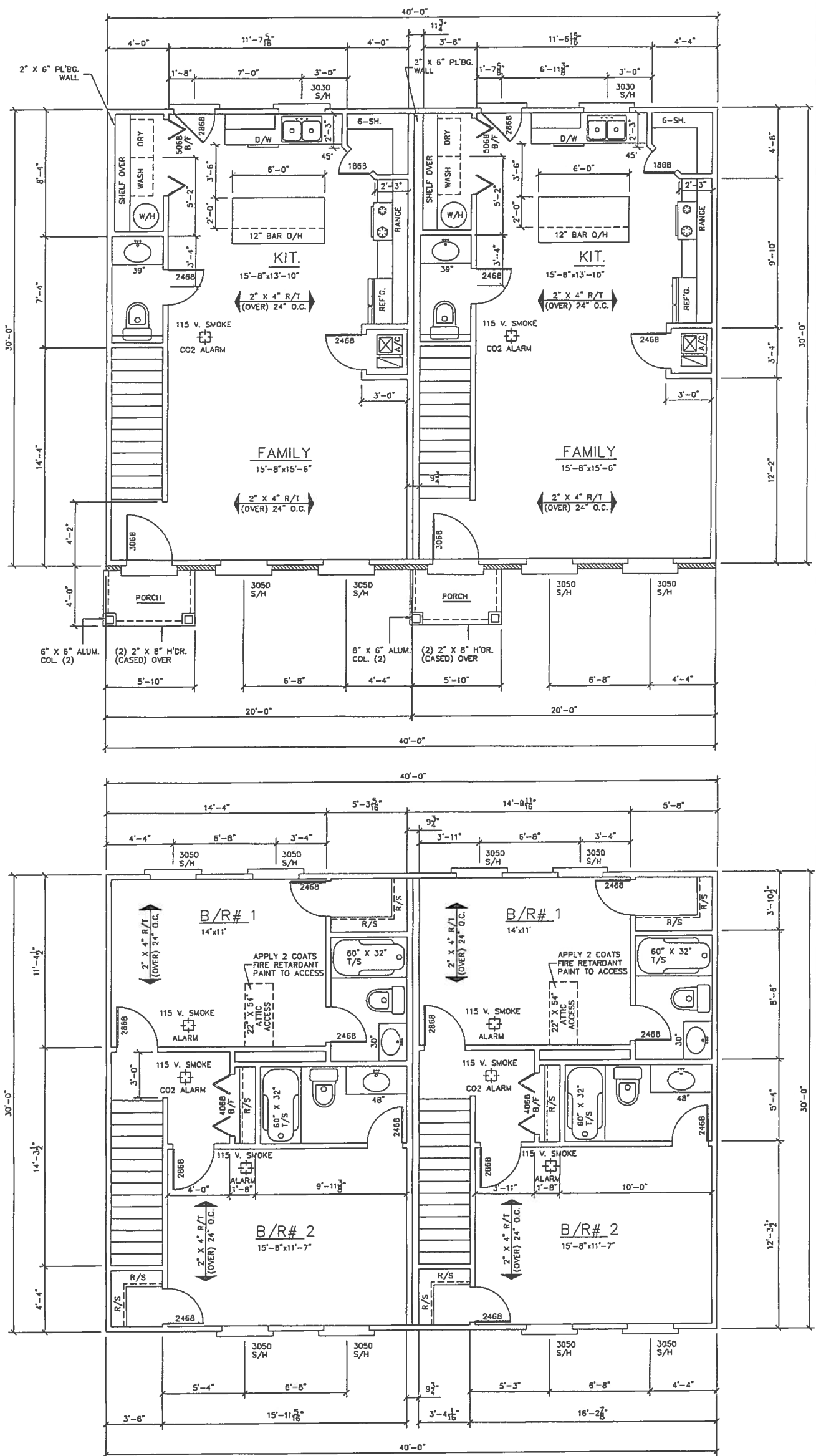
2" CONTINUOUS RIDGE VENT, ALL RIDGES



- * AREA OF FACADE
720.00 SQ. FT.
- * AREA OF GLASS IN DOORS & WINDOWS
109.42 SQ. FT.
- * $\frac{109.42}{720.00} \times 100 = 15.2\%$
TRANSPARENCY

ALL GRADE ELEVATIONS APPROXIMATE

**SPECIAL USE
BUILDING PLAN
SHEET 2 OF 2**



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Knoxville, Tennessee 37932

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