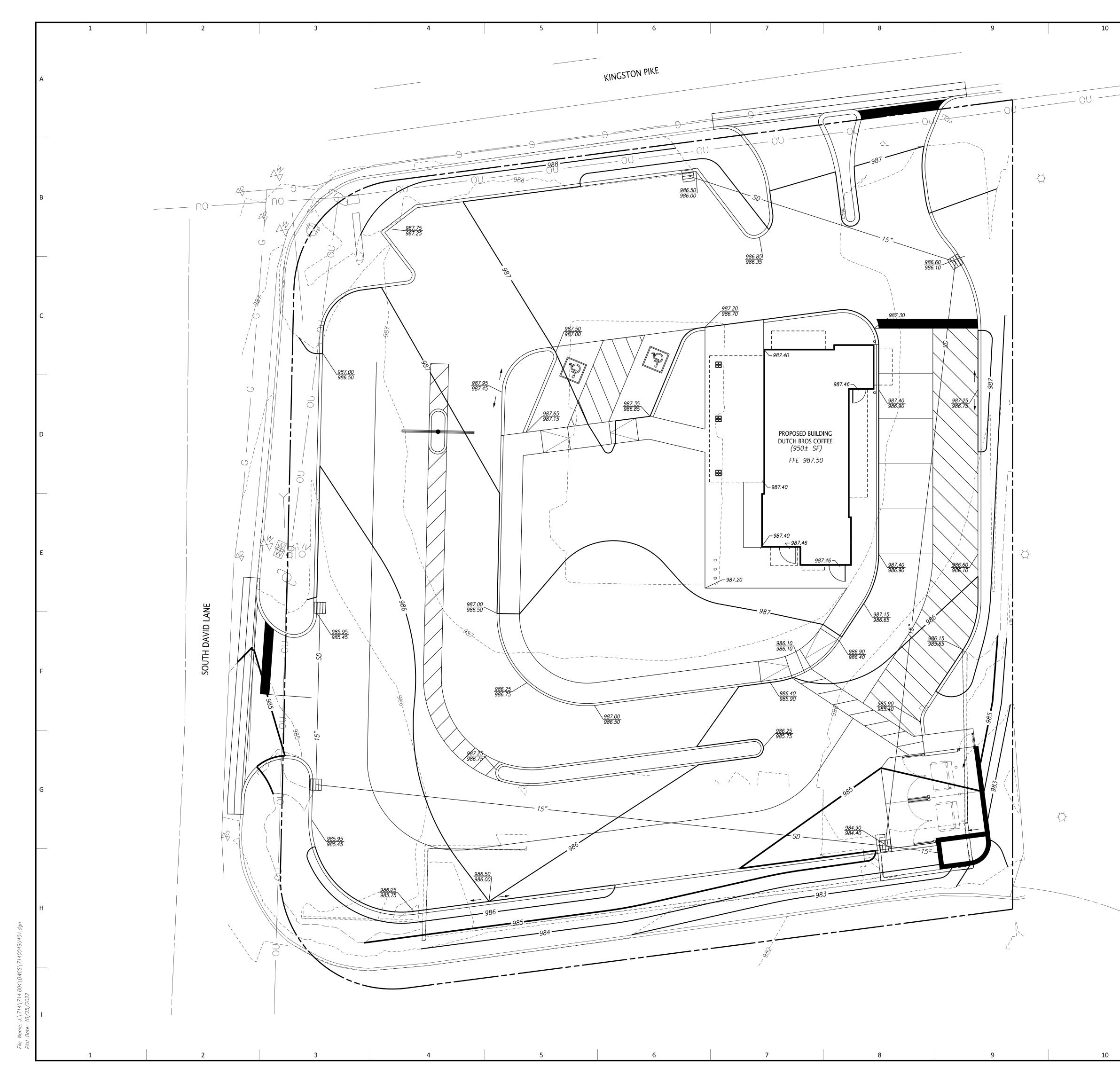
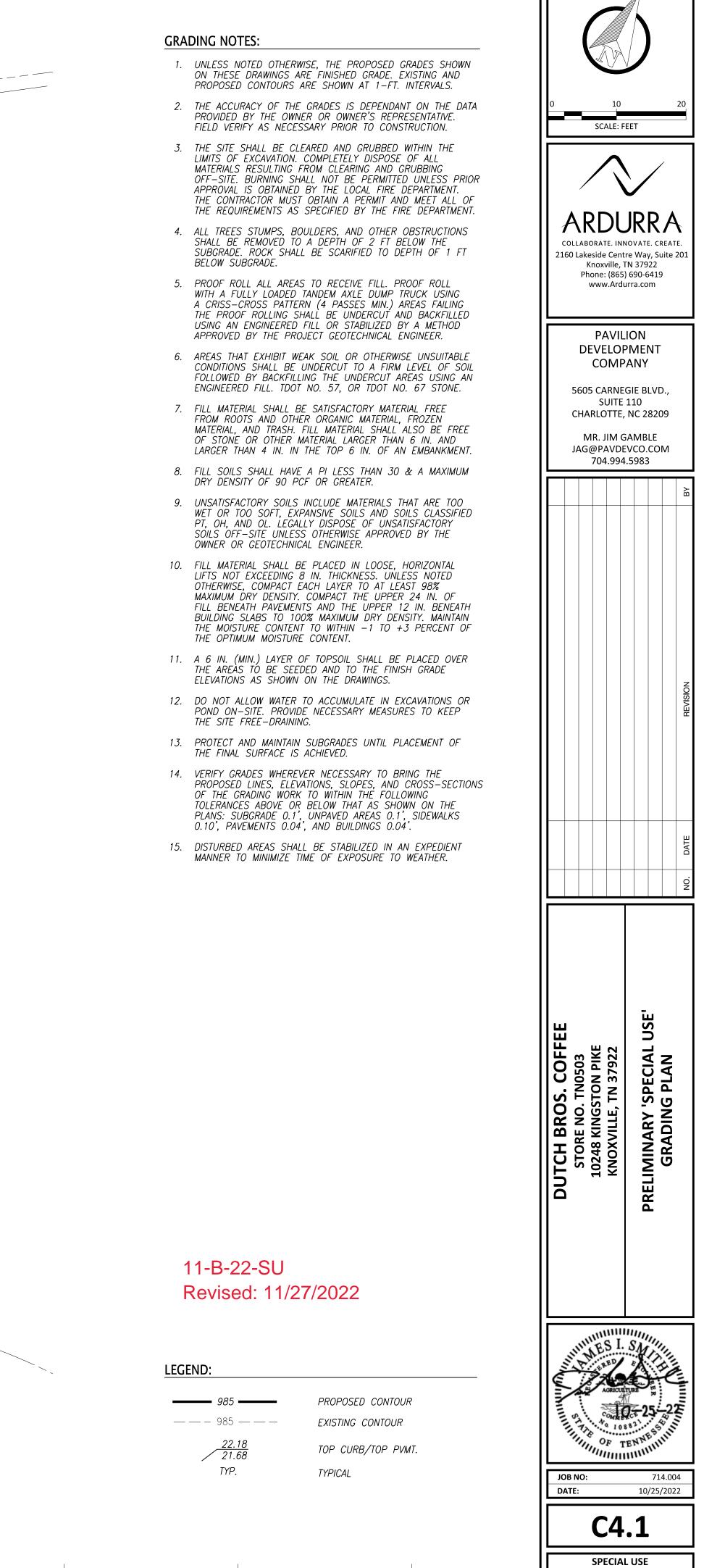


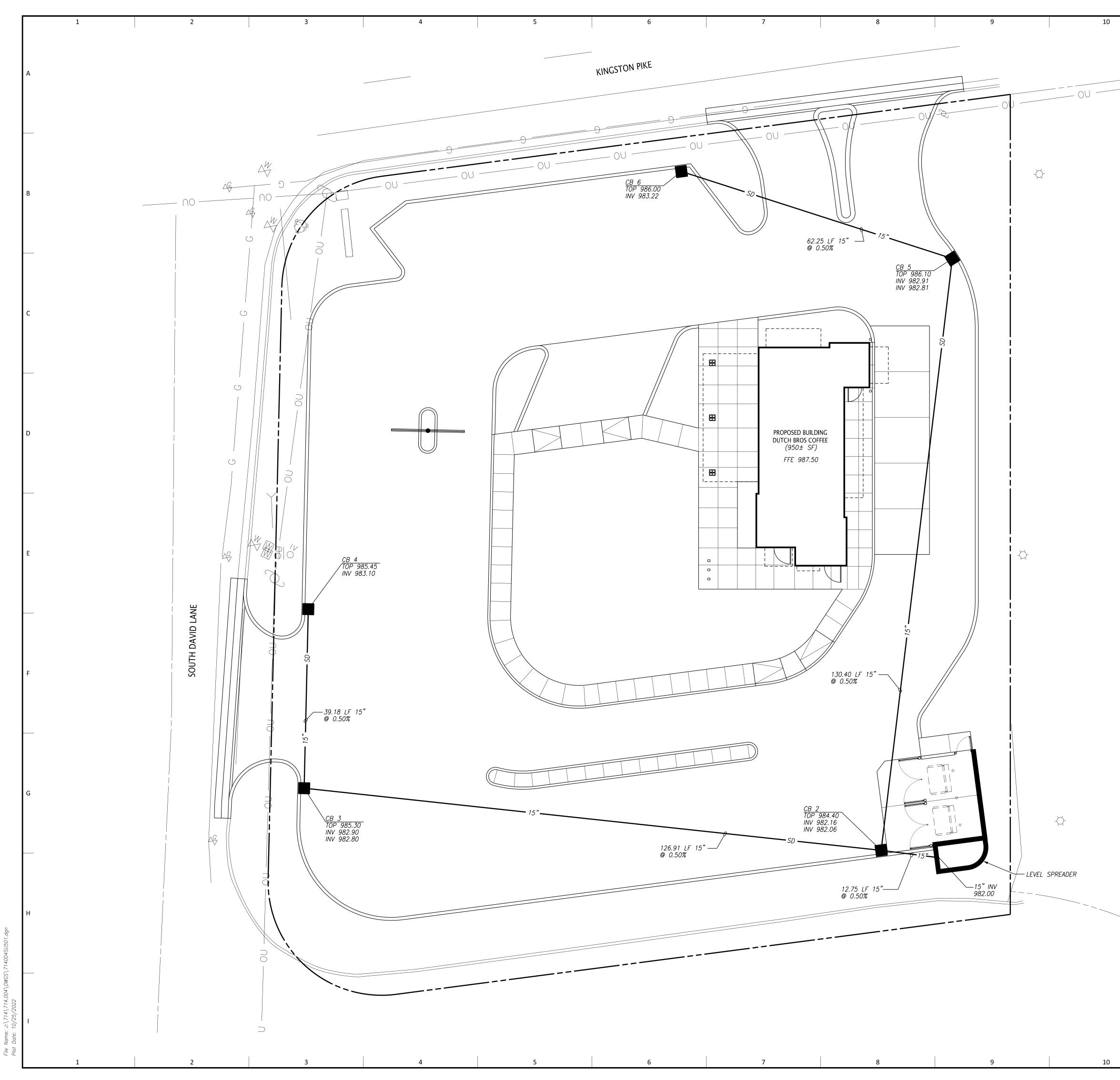
| 11 | 12 | 13 | | |
|---|---|--|---|------------------------------|
| NOTES: | | | | |
| 1. THE TOPOGRA | APHIC & BOUNDARY DATA WAS TAK ES, INC., DATED AUGUST 17, 2022 | | | |
| AND NAD83- 2. UNLESS NOTE | | AKEN FROM | 0 10 SCALE: FEET | |
| PAVEMENT OF 3. THE MINERAL | AGGREGATE BASE AND ASPHALTIC ALL MEET THE MATERIALS, EQUIPMI | SURFACE | | |
| CONSTRUCTIO DRAWINGS, AI | N, AND TESTING REQUIREMENTS OF ND THE CITY OF KNOXVILLE DEPAR STANDARD SPECIFICATIONS. | F THESE | | |
| COMPRESSIVE CONCRETE CU EQUIPMENT, / | JRB AND PAVEMENT SHALL HAVE A STRENGTH OF 4000 PSI AT 28 L JRB AND PAVEMENT SHALL MEET 1 AND CONSTRUCTION REQUIREMENTS XVILLE DEPARTMENT OF ENGINEERI NS. | DAYS. THE MATERIALS, S OF THE | COLLABORATE. INNOVATE. 2160 Lakeside Centre Way, Knoxville, TN 37927 Phone: (865) 690-64 | CREATI Suite 2 2 19 |
| CONFORM TO | TROL DEVICES AND PAVEMENT MAR THE FEDERAL HIGHWAY ADMINISTR UNIFORM TRAFFIC CONTROL DEVIC | PATIONS | www.Ardurra.com | |
| CLT# 131NCC C–G–1, GEN CITY BLOCK TOTAL AREA | ONCERNED REFLECTS PARCEL 014. 01401. ZONING FOR THE PROPERT ERAL COMMERCIAL DISTRICT NO. 46349, WARD NO 47. = 0.656± AC. | | PAVILION DEVELOPMEN COMPANY | |
| OWNER: PA 56 | RBED AREA = 0.617 ±. VILION DEVELOPMENT COMPANY 05 CARNEGIE BLVD., SUITE 110 VARLOTTE, NC 28209 | | 5605 CARNEGIE BLN SUITE 110 CHARLOTTE, NC 282 MR. JIM GAMBLE | 209 |
| 7. BUILDING SET | BACKS ARE O–FT. IN FRONT, SIL | DE, AND REAR. | JAG@PAVDEVCO.C 704.994.5983 | |
| ENGINEER LIC SUBMITTED F OF A PERMIT WALL AND RA | ALLS TO BE DESIGNED AND SEALED EENSED IN THE STATE OF TENNESS OR REVIEW AND APPROVAL PRIOR REFER TO VENDOR'S PLANS FOR MILING DETAILS. RAILING SHALL BE ALL HEIGHTS THAT EQUAL OR EXCE | SEE AND TO ISSUANCE ? RETAINING PROVIDED FOR | | |
| UNDERNEATH BEEN SPECIF | R–PAVEMENT OF ASPHALT AND STO LANDSCAPE AREAS UP TO THE LII IED (REFER TO THE CURB DETAIL) OLID BASE FOR THE CONCRETE CL | MITS THAT HAVE IN ORDER TO | | |
| 10. REFER TO AR DIMENSIONS. | CHITECTURAL PLANS FOR ACTUAL | BUILDING | | |
| PROPO. | G = 0.549 ACRES SED = 0.469 ACRES | | | |
| | DUCTION = 0.075 ACRES SE AREA: ±14,153 SF | | | |
| FLOODPLAIN MAY BE REQU SITE AND WIL REVIEW PROC 3. THE SIGNAGE THE PERMIT 4. THE REQUIRE DETAIL DURIN ALTERNATIVE THE CITY OF STANDARDS A DRIVE-THRU REQUI REQUIRED PARKING PROVIDED PARKING STANDARD SF HANDICAP SF | PLAN WILL BE REVIEWED IN DETAINED REVIEW PROCESS. D LANDSCAPING WILL BE REVIEWED IG THE PERMITTING PROCESS. IG THE PERMITTING PROCESS. A N LANDSCAPE DESIGN MUST BE APPINEN KNOXVILLE ZONE SPECIFIC LANDSON IRE NOT MET. SIS: REMENT: 6 SPACES PER 1,000 S : 6 : 6 : 6 : 7 'ACES: 2 | M STUDÝ, ÉTC. G FOR THIS THE PERMIT IL DURING O IN MORE VARIANCE OR ROVED IF CAPE SF GFA SPACES | DUTCH BROS. COFFEE STORE NO. TN0503 10248 KINGSTON PIKE KNOXVILLE, TN 37922 PRELIMINARY 'SPECIAL USE' | LAYOUT AND PAVING PLAN |
| 11-B-2 Revise | 2-SU d: 11/27/2022 | | DU DU | ΓΑΛΟ |
| LEGEND: | | | | |
| | ASPHALT PAVEMENT | 14/41/2 | MESI. SA | |
| · · · · · · | CONCRETE PAVEMENT/SIDE | WALK | ACRECUTURE | ê |
| | PROPERTY BOUNDARY | ~FS | ST. 500 105-25 | <u>_</u> 22 |
| (1/(2)) | NUMBER OF PARKING SPAC DETAIL REF. (DETAIL NO./S | | 11177 OF TENNE | , PILLIN |
| (1/C2) TYP. | DETAIL REF. (DETAIL NO./S TYPICAL | ын. wu.j | | 714.004 5/2022 |
| | | | | J, ZUZ. |
| | | | C3.1 | |

SPECIAL USE PERMITTING





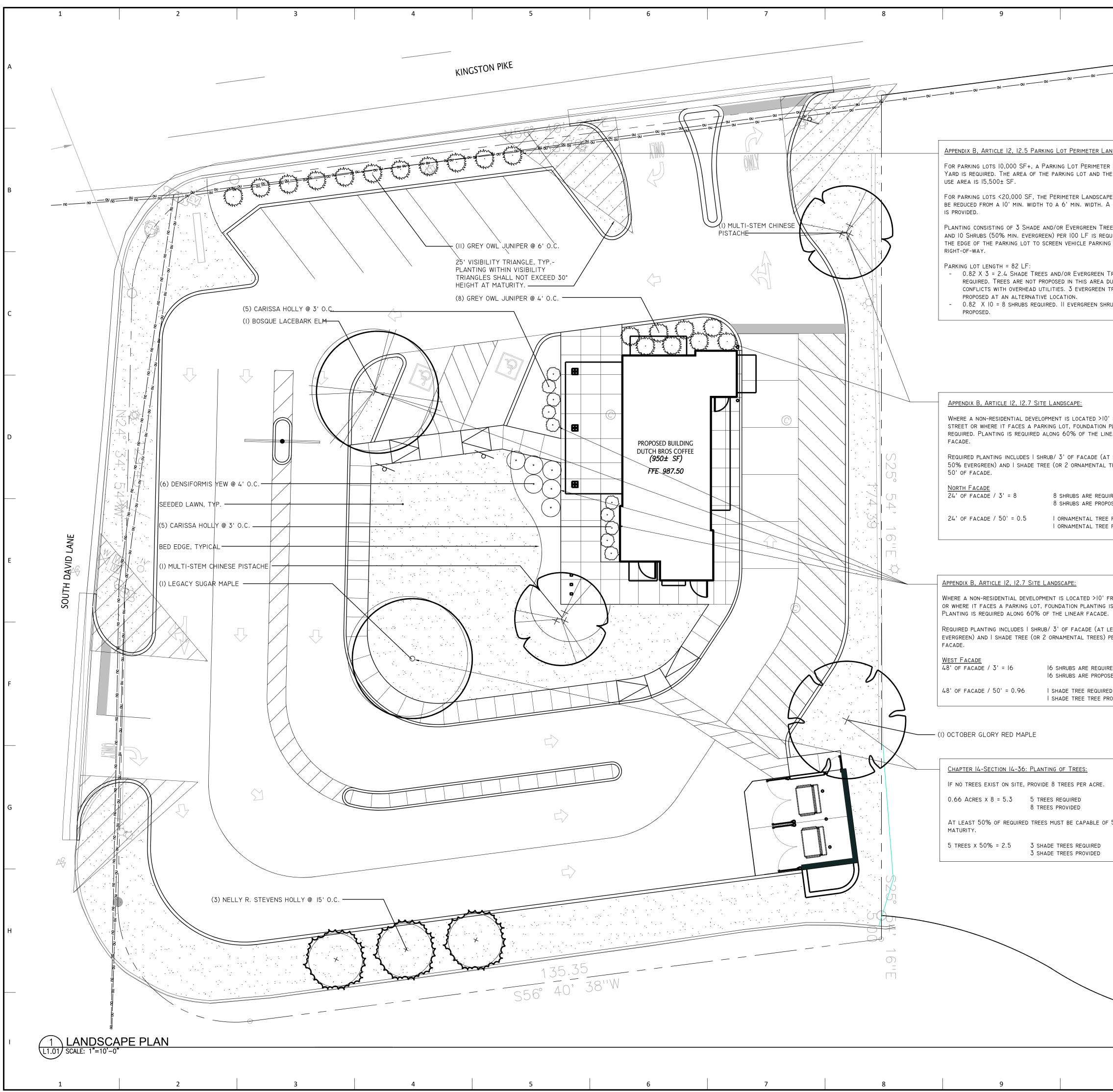
PERMITTING



| | 11 | 12 | 13 |
|----|---|---|--|
| | STORM PIPE NO | DTES: DRM SEWER PIPING AND APPURTENANCES TO MEET | |
| сС | THE MATERI, OF THE CIT | ALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS Y OF KNOXVILLE STANDARD SPECIFICATIONS. | |
| | SOLELY THE | SIGN AND SAFETY FOR PIPELINE CONSTRUCTION IS RESPONSIBILITY OF THE CONTRACTOR AND SHALL /ITH ALL APPLICABLE LOCAL, STATE, AND OSHA S. | 0 10 20 SCALE: FEET |
| | EITHER CLA SMOOTH INT RCP SHALL M170 (ASTM ACCORDANC LOCATED WI | TED OTHERWISE, STORM SEWER PIPE SHALL BE SS III REINFORCED CONCRETE PIPE (RCP) OR TERIOR HIGH DENSITY POLYETHYLENE PIPE (HDPE). BE INSTALLED IN ACCORDANCE WITH AASHTO I C76). HDPE PIPE SHALL BE INSTALLED IN E WITH AASHTO M294. ALL STORM SEWER PIPE THIN A PERMANENT DETENTION/RETENTION BASIN CLASS III RCP AND SHALL BE INSTALLED PER JIREMENTS. | ARDURRA COLLABORATE, INNOVATE, CREATE, |
| | MEETING AL. BE MADE O | SHALL BE INSTALLED WITH WATERTIGHT (WT) JOINTS L AASHTO AND ASTM REQUIREMENTS. JOINTS SHALL F POLYISOPRENE AND INSTALLED AND COVERED IOVABLE, PROTECTIVE WRAP BY THE MANUFACTURER. | 2160 Lakeside Centre Way, Suite 201 Knoxville, TN 37922 Phone: (865) 690-6419 www.Ardurra.com |
| | BACKFILLING PLACING TH | CTION AND ALIGNMENT SHALL BE CHECKED AFTER AND COMPACTION ARE COMPLETE AND PRIOR TO E BASE. TEST DEFLECTION WITH A MANDREL OR ROVED METHOD. | PAVILION |
| | 6. PIPE WITH L | DEFLECTION 5% OR GREATER OR WITH UNDUE NT SHALL BE REPLACED AT THE CONTRACTOR'S | DEVELOPMENT COMPANY |
| | 7. PIPE/CULVE LENGTH COI CLASS, SHA FROM CENT DEDUCTIONS VARY. THE NECESSARY SYSTEM AS SHORING, F | RTS ARE MEASURED IN TERMS OF HORIZONTAL MPLETE IN PLACE REGARDLESS OF TYPE, DEPTH, PE AND SIZE, AS MEASURED ALONG THE CENTERLINE ER OF STRUCTURE TO CENTER OF STRUCTURE (NO 5 FOR STRUCTURES). ACTUAL QUANTITY OF PIPE MAY CONTRACTOR SHALL SUPPLY AND INSTALL THE QUANTITY OF PIPE TO CONSTRUCT THE COMPLETE SHOWN. INSTALLATION INCLUDES EXCAVATION, URNISHING AND INSTALLATION OF PIPES, JOINT COUPLINGS, AND BACKFILL. | 5605 CARNEGIE BLVD., SUITE 110 CHARLOTTE, NC 28209 MR. JIM GAMBLE JAG@PAVDEVCO.COM 704.994.5983 |
| | LOCATE EXIS CROSS BY STRUCTURE, VERTICAL LO CONFLICTS AND NEW P | NSTALLING NEW PIPING, CONTRACTOR SHALL STING UTILITIES/STRUCTURES WHERE NEW PIPES POT-HOLING. AFTER EXPOSING EXISTING UTILITY/ CONTRACTOR SHALL OBTAIN HORIZONTAL AND OCATIONS BY FIELD SURVEY, AND RESOLVE ANY BETWEEN UNDERGROUND UTILITIES/STRUCTURES IPING UNDER THE DIRECTION OF THE OWNER NSTALLING NEW PIPING. | |
| | | | REVISION |
| | | | |
| | | | DATE |
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| | | | JSE _ |
| | | | DUTCH BROS. COFFEE STORE NO. TN0503 10248 KINGSTON PIKE KNOXVILLE, TN 37922 PRELIMINARY 'SPECIAL USE' DRAINAGE PLAN |
| | | | TCH BROS. COFF STORE NO. TN0503 10248 KINGSTON PIKE KNOXVILLE, TN 37922 IMINARY 'SPECIAL DRAINAGE PLAN |
| | | | CH BR CH BR 248 KIN IOXVILL |
| | | | DUTCH STOF 10248 KNOX |
| | | | |
| | | -22-SU | |
| | Revis | sed: 11/27/2022 | |
| | | | AGRECUTINES |
| | LEGEND: | PROPOSED STORM INLET STRUCTURE | 25-22 01 TI - 108 81 01 TI - |
| | — SD CB | PROPOSED STORM INLET STRUCTORE PROPOSED STORM DRAIN CATCH BASIN | |
| | CB TYP | TYPICAL | JOB NO: 714.004 DATE: 10/25/2022 |
| | | | C5.1 |

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SPECIAL USE PERMITTING



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|-------------------------------------|---|---|---------------------------|----|---|---------------------------------------|
| | PERMITTING NOTES: | NED CITY OF KNOXVILLE C-G-I. A | | | | |
| OU | ZONED C-G-I. 2. RE. KNOXVILLE TREE PROTECT | TION ORDINANCE, CHAPTER 14-34 D VIOUSLY DEVELOPED BY OTHERS AND | estruction or Removal | | | |
| | TREES. 3. RE. KNOXVILLE TREE PROTECT | tion Ordinance, Chapter 14-35 Pi | ROTECTION OF TREES OF | | 0 10 | 20 |
| | or Botanical Importance. 4. Re. Knoxville Tree Protect | PORTANCE; NO EXISTING TREES ON | lanting of Trees; | | SCALE: | FEET |
| | PROPOSED. B. AT LEAST HALF OF REQU | TREES/ACRE = 5 (MIN.) TREES REQU UIRED TREES SHALL REACH 50' HT. | AT MATURITY. 5/2=2.5. | | | |
| LANDSCAPE YARD: TER LANDSCAPE | HT. AT MATURITY. | POSED TREES ARE SPECIES WHICH TY EES SHALL BE EQUAL TO OR GREATE | | | ARDU | |
| THE VEHICULAR | MINIMUM SIZE REQUIRED A 5. RE. KNOXVILLE TREE PROTECT REPLACEMENT OF TREES; SEE | tion Ordinance, Chapter 14-37 M | AINTENANCE AND | | COLLABORATE. INN 2160 Lakeside Cent | NOVATE. CREATE. |
| CAPE YARD MAY 1. A 6' MIN. WIDTH | SPECIES DIVERSITY: | DNS, APPENDIX B, ARTICLE 12-LANDS MAX QTY. OF SINGLE SPECIES= 1009 | | | Knoxville, T Phone: (865) www.Ardu | TN 37922) 690-6419 |
| Trees per 100 LF required along | NO. OF SPECIES FOR TYPE B. (5) DECIDUOUS TREES- M | E= I, I SPECIES PROPOSED. 1AX. QTY. OF SINGLE SPECIES= 60% E= 2, 4 SPECIES PROPOSED. | | | | |
| KING FROM THE | C. (35) EVERGREEN SHRUBS MIN. NO. OF SPECIES FOR | - MAX. QTY.OF SINGLE SPECIES= 4(TYPE= 5, 3 SPECIES PROPOSED. AT REDUCED SPECIES DIVERSITY MA | | | PAVIL DEVELOF | PMENT |
| n Trees are a due to | MAINTENANCE COSTS. 7. 12.5- PARKING LOT PERIMETER | r Landscape Yard: The proposed | PARKING LOT AND | | COMP 5605 CARNE | |
| EN TREES ARE SHRUBS ARE | LANDSCAPE YARD IS PROPOSED VEHICULAR PARKING FROM THE | | LOT TO SCREEN | | SUITE CHARLOTTE, | 110 |
| | TREES REQUIRED. TREES | RGREEN TREES ARE REQUIRED PER ARE NOT PROPOSED WITHIN THE PAR OVERHEAD UTILITIES; 3 EVERGREEN | RKING LOT PERIMETER | | MR. JIM G JAG@PAVDE | EVCO.COM |
| | | ation. evergreen) are required per 100 rgreen shrubs are proposed. | LF. 0.82 * 10 = 8 | | 704.994 | H.5983 |
| | 8. 12.6- INTERIOR PARKING LOT C. THE PARKING AND VEHICL LANDSCAPE IS NOT REQUI | jlar use areas are < 20,000 SF. | . INTERIOR PARKING LOT | | H | m |
| | 9. 12.7- SITE LANDSCAPE: THE V PORTION OF THE WEST FACADE | NEST FACADE IS > 10' FROM THE ST E ABUTS PARKING. FOUNDATION PLAI PEDESTRIAN PAVING, FOUNDATION P | NTING IS REQUIRED. DUE | | | |
| >10' from a | THE NEAREST ADJACENT PLAN | ITING AREA: UIRED ALONG 60% OF THE LINEAR | | | | |
| ON PLANTING IS LINEAR | E. 12.7, B, I.: SHRUBS @ WE REQUIRED. 16 SHRUBS ARI | EST FACADE; LENGTH= 48'. 48/3 = E PROPOSED. | | | | |
| (AT LEAST AL TREES) PER | OR 2 ORNAMENTAL TREE 10. 12.7- SITE LANDSCAPE: THE N | ST FACADE; LENGTH= 48'. 48/50 = S) REQUIRED. SHADE TREE IS PROF NORTH IS > 10' FROM THE STREET LO | POSED. OT LINE WITH NO | | | |
| | AND PEDESTRIAN PAVING, FOUR | ON LANDSCAPE IS REQUIRED. DUE TO NDATION PLANTING IS PROPOSED WIT OUNDATION AND WITHIN THE PARKING | HIN A PLANTING AREA | | | N N N N N N N N N N N N N N N N N N N |
| EQUIRED ROPOSED | | QUIRED ALONG 60% OF THE LINEAR D. 24 LF OF PLANTING IS PROPOSEI | | | | REVISION |
| REE REQUIRED REE PROVIDED | REQUIRED. 8 SHRUBS ARE | DRTH FACADE; LENGTH= 24'. 24/3 PROPOSED. RTH FACADE; LENGTH= 24'. 24/50 | | | COMMENTS | |
| | required. ornamental 11. 12.8 Buffer Yards | | | | USE | |
|] | 12. LANDSCAPE PLAN IS FOR REVI | | RE NOT REQUIRED. | | SPECIAL | |
|)' FROM A STREET | | | | | 10/25/00 | DATE |
| NG IS REQUIRED. .DE. | | | | | | . OZ |
| NT LEAST 50% S) PER 50' OF | | | | | | |
| QUIRED | | | | | | AN |
| JIRED | | | | | | DE PL |
| PROVIDED | | | | | ш | MINARY "SPECIAL USE" LANDSCAPE PLAN |
| | | | | | COFFEE 0503 N PIKE 37922 | AND |
| | | | | | . COFF IN0503 ON PIKE N 37922 | SE" L |
| F | | | | | BROS. E NO. TN KINGSTC /ILLE, TN | AL U |
| E. | | | | | | PECI |
| of 50' Ht. at | | | | | DUTCH STOF 10248 KNOX | 3" YS |
|) | | | | | | INAF |
| | | | | | | PRELIM |
| | | -B-22-SU | 0 | | | РК |
| | Re | evised: 11/27/2022 | 2 | | | |
| | | | | | STATISTICS OF STATISTICS | PH PETAN |
| | | | | | AGRICULT | Path 10-25-22 |
| | | | | | COMME | R OB |

THE PENLAND STUDIO

LANDSCAF 2110 H Knoxville BPETHEL@PENLANDSTUDIO.COM 865.335.3584 www.PenlandStudio.com

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SPECIAL USE File No.:11-B-22-SU