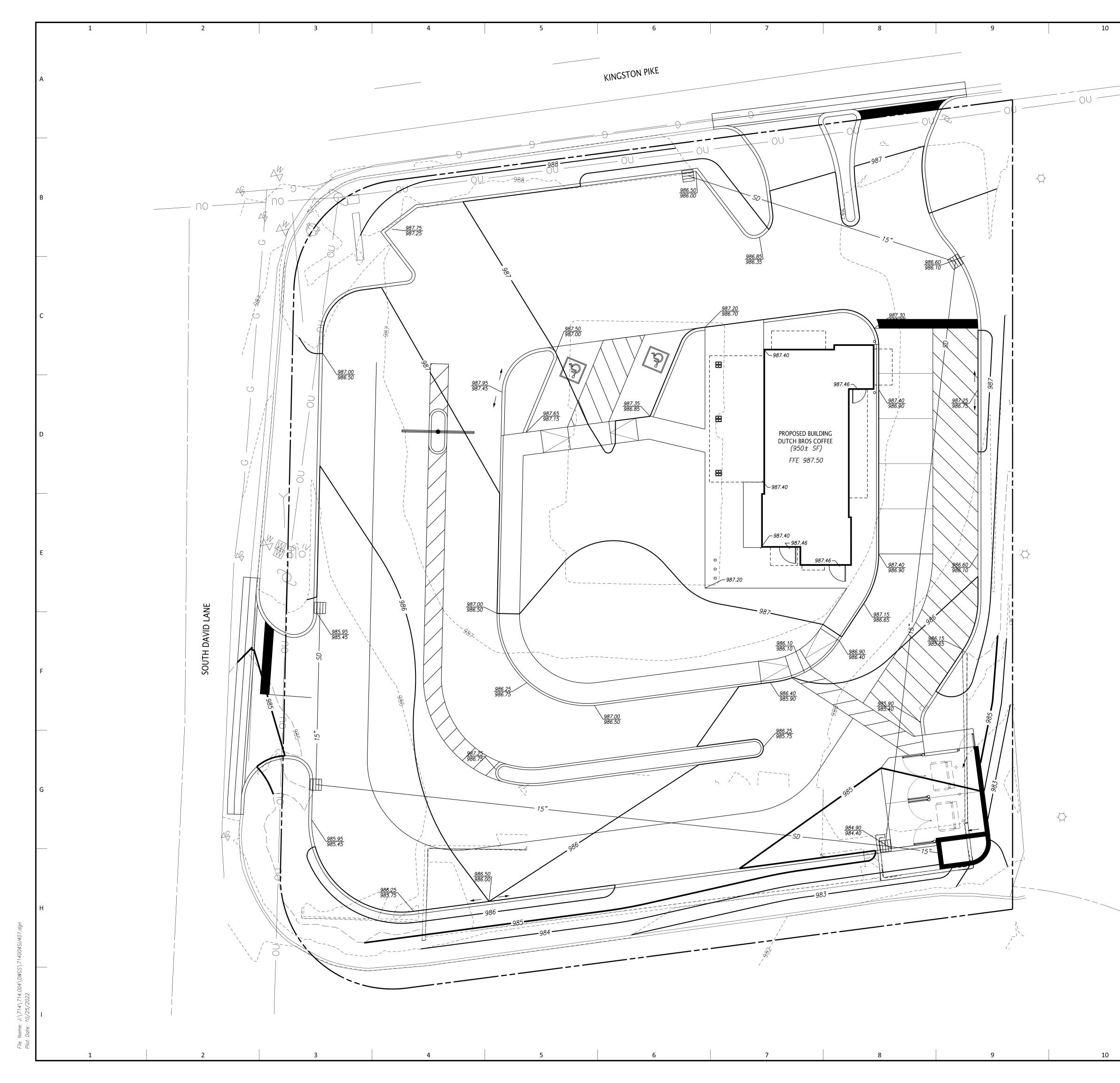
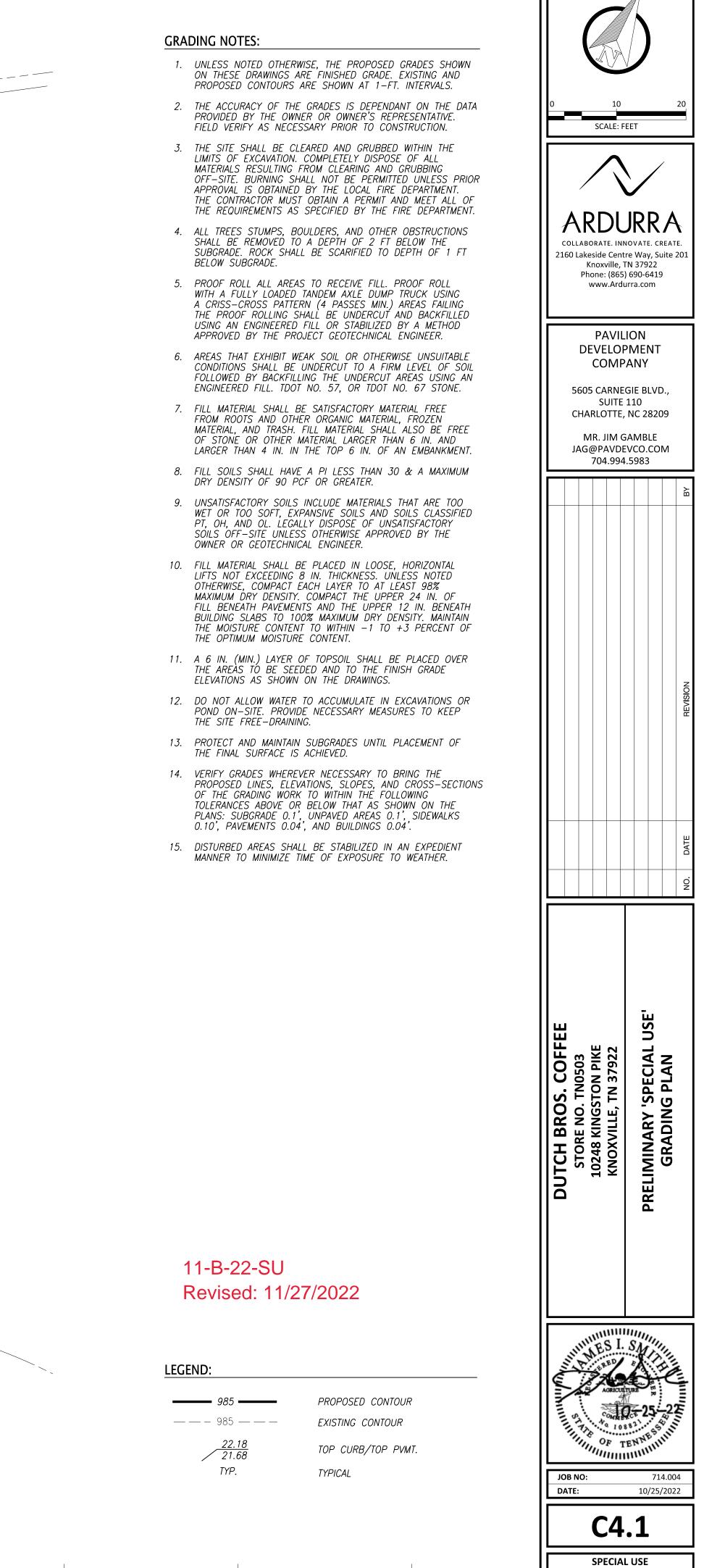


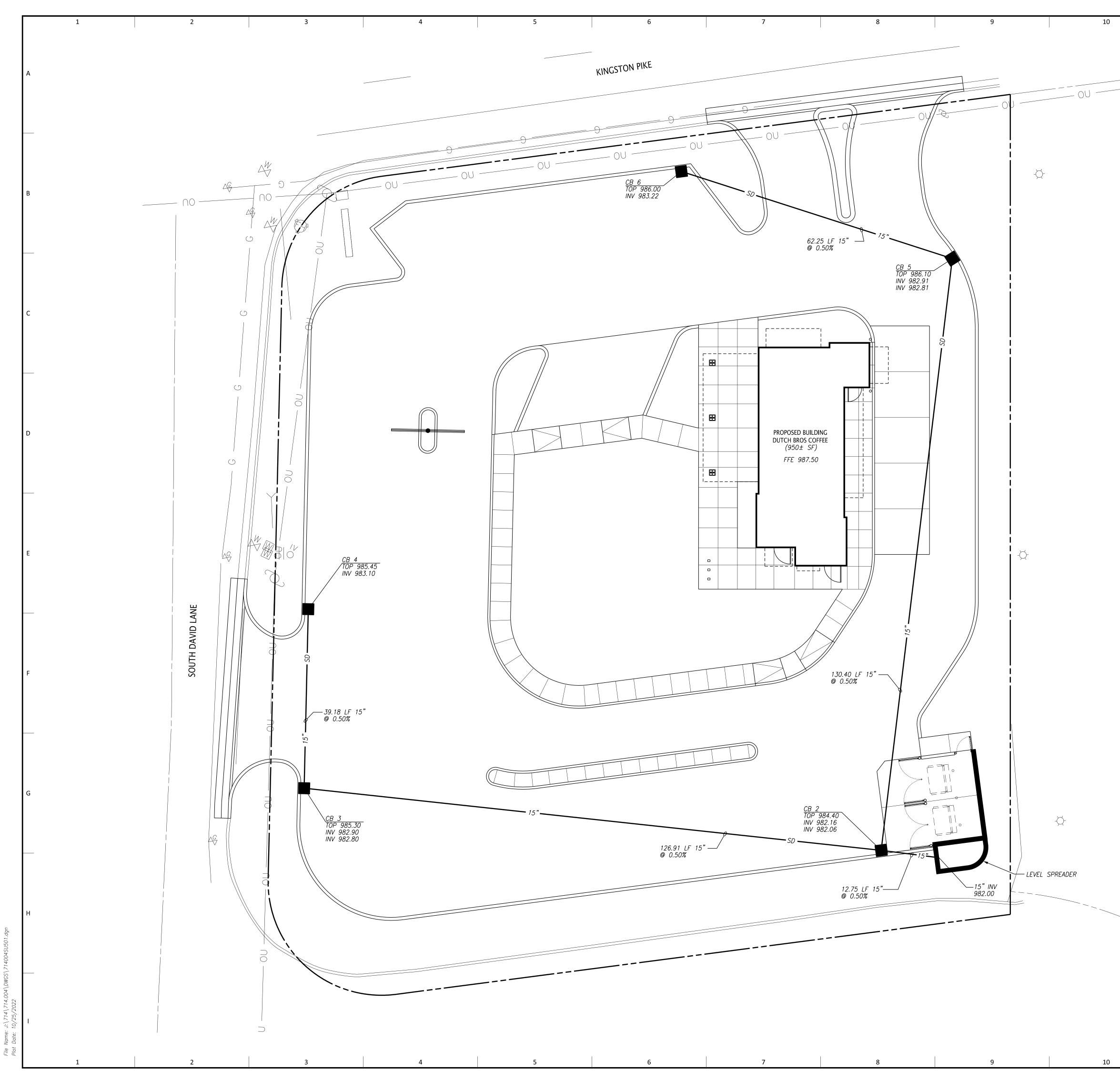
11	12	13		
NOTES:				
1. THE TOPOGRA	APHIC & BOUNDARY DATA WAS TAK ES, INC., DATED AUGUST 17, 2022			
AND NAD83- 2. UNLESS NOTE		AKEN FROM	0 10 SCALE: FEET	
PAVEMENT OF 3. THE MINERAL	AGGREGATE BASE AND ASPHALTIC ALL MEET THE MATERIALS, EQUIPMI	SURFACE		
CONSTRUCTIO DRAWINGS, AI	N, AND TESTING REQUIREMENTS OF ND THE CITY OF KNOXVILLE DEPAR STANDARD SPECIFICATIONS.	F THESE		
COMPRESSIVE CONCRETE CU EQUIPMENT, /	JRB AND PAVEMENT SHALL HAVE A STRENGTH OF 4000 PSI AT 28 L JRB AND PAVEMENT SHALL MEET 1 AND CONSTRUCTION REQUIREMENTS XVILLE DEPARTMENT OF ENGINEERI NS.	DAYS. THE MATERIALS, S OF THE	COLLABORATE. INNOVATE. 2160 Lakeside Centre Way, Knoxville, TN 37927 Phone: (865) 690-64	CREATI Suite 2 2 19
CONFORM TO	TROL DEVICES AND PAVEMENT MAR THE FEDERAL HIGHWAY ADMINISTR UNIFORM TRAFFIC CONTROL DEVIC	PATIONS	www.Ardurra.com	
CLT# 131NCC C–G–1, GEN CITY BLOCK TOTAL AREA	ONCERNED REFLECTS PARCEL 014. 01401. ZONING FOR THE PROPERT ERAL COMMERCIAL DISTRICT NO. 46349, WARD NO 47. = 0.656± AC.		PAVILION DEVELOPMEN COMPANY	
OWNER: PA 56	RBED AREA = 0.617 ±. VILION DEVELOPMENT COMPANY 05 CARNEGIE BLVD., SUITE 110 VARLOTTE, NC 28209		5605 CARNEGIE BLN SUITE 110 CHARLOTTE, NC 282 MR. JIM GAMBLE	209
7. BUILDING SET	BACKS ARE O–FT. IN FRONT, SIL	DE, AND REAR.	JAG@PAVDEVCO.C 704.994.5983	
ENGINEER LIC SUBMITTED F OF A PERMIT WALL AND RA	ALLS TO BE DESIGNED AND SEALED EENSED IN THE STATE OF TENNESS OR REVIEW AND APPROVAL PRIOR REFER TO VENDOR'S PLANS FOR MILING DETAILS. RAILING SHALL BE ALL HEIGHTS THAT EQUAL OR EXCE	SEE AND TO ISSUANCE ? RETAINING PROVIDED FOR		
UNDERNEATH BEEN SPECIF	R–PAVEMENT OF ASPHALT AND STO LANDSCAPE AREAS UP TO THE LII IED (REFER TO THE CURB DETAIL) OLID BASE FOR THE CONCRETE CL	MITS THAT HAVE IN ORDER TO		
10. REFER TO AR DIMENSIONS.	CHITECTURAL PLANS FOR ACTUAL	BUILDING		
PROPO.	G = 0.549 ACRES SED = 0.469 ACRES			
	DUCTION = 0.075 ACRES SE AREA: ±14,153 SF			
FLOODPLAIN MAY BE REQU SITE AND WIL REVIEW PROC 3. THE SIGNAGE THE PERMIT 4. THE REQUIRE DETAIL DURIN ALTERNATIVE THE CITY OF STANDARDS A DRIVE-THRU REQUI REQUIRED PARKING PROVIDED PARKING STANDARD SF HANDICAP SF	PLAN WILL BE REVIEWED IN DETAINED REVIEW PROCESS. D LANDSCAPING WILL BE REVIEWED IG THE PERMITTING PROCESS. IG THE PERMITTING PROCESS. A N LANDSCAPE DESIGN MUST BE APPINEN KNOXVILLE ZONE SPECIFIC LANDSON IRE NOT MET. SIS: REMENT: 6 SPACES PER 1,000 S : 6 : 6 : 6 : 7 'ACES: 2	M STUDÝ, ÉTC. G FOR THIS THE PERMIT IL DURING O IN MORE VARIANCE OR ROVED IF CAPE SF GFA SPACES	DUTCH BROS. COFFEE STORE NO. TN0503 10248 KINGSTON PIKE KNOXVILLE, TN 37922 PRELIMINARY 'SPECIAL USE'	LAYOUT AND PAVING PLAN
11-B-2 Revise	2-SU d: 11/27/2022		DU DU	ΓΑΛΟ
LEGEND:				
	ASPHALT PAVEMENT	14/41/2	MESI. SA	
· · · · · ·	CONCRETE PAVEMENT/SIDE	WALK	ACRECUTURE	ê
	PROPERTY BOUNDARY	~FS	ST. 500 105-25	<u>_</u> 22
(1/(2))	NUMBER OF PARKING SPAC DETAIL REF. (DETAIL NO./S		11177 OF TENNE	, PILLIN
(1/C2) TYP.	DETAIL REF. (DETAIL NO./S TYPICAL	ын. wu.j		714.004 5/2022
				J, ZUZ.
			C3.1	

SPECIAL USE PERMITTING





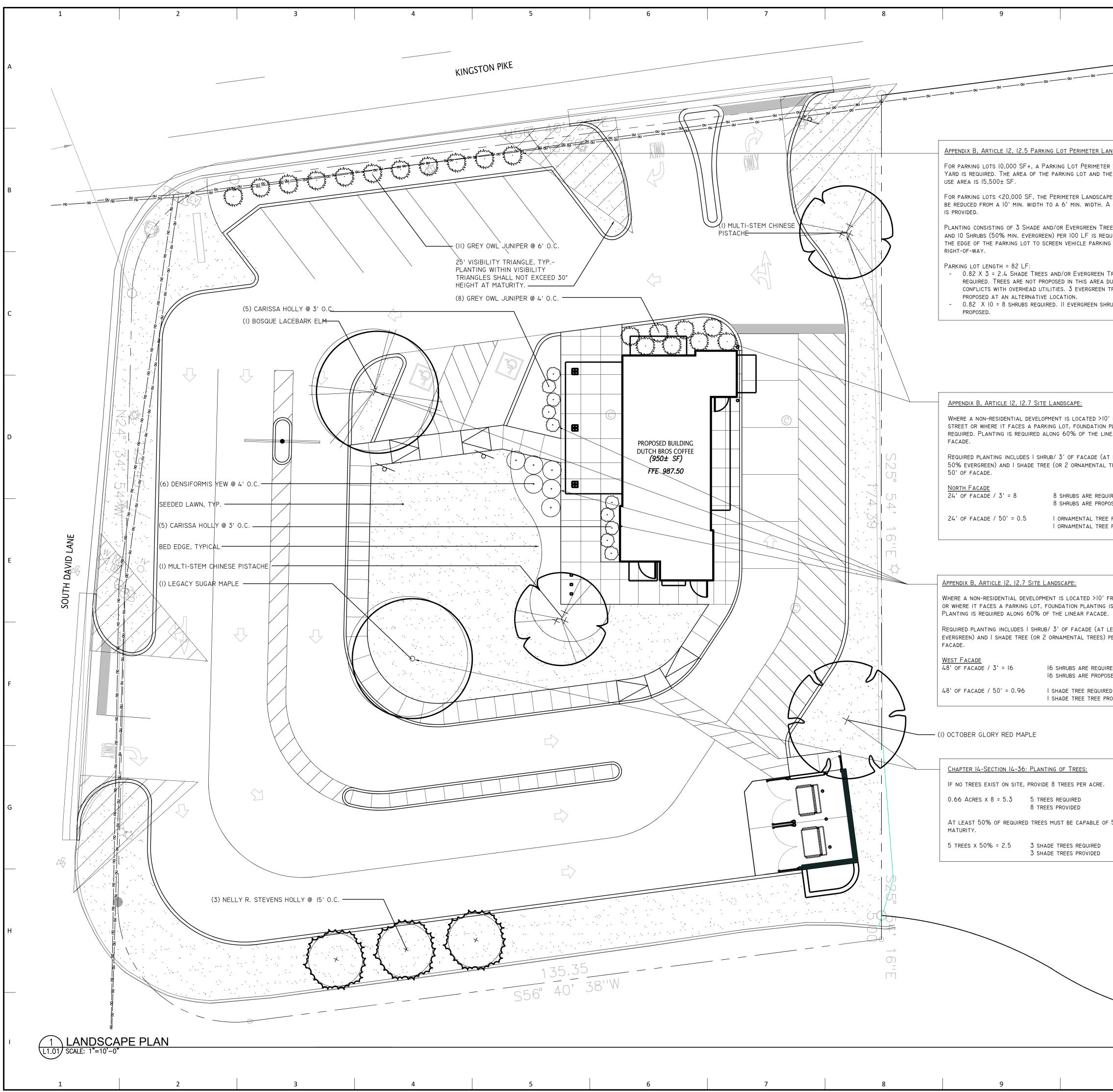
PERMITTING



	11	12	13
	STORM PIPE NO	DTES: DRM SEWER PIPING AND APPURTENANCES TO MEET	
сС	THE MATERI, OF THE CIT	ALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS Y OF KNOXVILLE STANDARD SPECIFICATIONS.	
	SOLELY THE	SIGN AND SAFETY FOR PIPELINE CONSTRUCTION IS RESPONSIBILITY OF THE CONTRACTOR AND SHALL /ITH ALL APPLICABLE LOCAL, STATE, AND OSHA S.	0 10 20 SCALE: FEET
	EITHER CLA SMOOTH INT RCP SHALL M170 (ASTM ACCORDANC LOCATED WI	TED OTHERWISE, STORM SEWER PIPE SHALL BE SS III REINFORCED CONCRETE PIPE (RCP) OR TERIOR HIGH DENSITY POLYETHYLENE PIPE (HDPE). BE INSTALLED IN ACCORDANCE WITH AASHTO I C76). HDPE PIPE SHALL BE INSTALLED IN E WITH AASHTO M294. ALL STORM SEWER PIPE THIN A PERMANENT DETENTION/RETENTION BASIN CLASS III RCP AND SHALL BE INSTALLED PER JIREMENTS.	ARDURRA COLLABORATE, INNOVATE, CREATE,
	MEETING AL. BE MADE O	SHALL BE INSTALLED WITH WATERTIGHT (WT) JOINTS L AASHTO AND ASTM REQUIREMENTS. JOINTS SHALL F POLYISOPRENE AND INSTALLED AND COVERED IOVABLE, PROTECTIVE WRAP BY THE MANUFACTURER.	2160 Lakeside Centre Way, Suite 201 Knoxville, TN 37922 Phone: (865) 690-6419 www.Ardurra.com
	BACKFILLING PLACING TH	CTION AND ALIGNMENT SHALL BE CHECKED AFTER AND COMPACTION ARE COMPLETE AND PRIOR TO E BASE. TEST DEFLECTION WITH A MANDREL OR ROVED METHOD.	PAVILION
	6. PIPE WITH L	DEFLECTION 5% OR GREATER OR WITH UNDUE NT SHALL BE REPLACED AT THE CONTRACTOR'S	DEVELOPMENT COMPANY
	7. PIPE/CULVE LENGTH COI CLASS, SHA FROM CENT DEDUCTIONS VARY. THE NECESSARY SYSTEM AS SHORING, F	RTS ARE MEASURED IN TERMS OF HORIZONTAL MPLETE IN PLACE REGARDLESS OF TYPE, DEPTH, PE AND SIZE, AS MEASURED ALONG THE CENTERLINE ER OF STRUCTURE TO CENTER OF STRUCTURE (NO 5 FOR STRUCTURES). ACTUAL QUANTITY OF PIPE MAY CONTRACTOR SHALL SUPPLY AND INSTALL THE QUANTITY OF PIPE TO CONSTRUCT THE COMPLETE SHOWN. INSTALLATION INCLUDES EXCAVATION, URNISHING AND INSTALLATION OF PIPES, JOINT COUPLINGS, AND BACKFILL.	5605 CARNEGIE BLVD., SUITE 110 CHARLOTTE, NC 28209 MR. JIM GAMBLE JAG@PAVDEVCO.COM 704.994.5983
	LOCATE EXIS CROSS BY STRUCTURE, VERTICAL LO CONFLICTS AND NEW P	NSTALLING NEW PIPING, CONTRACTOR SHALL STING UTILITIES/STRUCTURES WHERE NEW PIPES POT-HOLING. AFTER EXPOSING EXISTING UTILITY/ CONTRACTOR SHALL OBTAIN HORIZONTAL AND OCATIONS BY FIELD SURVEY, AND RESOLVE ANY BETWEEN UNDERGROUND UTILITIES/STRUCTURES IPING UNDER THE DIRECTION OF THE OWNER NSTALLING NEW PIPING.	
			REVISION
			DATE
			JSE _
			DUTCH BROS. COFFEE STORE NO. TN0503 10248 KINGSTON PIKE KNOXVILLE, TN 37922 PRELIMINARY 'SPECIAL USE' DRAINAGE PLAN
			TCH BROS. COFF STORE NO. TN0503 10248 KINGSTON PIKE KNOXVILLE, TN 37922 IMINARY 'SPECIAL DRAINAGE PLAN
			CH BR CH BR 248 KIN IOXVILL
			DUTCH STOF 10248 KNOX
		-22-SU	
	Revis	sed: 11/27/2022	
			AGRECUTINES
	LEGEND:	PROPOSED STORM INLET STRUCTURE	25-22 01 TI - 108 81 01 TI -
	— SD CB	PROPOSED STORM INLET STRUCTORE PROPOSED STORM DRAIN CATCH BASIN	
	CB TYP	TYPICAL	JOB NO: 714.004 DATE: 10/25/2022
			C5.1

11	12	

SPECIAL USE PERMITTING



10	11	12		13		
	PERMITTING NOTES:	NED CITY OF KNOXVILLE C-G-I. A				
OU	ZONED C-G-I. 2. RE. KNOXVILLE TREE PROTECT	TION ORDINANCE, CHAPTER 14-34 D VIOUSLY DEVELOPED BY OTHERS AND	estruction or Removal			
	TREES. 3. RE. KNOXVILLE TREE PROTECT	tion Ordinance, Chapter 14-35 Pi	ROTECTION OF TREES OF		0 10	20
	or Botanical Importance. 4. Re. Knoxville Tree Protect	PORTANCE; NO EXISTING TREES ON	lanting of Trees;		SCALE:	FEET
	PROPOSED. B. AT LEAST HALF OF REQU	TREES/ACRE = 5 (MIN.) TREES REQU UIRED TREES SHALL REACH 50' HT.	AT MATURITY. 5/2=2.5.			
LANDSCAPE YARD: TER LANDSCAPE	HT. AT MATURITY.	POSED TREES ARE SPECIES WHICH TY EES SHALL BE EQUAL TO OR GREATE			ARDU	
THE VEHICULAR	MINIMUM SIZE REQUIRED A 5. RE. KNOXVILLE TREE PROTECT REPLACEMENT OF TREES; SEE	tion Ordinance, Chapter 14-37 M	AINTENANCE AND		COLLABORATE. INN 2160 Lakeside Cent	NOVATE. CREATE.
CAPE YARD MAY 1. A 6' MIN. WIDTH	SPECIES DIVERSITY:	DNS, APPENDIX B, ARTICLE 12-LANDS MAX QTY. OF SINGLE SPECIES= 1009			Knoxville, T Phone: (865) www.Ardu	TN 37922) 690-6419
Trees per 100 LF required along	NO. OF SPECIES FOR TYPE B. (5) DECIDUOUS TREES- M	E= I, I SPECIES PROPOSED. 1AX. QTY. OF SINGLE SPECIES= 60% E= 2, 4 SPECIES PROPOSED.				
KING FROM THE	C. (35) EVERGREEN SHRUBS MIN. NO. OF SPECIES FOR	- MAX. QTY.OF SINGLE SPECIES= 4(TYPE= 5, 3 SPECIES PROPOSED. AT REDUCED SPECIES DIVERSITY MA			PAVIL DEVELOF	PMENT
n Trees are a due to	MAINTENANCE COSTS. 7. 12.5- PARKING LOT PERIMETER	r Landscape Yard: The proposed	PARKING LOT AND		COMP 5605 CARNE	
EN TREES ARE SHRUBS ARE	LANDSCAPE YARD IS PROPOSED VEHICULAR PARKING FROM THE		LOT TO SCREEN		SUITE CHARLOTTE,	110
	TREES REQUIRED. TREES	RGREEN TREES ARE REQUIRED PER ARE NOT PROPOSED WITHIN THE PAR OVERHEAD UTILITIES; 3 EVERGREEN	RKING LOT PERIMETER		MR. JIM G JAG@PAVDE	EVCO.COM
		ation. evergreen) are required per 100 rgreen shrubs are proposed.	LF. 0.82 * 10 = 8		704.994	H.5983
	 8. 12.6- INTERIOR PARKING LOT C. THE PARKING AND VEHICL LANDSCAPE IS NOT REQUI 	jlar use areas are < 20,000 SF.	. INTERIOR PARKING LOT		H	m
	9. 12.7- SITE LANDSCAPE: THE V PORTION OF THE WEST FACADE	NEST FACADE IS > 10' FROM THE ST E ABUTS PARKING. FOUNDATION PLAI PEDESTRIAN PAVING, FOUNDATION P	NTING IS REQUIRED. DUE			
>10' from a	THE NEAREST ADJACENT PLAN	ITING AREA: UIRED ALONG 60% OF THE LINEAR				
ON PLANTING IS LINEAR	E. 12.7, B, I.: SHRUBS @ WE REQUIRED. 16 SHRUBS ARI	EST FACADE; LENGTH= 48'. 48/3 = E PROPOSED.				
(AT LEAST AL TREES) PER	OR 2 ORNAMENTAL TREE 10. 12.7- SITE LANDSCAPE: THE N	ST FACADE; LENGTH= 48'. 48/50 = S) REQUIRED. SHADE TREE IS PROF NORTH IS > 10' FROM THE STREET LO	POSED. OT LINE WITH NO			
	AND PEDESTRIAN PAVING, FOUR	ON LANDSCAPE IS REQUIRED. DUE TO NDATION PLANTING IS PROPOSED WIT OUNDATION AND WITHIN THE PARKING	HIN A PLANTING AREA			N N N N N N N N N N N N N N N N N N N
EQUIRED ROPOSED		QUIRED ALONG 60% OF THE LINEAR D. 24 LF OF PLANTING IS PROPOSEI				REVISION
REE REQUIRED REE PROVIDED	REQUIRED. 8 SHRUBS ARE	DRTH FACADE; LENGTH= 24'. 24/3 PROPOSED. RTH FACADE; LENGTH= 24'. 24/50			COMMENTS	
	required. ornamental 11. 12.8 Buffer Yards				USE	
]	12. LANDSCAPE PLAN IS FOR REVI		RE NOT REQUIRED.		SPECIAL	
)' FROM A STREET					10/25/00	DATE
NG IS REQUIRED. .DE.						. OZ
NT LEAST 50% S) PER 50' OF						
QUIRED						AN
JIRED						DE PL
PROVIDED					ш	MINARY "SPECIAL USE" LANDSCAPE PLAN
					COFFEE 0503 N PIKE 37922	AND
					. COFF IN0503 ON PIKE N 37922	SE" L
F					BROS. E NO. TN KINGSTC /ILLE, TN	AL U
E.						PECI
of 50' Ht. at					DUTCH STOF 10248 KNOX	3" YS
)						INAF
						PRELIM
		-B-22-SU	0			РК
	Re	evised: 11/27/2022	2			
					STATISTICS OF STATISTICS	PH PETAN
					AGRICULT	Path 10-25-22
					COMME	R OB

THE PENLAND STUDIO

LANDSCAF 2110 H Knoxville BPETHEL@PENLANDSTUDIO.COM 865.335.3584 www.PenlandStudio.com

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PΕ	ARCHITECTURE
Holi	DERWOOD LANE
e. Te	ENNESSEE 37922

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JOB NO:

DATE:

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09/23/2022

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SPECIAL USE File No.:11-B-22-SU