

NOTES:

1. THE TOPOGRAPHIC & BOUNDARY DATA WAS TAKEN FROM MBI COMPANIES, INC., DATED AUGUST 17, 2022. NAVD88 AND NAD83-2011 DATUM.
2. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE FENCE LINE, PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
3. THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
4. CONCRETE CURB AND PAVEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE CURB AND PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF THE CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
5. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATIONS "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
6. PROPERTY CONCERNED REFLECTS PARCEL 014.01. CL# 131NC01401. ZONING FOR THE PROPERTY IS C-6-1, GENERAL COMMERCIAL DISTRICT. CITY BLOCK NO. 46349, WARD NO 47. TOTAL AREA = 0.656± AC. TOTAL DISTURBED AREA = 0.617 ±.
7. BUILDING SETBACKS ARE 0-FT. IN FRONT, SIDE, AND REAR.
8. RETAINING WALLS TO BE DESIGNED AND SEALED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A PERMIT. REFER TO VENDOR'S PLANS FOR RETAINING WALL AND RAILING DETAILS. RAILING SHALL BE PROVIDED FOR RETAINING WALL HEIGHTS THAT EQUAL OR EXCEED 30 INCHES.
9. REMOVE OVER-PAVEMENT OF ASPHALT AND STONE FROM UNDERNEATH LANDSCAPE AREAS UP TO THE LIMITS THAT HAVE BEEN SPECIFIED (REFER TO THE CURB DETAIL) IN ORDER TO PROVIDE A SOLID BASE FOR THE CONCRETE CURB.
10. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
11. IMPERVIOUS AREAS:
EXISTING = 0.549 ACRES
PROPOSED = 0.469 ACRES
NET REDUCTION = 0.075 ACRES
12. VEHICULAR USE AREA: ±14,153 SF

'SPECIAL USE' NOTES:

1. A DOT ENTRANCE PERMIT WILL BE REQUIRED.
2. ENGINEERING ELEMENTS SUCH AS CGP COVERAGE BONDS, COVENANTS, PLATS, DETENTION, SPAP, WATER QUALITY (WQ), FLOODPLAIN DEVELOPMENT PERMIT, DOWNSTREAM STUDY, ETC. MAY BE REQUIRED AS PART OF THE PERMITTING FOR THIS SITE AND WILL BE REVIEWED IN DETAIL DURING THE PERMIT REVIEW PROCESS.
3. THE SIGNAGE PLAN WILL BE REVIEWED IN DETAIL DURING THE PERMIT REVIEW PROCESS.
4. THE REQUIRED LANDSCAPING WILL BE REVIEWED IN MORE DETAIL DURING THE PERMITTING PROCESS. A VARIANCE OR ALTERNATIVE LANDSCAPE DESIGN MUST BE APPROVED IF THE CITY OF KNOXVILLE ZONE SPECIFIC LANDSCAPE STANDARDS ARE NOT MET.

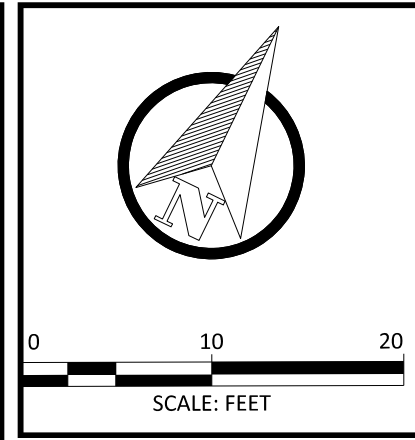
PARKING ANALYSIS:

DRIVE-THRU REQUIREMENT:	6 SPACES PER 1,000 SF GFA
REQUIRED PARKING:	6 SPACES
PROVIDED PARKING:	
STANDARD SPACES (9'x17'):	7 SPACES
HANDICAP SPACES:	2 SPACES
TOTAL PROVIDED PARKING:	9 SPACES

11-B-22-SU
Revised: 11/27/2022

LEGEND:

- ASPHALT PAVEMENT
- CONCRETE PAVEMENT/SIDEWALK
- PROPERTY BOUNDARY
- NUMBER OF PARKING SPACES
- DETAIL REF. (DETAIL NO./SHT. NO.)
- TYPICAL



PAVILION DEVELOPMENT COMPANY
5605 CARNEGIE BLVD., SUITE 110
CHARLOTTE, NC 28209
MR. JIM GAMBLE
JAG@PAVDEVCO.COM
704.994.5983

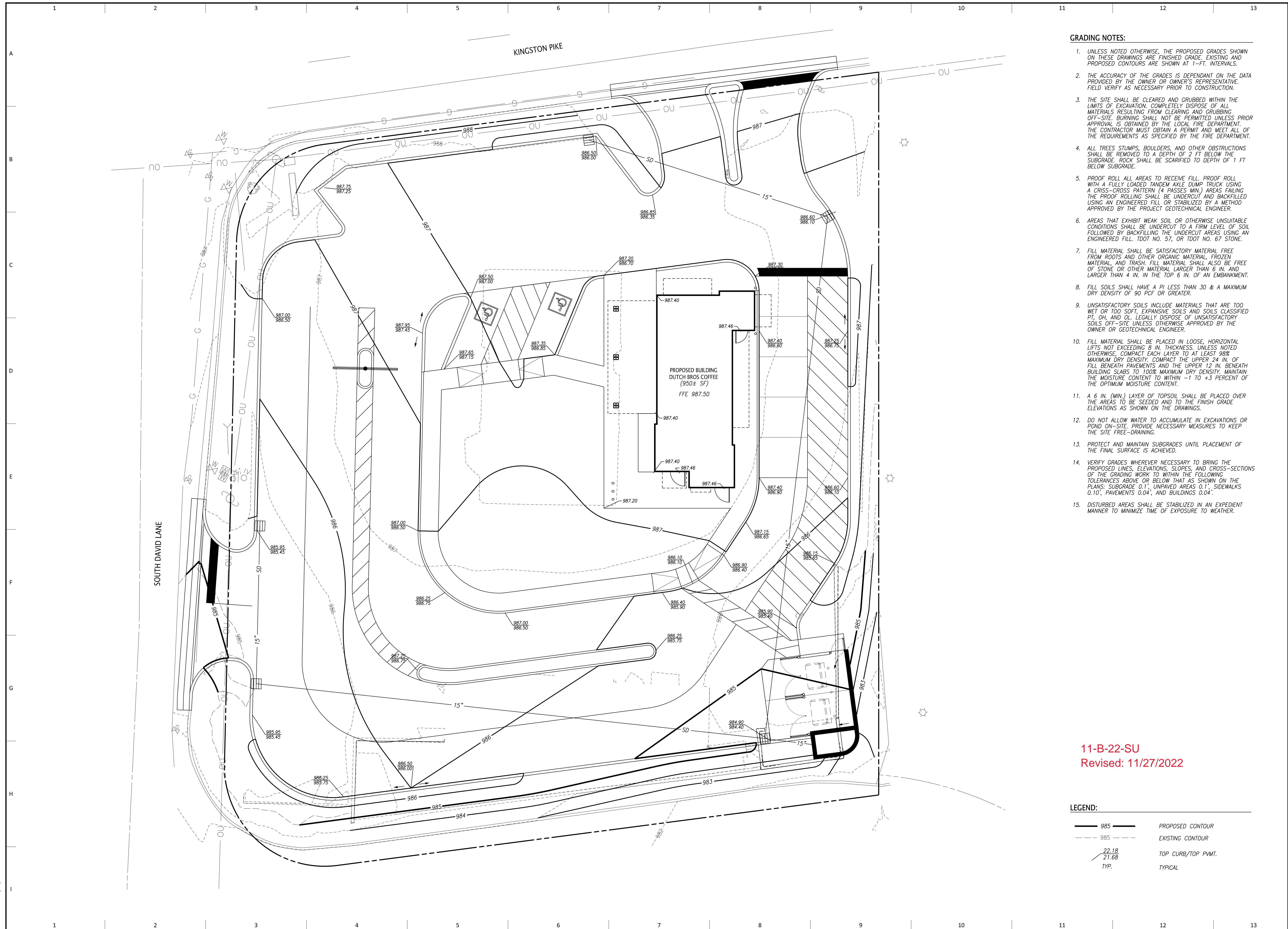
NO.	DATE	BY	REVISION

DUTCH BROS. COFFEE
STORE NO. TN0503
10248 KINGSTON PIKE
KNOXVILLE, TN 37922
PRELIMINARY 'SPECIAL USE' LAYOUT AND PAVING PLAN



JOB NO: 714.004
DATE: 10/25/2022

C3.1
SPECIAL USE PERMITTING



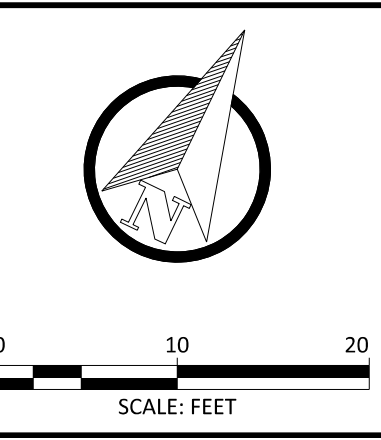
GRADING NOTES:

- UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISHED GRADE. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 1-FT. INTERVALS.
- THE ACCURACY OF THE GRADES IS DEPENDANT ON THE DATA PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE. FIELD VERIFY AS NECESSARY PRIOR TO CONSTRUCTION.
- THE SITE SHALL BE CLEARED AND GRUBBED WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEARING AND GRUBBING OFF-SITE. BURNING SHALL NOT BE PERMITTED UNLESS PRIOR APPROVAL IS OBTAINED BY THE LOCAL FIRE DEPARTMENT. THE CONTRACTOR MUST OBTAIN A PERMIT AND MEET ALL OF THE REQUIREMENTS AS SPECIFIED BY THE FIRE DEPARTMENT.
- ALL TREES STUMPS, BOULDERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT BELOW THE SUBGRADE. ROCK SHALL BE SCARIFIED TO DEPTH OF 1 FT BELOW SUBGRADE.
- PROOF ROLL ALL AREAS TO RECEIVE FILL. PROOF ROLL WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK USING A CRISS-CROSS PATTERN (4 PASSES MIN.) AREAS FAILING THE PROOF ROLLING SHALL BE UNDERCUT AND BACKFILLED USING AN ENGINEERED FILL OR STABILIZED BY A METHOD APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
- AREAS THAT EXHIBIT WEAK SOIL OR OTHERWISE UNSUITABLE CONDITIONS SHALL BE UNDERCUT TO A FIRM LEVEL OF SOIL FOLLOWED BY BACKFILLING THE UNDERCUT AREAS USING AN ENGINEERED FILL. DOT NO. 57, OR DOT NO. 67 STONE.
- FILL MATERIAL SHALL BE SATISFACTORY MATERIAL FREE FROM ROOTS AND OTHER ORGANIC MATERIAL, FROZEN MATERIAL, AND TRASH. FILL MATERIAL SHALL ALSO BE FREE OF STONE OR OTHER MATERIAL LARGER THAN 6 IN. AND LARGER THAN 4 IN. IN THE TOP 6 IN. OF AN EMBANKMENT.
- FILL SOILS SHALL HAVE A PI LESS THAN 30 & A MAXIMUM DRY DENSITY OF 90 PCF OR GREATER.
- UNSATISFACTORY SOILS INCLUDE MATERIALS THAT ARE TOO WET OR TOO SOFT, EXPANSIVE SOILS AND SOILS CLASSIFIED PI, OH, AND OL. LEGALLY DISPOSE OF UNSATISFACTORY SOILS OFF-SITE UNLESS OTHERWISE APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
- FILL MATERIAL SHALL BE PLACED IN LOOSE, HORIZONTAL LIFTS NOT EXCEEDING 8 IN. THICKNESS, UNLESS NOTED OTHERWISE. COMPACT EACH LAYER TO AT LEAST 98% MAXIMUM DRY DENSITY. COMPACT THE UPPER 24 IN. OF FILL BENEATH PAVEMENTS AND THE UPPER 12 IN. BENEATH BUILDING SLABS TO 100% MAXIMUM DRY DENSITY. MAINTAIN THE MOISTURE CONTENT TO WITHIN -1 TO +3 PERCENT OF THE OPTIMUM MOISTURE CONTENT.
- A 6 IN. (MIN.) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEEDED AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
- DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
- PROTECT AND MAINTAIN SUBGRADES UNTIL PLACEMENT OF THE FINAL SURFACE IS ACHIEVED.
- VERIFY GRADES WHEREVER NECESSARY TO BRING THE PROPOSED LINES, ELEVATIONS, SLOPES, AND CROSS-SECTIONS OF THE GRADING WORK TO WITHIN THE FOLLOWING TOLERANCES ABOVE OR BELOW THAT AS SHOWN ON THE PLANS: SUBGRADE 0.1', UNPAVED AREAS 0.1', SIDEWALKS 0.10', PAVEMENTS 0.04', AND BUILDINGS 0.04'.
- DISTURBED AREAS SHALL BE STABILIZED IN AN EXPEDIENT MANNER TO MINIMIZE TIME OF EXPOSURE TO WEATHER.

11-B-22-SU
Revised: 11/27/2022

LEGEND:

- 985 PROPOSED CONTOUR
- 985 EXISTING CONTOUR
- 22.18 TOP CURB/TOP PAVT.
- 21.68 TYP. TYPICAL



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PRELIMINARY 'SPECIAL USE' GRADING PLAN



JOB NO: 714.004
DATE: 10/25/2022

C4.1

SPECIAL USE PERMITTING

