

NOTES:

1. OWNERSHIP AND REFERENCE:
PARCEL ID: 151 00102
0 N WATT ROAD
KNOXVILLE, TN 37934
CLT MAP 151, PARCEL 1.02
2. TOTAL SITE AREA: 5.55 AC
3. TOTAL DISTURBED AREA: 197,102.09 S.F. / 4.52 AC
4. THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON & CANNON, INC., DATED MAY 23, 2024.
5. ABOVE GROUND AND UNDERGROUND UTILITIES AS SHOWN WERE LOCATED FROM VISIBLE FIELD EVIDENCE, UTILITY MARKINGS AND/OR DRAWINGS BY OTHERS. VERIFICATION AS TO EXISTENCE, LOCATION, SIZE, MATERIAL AND DEPTH SHOULD BE PURSUED PRIOR TO ANY DECISIONS BEING MADE RELATIVE TO UTILITIES. TO AVOID CONFLICTS AND/OR HAZARDS, NOTIFY TENNESSEE ONE CALL PRIOR TO ANY EXCAVATION OR GRADING ACTIVITIES.
6. PROPERTY CONCERNED REFLECTS PARCEL 1.02 AS SHOWN ON KNOX COUNTY CLT TAX MAP NO. 151. PROPERTY ZONED: CB (BUSINESS AND MANUFACTURING ZONE)
7. ALL SETBACKS SHALL BE IN ACCORDANCE WITH KNOX COUNTY ZONING ORDINANCE. THE SETBACKS FOR THE CB ZONE ARE AS FOLLOWS:

FRONT: TWENTY (20) FEET FROM ROW (25 FEET FOR A DWELLING)

SIDE: FIVE (5) FEET (ADD 2 FEET FOR EACH ADDITIONAL STORY)

REAR: SIXTEEN (16) FEET (20 FEET FOR 2 STORY, 24' FOR 3 STORY)

LANDSCAPING: NOT REQUIRED BECAUSE ADJACENT PARCELS ARE NOT ZONED RESIDENTIAL

LEGEND

- PROPOSED ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- EXIST. R.O.W./PROPERTY LINE
- BUILDING SETBACK LINE
- EXIST. EASEMENT LINE
- DETAIL REFERENCE (DETAIL NO./SHEET NO.)
- NUMBER OF PARKING SPACES

REVISED PER KNOX COUNTY COMMENTS	10/22/2024
REVISIONS	DATE
CANNON & CANNON INC	
TEL 865.670.8555 10025 Investment Drive WWW.CANNON-CANNON.COM Suite 120 Knoxville, TN 37932	
CLIENT:	STERLING DEVELOPMENT, LLC. 3900 EDISON LAKES PARKWAY, STE. 201 MISHAWAKA, INDIANA 46545
PROJECT:	MINI STORAGE DEPOT N WATT ROAD KNOXVILLE, TN 37934

SITE LAYOUT PLAN	
CCI PROJECT NO.	01000-0011
DRAWING DATE	SEPTEMBER 26, 2024
PROJECT MANAGER:	AWG
DRAWN BY:	CO
USE ON REVIEW SUBMITTAL	
C101	

PARKING SUMMARY :

REQUIRED PER KNOX COUNTY:

5 SPACES ADJACENT TO OFFICE/ENTRY + 0.02 PER UNIT
PROPOSED UNITS = 614
5 + 12.28 = 17 SPACES

PROPOSED:

TOTAL STANDARD SPACES PROVIDED = 16 SPACES
TOTAL ACCESSIBLE SPACES PROVIDED = 1 SPACE
TOTAL SPACES PROVIDED = 17 SPACES

IMPERVIOUS INFORMATION

PROPOSED IMPERVIOUS AREA: 1.47 AC (63,840 SF)



TA OPERATING, LLC
D.B. 377 / PG. 308

INGRESS/EGRESS & UTILITY EASEMENT
(D.B. 466 / PG. 766)

PROPOSED MONUMENT SIGN
SEE DETAIL SHEET C301

100' TVA POWER LINE EASEMENT
(D.B. 1218 / PG. 550)

PROPOSED ENTRANCE DRIVE
SEE SHEET C301 FOR PROFILE

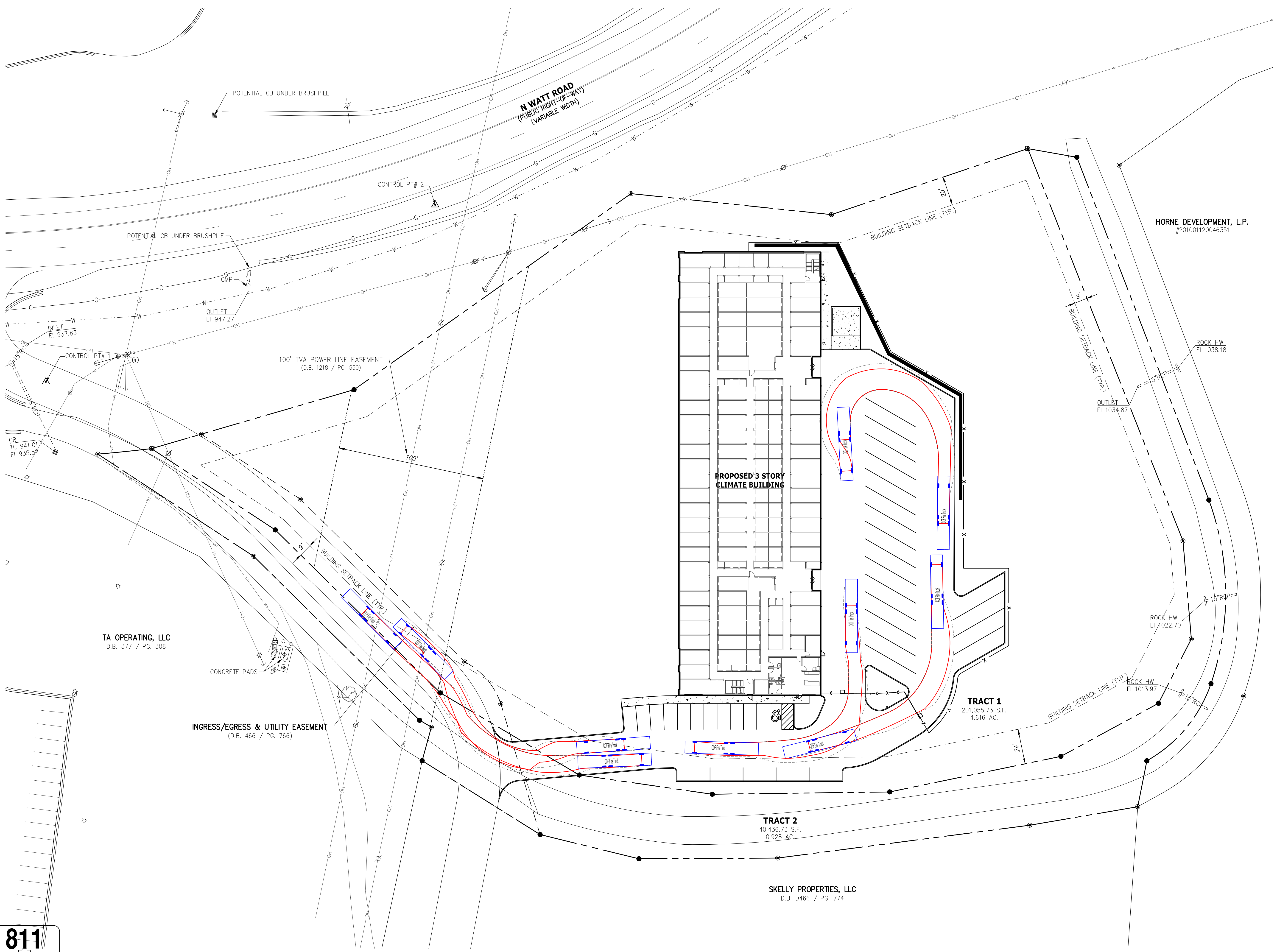
SKELLY PROPERTIES, LLC
D.B. D466 / PG. 774

HORNE DEVELOPMENT, L.P.
#201001120046351

TRACT 1
201,055.73 S.F.
4.616 AC.

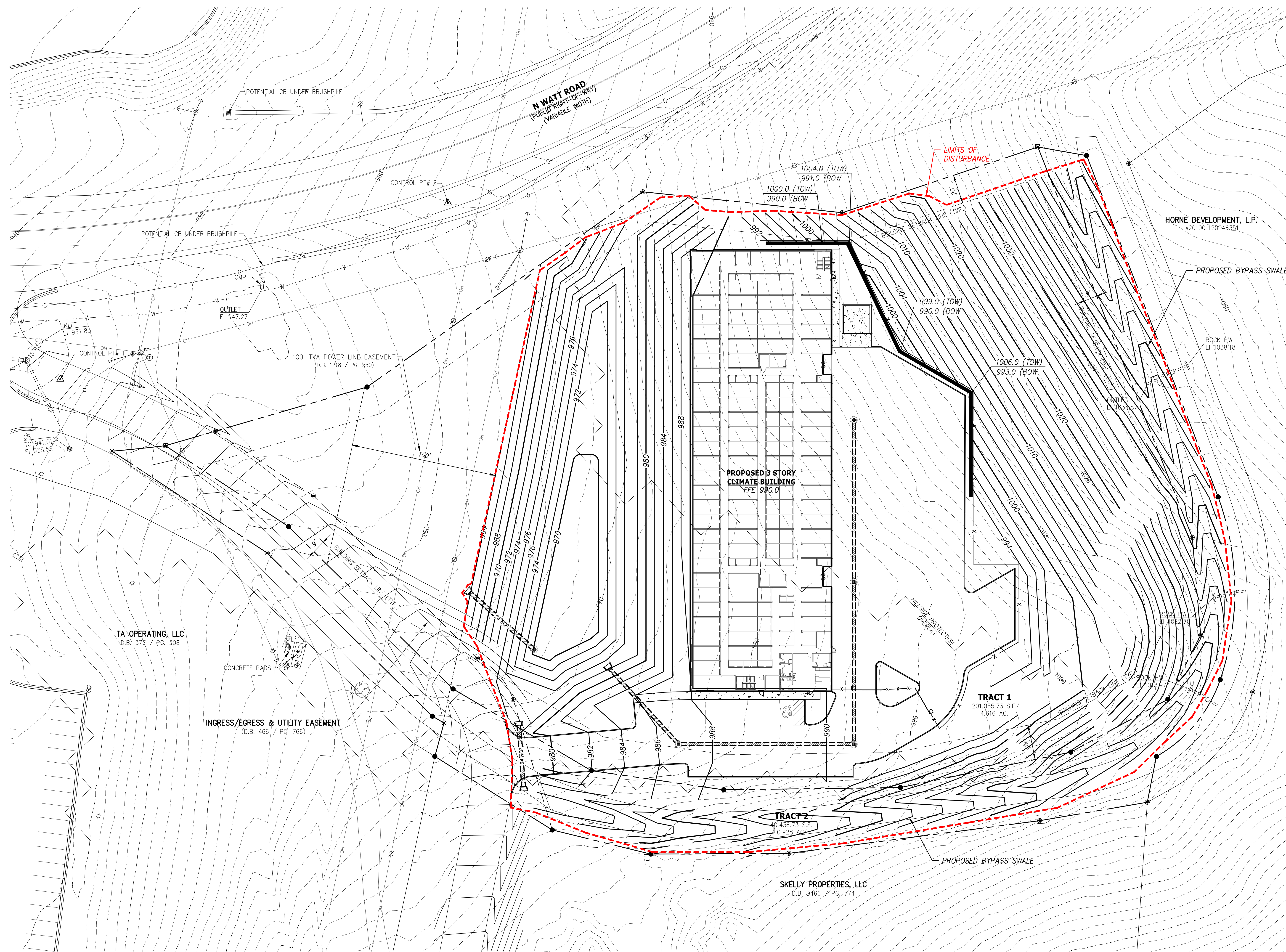
TRACT 2
40,436.73 S.F.
0.928 AC.

PROPOSED 3 STORY
CLIMATE BUILDING
21,125 SF



REVISED PER KNOX COUNTY COMMENTS		10/22/2024
REVISIONS	DATE	
CANNON & CANNON INC TEL 865.670.8555 10025 Investment Drive WWW.CANNON-CANNON.COM Suite 120 Knoxville, TN 37932		
CLIENT:	STERLING DEVELOPMENT, LLC. 3900 EDISON LAKES PARKWAY, STE. 201 MISHAWAKA, INDIANA 46545	
PROJECT:	MINI STORAGE DEPOT N WATT ROAD KNOXVILLE, TN 37934	
TRUCK TURN PLAN		
USE ON REVIEW SUBMITTAL	CCI PROJECT NO.	01000-0011
	DRAWING DATE	SEPTEMBER 26, 2024
	PROJECT MANAGER:	AWG
	DRAWN BY:	CO
C102		





SPECIAL NOTE:
TOTAL DISTURBED AREA = 4.52 AC.
TOTAL DISTURBED AREA IN HILLSIDE PROTECTION = 3.03 AC.

REVISED PER KNOX COUNTY COMMENTS 10/22/2024

REVISIONS DATE

CANNON & CANNON INC
TEL 865.670.8555 | 10025 Investment Drive
WWW.CANNON-CANNON.COM | Suite 120
Knoxville, TN 37932

CLIENT: **STERLING DEVELOPMENT, LLC.**
3900 EDISON LAKES PARKWAY, STE. 201
MISHAWAKA, INDIANA 46545

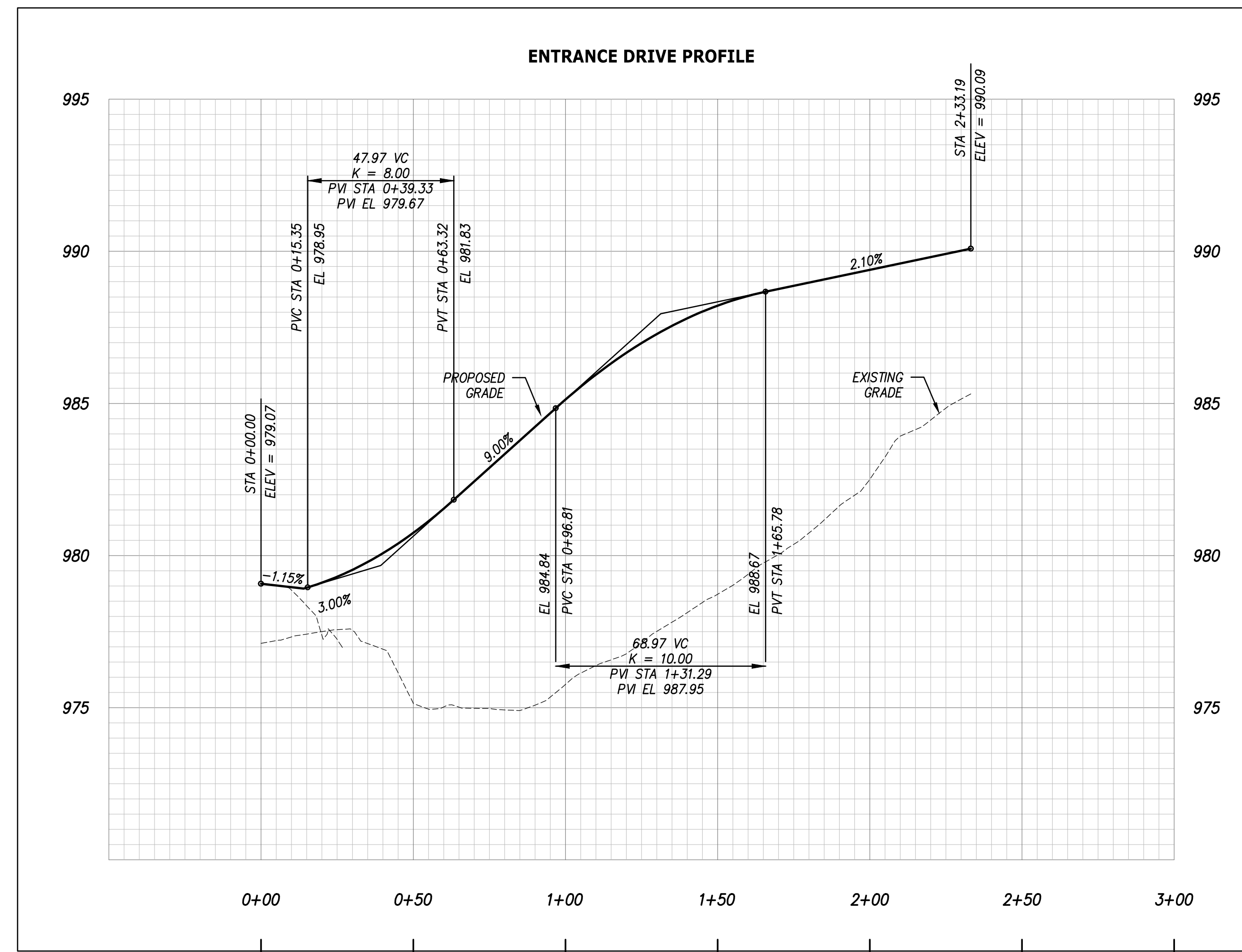
PROJECT: **MINI STORAGE DEPOT**
N WATT ROAD
KNOXVILLE, TN 37934

SITE GRADING AND DRAINAGE PLAN

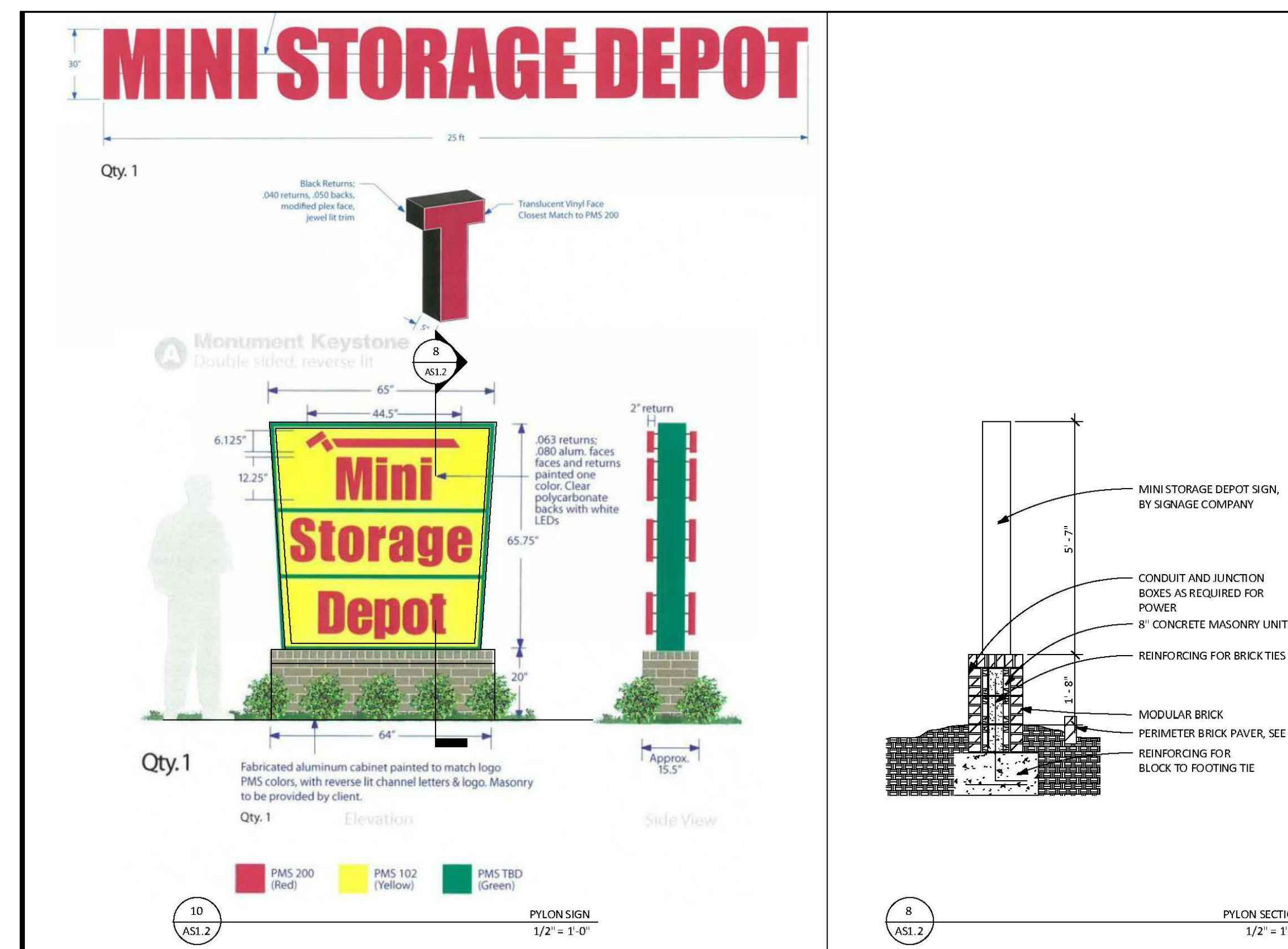
CCI PROJECT NO. 01000-0011
DRAWING DATE SEPTEMBER 26, 2024
PROJECT MANAGER: AWG
DRAWN BY: CO

**USE ON
REVIEW
SUBMITTAL**

C201



DRIVEWAY PROFILE
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'



SIGN DETAIL
N.T.S.

NOTES:
1. REFER TO SHEET C101 FOR GENERAL NOTES.

REVISIONS	DATE
REVISOR	DATE

REvised PER KNOX COUNTY COMMENTS 10/22/2024

CANNON & CANNON INC
TEL 865.670.8555 10025 Investment Drive
WWW.CANNON-CANNON.COM Suite 120
Knoxville, TN 37932

CLIENT:
STERLING DEVELOPMENT, LLC.
3900 EDISON LAKES PARKWAY, STE. 201
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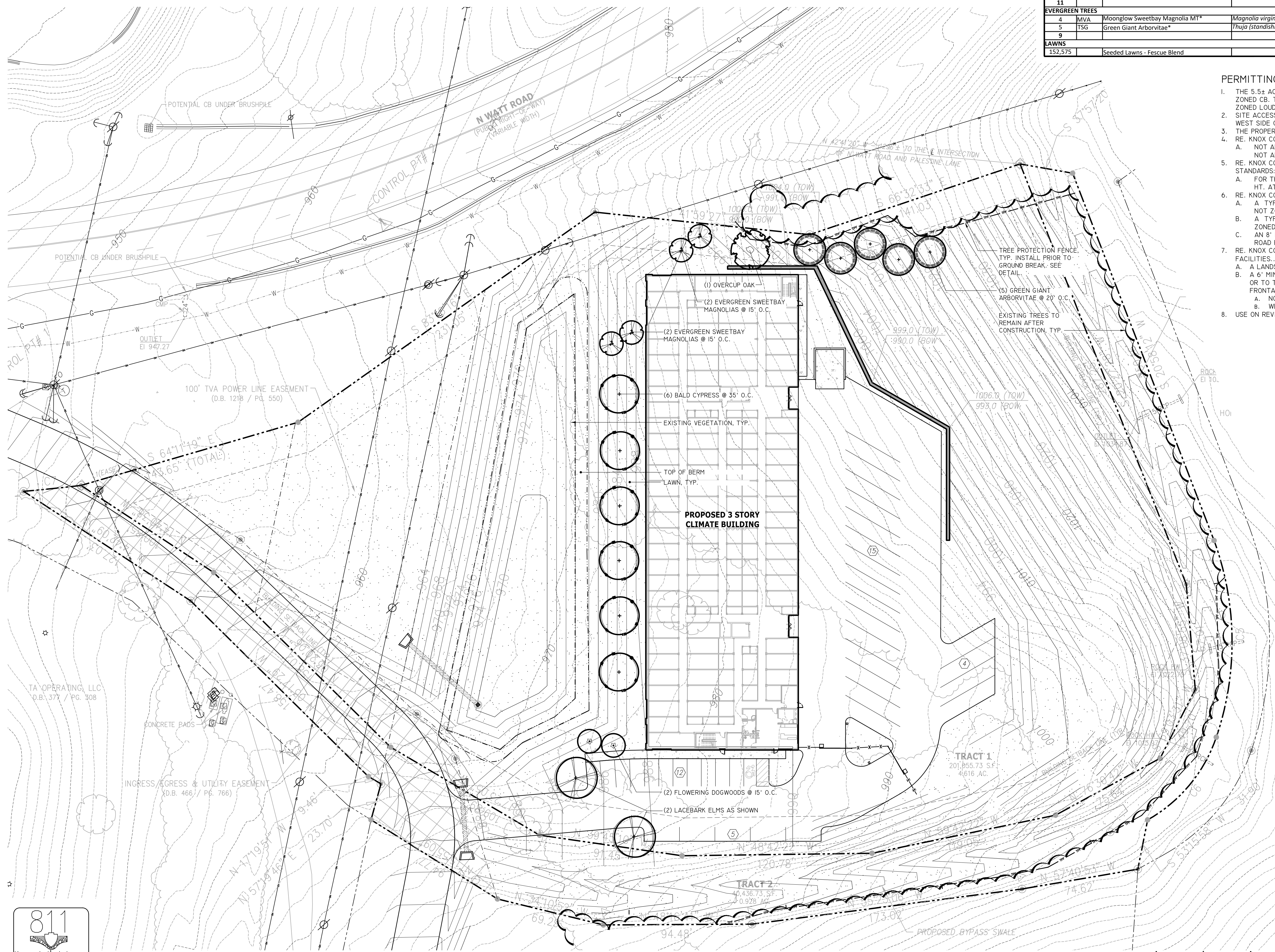
PROJECT:
MINI STORAGE DEPOT
N WATT ROAD
KNOXVILLE, TN 37934

USE ON REVIEW SUBMITTAL	CCI PROJECT NO. 01000-0011
	DRAWING DATE SEPTEMBER 26, 2024
	PROJECT MANAGER: AWG
	DRAWN BY: CO

C301

MINI STORAGE DEPOT - WATT ROAD - PLANT LIST

QUANTITY	SYMBOL	COMMON NAME (* denotes evergreen species)	BOTANICAL NAME	ROOTS	MIN. SIZE @ INSTALLATION	REMARKS	MATURE SIZE (HT. X WIDTH) * = spreading
DECIDUOUS TREES							
2	CFA	Appalachian Spring Dogwood	<i>Cornus florida</i> 'Appalachian Spring'	B&B	6' Ht.	Full Crowns	18' x 18'
1	QLA	Overcup Oak	<i>Quercus lyrata</i>	B&B	2" Cal.	Full Crowns	45' x 35'
6	TDM	Bald Cypress	<i>Taxodium distichum</i>	B&B	2" Cal.	Full Crowns	60' x 30'
2	UPA	Allee Lacebark Elm	<i>Ulmus parvifolia</i> 'Emer II' Allee	B&B	2" Cal.	Full Crowns	55' x 35'
11							
EVERGREEN TREES							
4	MVA	Moonglow Sweetbay Magnolia MT*	<i>Magnolia virginiana</i> 'Jim Wilson'	B&B	6' Ht.	Matched Specimen, 3 Dominant Canes	30' x 15'
5	TSG	Green Giant Arborvitae*	<i>Thuja (standishii x plicata)</i> 'Green Giant'	B&B	6' Ht.	Full to Ground @ 20' O.C.	55' x 20'
9							
LAWNS							
152,575		Seeded Lawns - Fescue Blend		Seed	SF	See Notes and Specifications	



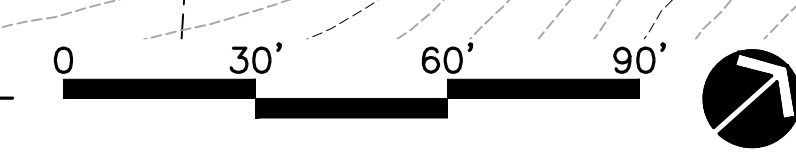
PERMITTING NOTES:

- THE 5.5+ ACRE PARCEL IS ZONED KNOX COUNTY CB. ADJACENT PARCELS TO THE NORTH AND EAST ARE ZONED CB. THE ADJACENT PARCEL TO THE WEST IS ZONED CA. THE ADJACENT PARCEL TO THE SOUTH IS ZONED LOUDON COUNTY C-2.
- SITE ACCESS IS PROPOSED VIA A PROPOSED, SHARED DRIVE WITHIN AN INGRESS/ EGRESS EASEMENT ON THE WEST SIDE OF THE PARCEL.
- THE PROPERTY FRONTS THE N. WATT ROAD R.O.W. PROPOSED PARKING IS AT THE REAR OF THE BUILDING.
- RE. KNOX COUNTY ZONING ORDINANCE 3.51.08 PARKING LOT SETBACKS:
 - NOT APPLICABLE- THE PROPOSED PARKING LOT IS BEHIND THE PROPOSED BUILDING AND THE PARCEL IS NOT ADJACENT TO RESIDENTIAL ZONING.
- RE. KNOX COUNTY ZONING ORDINANCE 5.37.09 CR ZONING ADDITIONAL LANDSCAPING AND SITE DEVELOPMENT STANDARDS:
 - FOR THE PARKING ISLANDS WITHIN THE CR ZONE, (1) NATIVE SHADE TREE CAPABLE OF REACHING 50' HT. AT MATURITY IS REQUIRED, SURROUNDED BY SHRUBS AND GROUND COVERS.
- RE. KNOX COUNTY ZONING ORDINANCE 4.10.11 LANDSCAPE SCREENING:
 - A TYPE 'A' BUFFER AT NON-PARKING AREAS IS NOT APPLICABLE BECAUSE ADJACENT PARCELS ARE NOT ZONED RESIDENTIAL.
 - A TYPE 'B' BUFFER AT PARKING AREAS IS NOT APPLICABLE BECAUSE ADJACENT PARCELS ARE NOT ZONED RESIDENTIAL.
 - AN 8' MIN. WIDE TYPE 'C' BUFFER IS REQUIRED BETWEEN THE EAST PARKING LOT AND THE N. WATT ROAD R.O.W.
- RE. KNOX COUNTY ZONING ORDINANCE 4.93.03 STANDARDS FOR USE-ON-REVIEW OF INDOOR SELF-STORAGE FACILITIES... (IN THE CB ZONE):
 - A LANDSCAPE BUFFER IS NOT REQUIRED BECAUSE ADJACENT PARCELS ARE NOT ZONED RESIDENTIAL.
 - A 6' MIN. PLANTING STRIP IS REQUIRED BETWEEN THE BUILDING AND PARKING AREA AND STREET R.O.W., OR TO THE EDGE OF PAVEMENT IF A R.O.W. DOES NOT EXIST. ONE TREE IS REQUIRED PER 30' OF STREET FRONTAGE.
 - NORTH FACADE & PARKING = 188 LF. 188/30 = 6.3 MIN. TREES REQUIRED.
 - WEST FACADE & PARKING = 360 LF. 360/30 = 12 MIN. TREES REQUIRED.
- USE ON REVIEW LANDSCAPE PLAN IS NOT FOR CONSTRUCTION.

THE PENLAND STUDIO
 LANDSCAPE ARCHITECTURE
 2110 HOLDERWOOD LANE
 KNOXVILLE, TENNESSEE 37922
 865.335.3584

REVISIONS	DATE
CANNON & CANNON INC TEL 865.670.8555 10085 Investment Drive WWW.CANNON-CANNON.COM Suite 120 Knoxville, TN 37932	
CLIENT:	STERLING DEVELOPMENT, LLC. 3900 EDISON LAKES PARKWAY, STE. 201 MISHAWAKA, INDIANA 46545
PROJECT:	MINI STORAGE DEPOT N WATT ROAD KNOXVILLE, TN 37934
LANDSCAPE PLAN	
USE ON REVIEW SUBMITTAL FILE #	CCI PROJECT NO. 01000-0011 DRAWING DATE SEPTEMBER 26, 2024 PROJECT MANAGER: AWG DRAWN BY: TPS L101

LANDSCAPE PLAN
 L101 SCALE: 1"=30'-0"





PROJECT NAME / ADDRESS
MINI STORAGE DEPOT ON WATTS RD
601 N WATT ROAD
KNOXVILLE, TN 37934

ISSUES / REVISIONS

NO	DATE	DESCRIPTION

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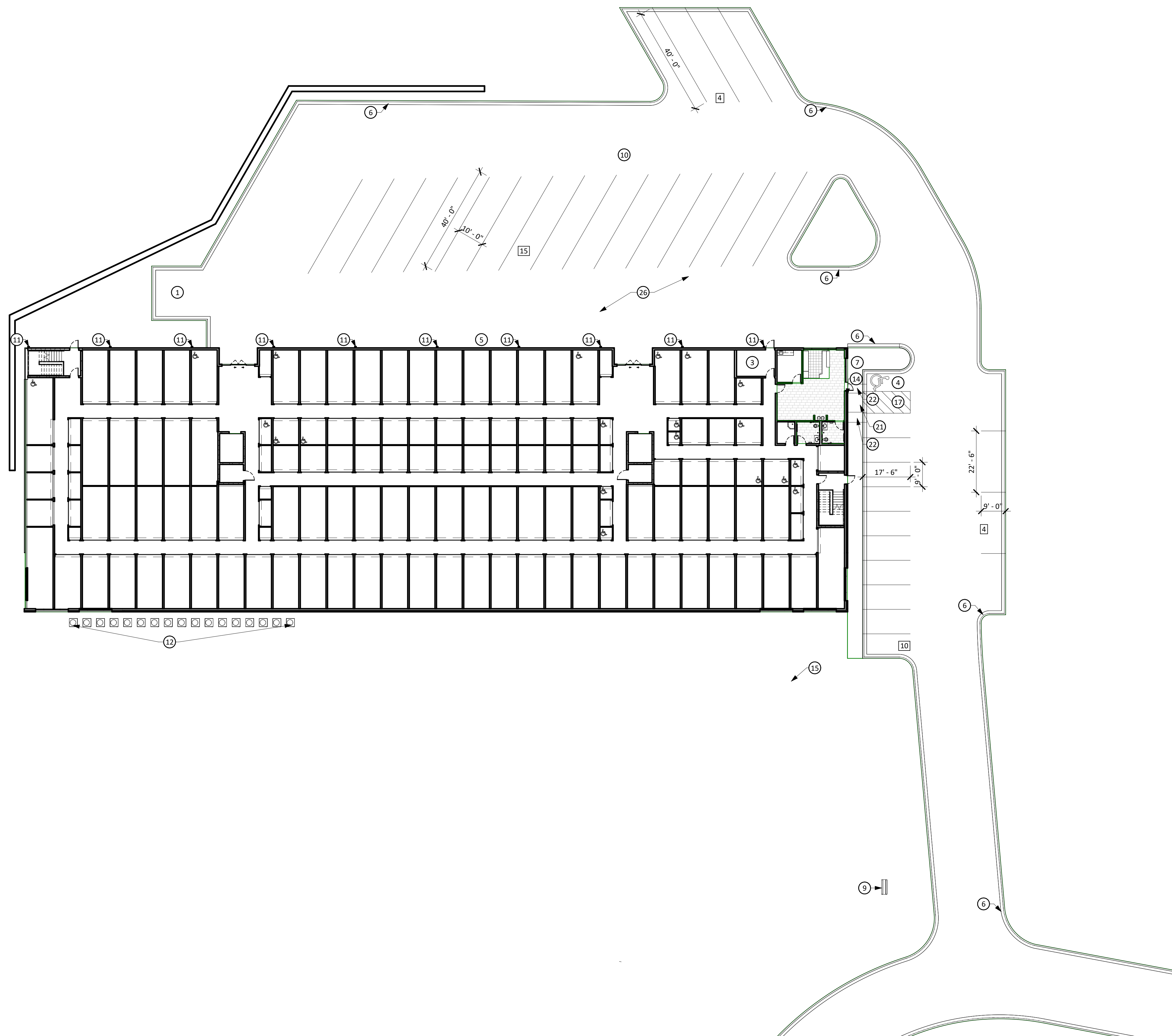
SHEET TITLE
COVER SHEET

PROJECT NO: 2024-0030
ISSUE DATE: 08-19-2024
SCALE:
DRAWN BY: Author
CHECKED BY: Checker

AP001
NOT FOR CONSTRUCTION

MINI STORAGE DEPOT ON CHAPMAN

4705 CHAPMAN HIGHWAY
KNOXVILLE, TENNESSEE 37920



SITE NOTES	
SITE LABEL	DESCRIPTION
1	DUMPSTER ENCLOSURE LOCATION, 10'X10' WITH DOUBLE GATES
3	FIRE RISER & MAINTENANCE ROOM
4	HANDICAP PARKING SPACE
5	NO PARKING, LOADING ZONE, 10' FROM FACE OF BUILDING
6	CONCRETE CURB, COORDINATE WITH CIVIL (TYP.)
7	CONCRETE SIDEWALK, COORDINATE WITH CIVIL (TYP.)
9	PYLON SIGN
10	COORDINATE ALL SITE ELEMENTS WITH CIVIL
11	DOWNSPOUT, WITH CONCRETE SPLASH BLOCK
12	CONDENSOR UNIT, COORDINATE WITH MECHANICAL DRAWINGS
14	KNOX BOX LOCATION
15	BOLLARD, COORDINATE WITH CIVIL
17	ADA LANDING ZONE, SEE DETAILS ON A1.5
21	1:10 MAX. FLARE SLOPE (TYP.)
22	1:12 MAX RAMP SLOPE
26	ASPHALT, COORDINATE WITH CIVIL

PROJECT NAME / ADDRESS

ISSUES / REVISIONS		
NO	DATE	DESCRIPTION
19	01-07-2019	ISSUED FOR CONSTRUCTION

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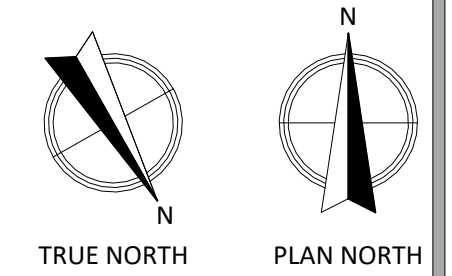
SHEET TITLE

ARCHITECTURAL SITE PLAN

PROJECT NO: 2018-0021
ISSUE DATE: 01-07-2019
SCALE: 1" = 20'-0"
DRAWN BY: TH
CHECKED BY: PH

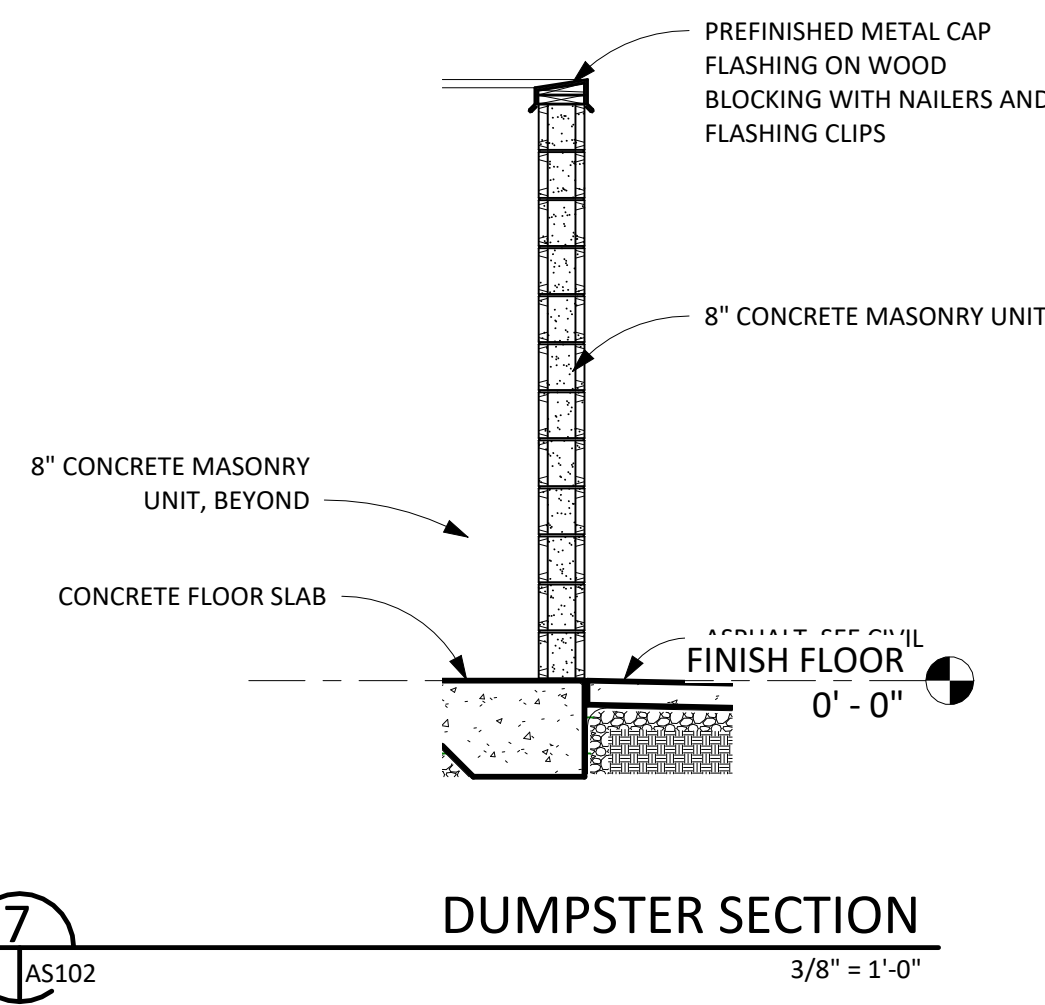
AS101

1 ARCHITECTURAL SITE PLAN
A2.1 AS101 1" = 20'-0"



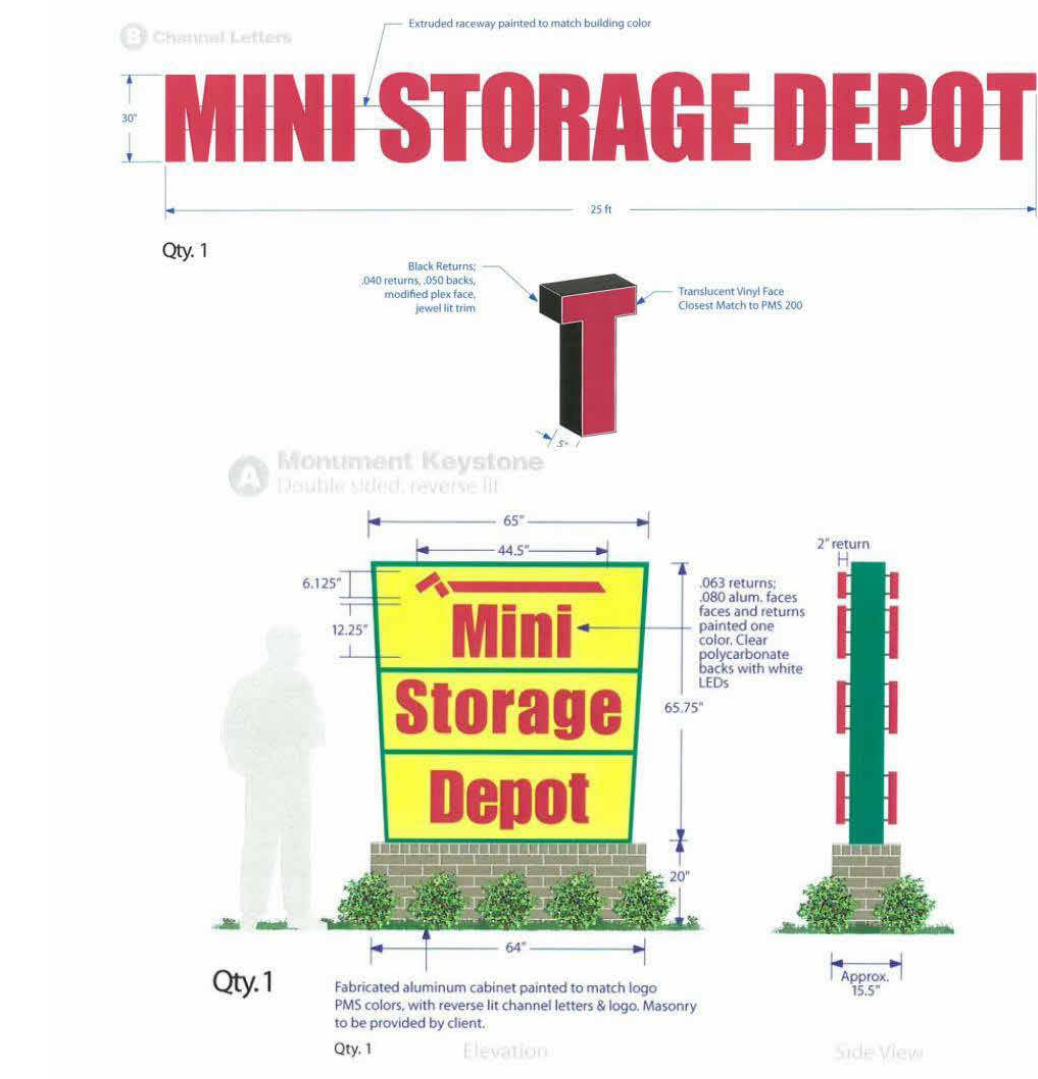
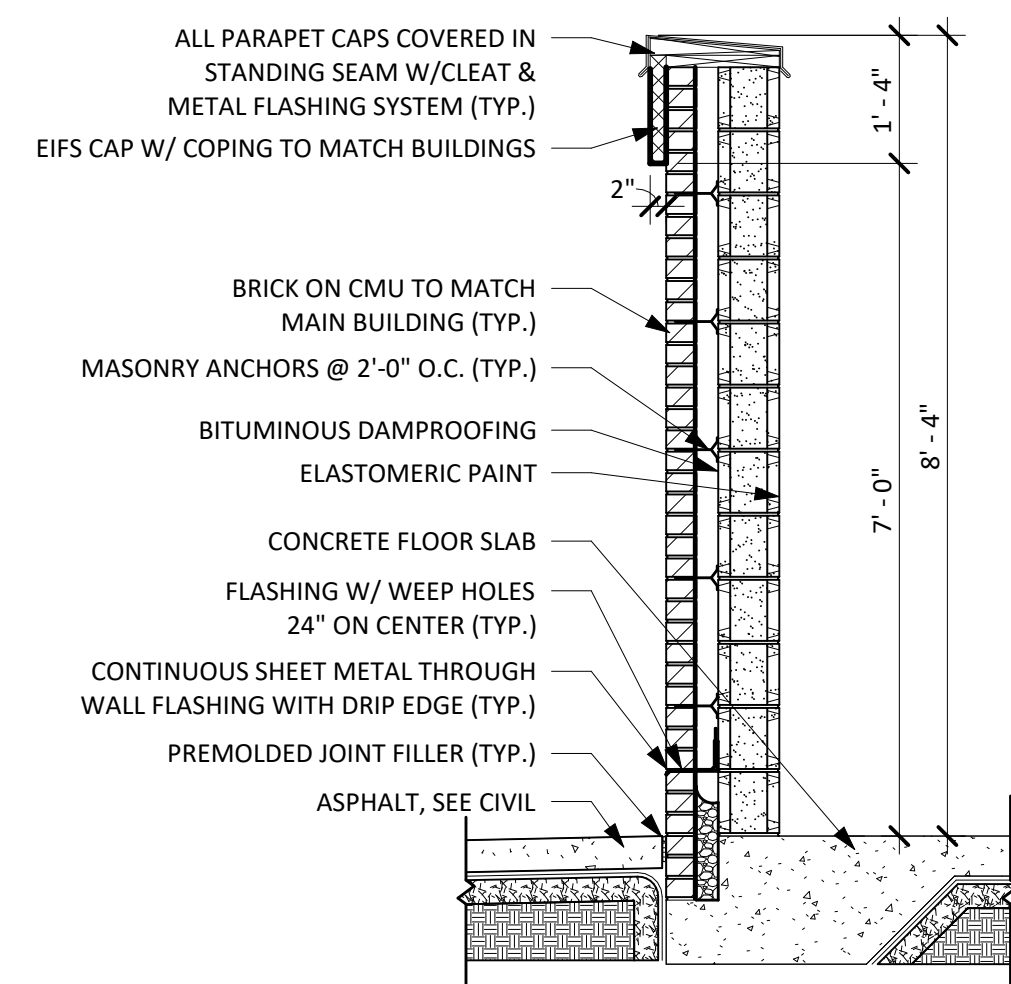
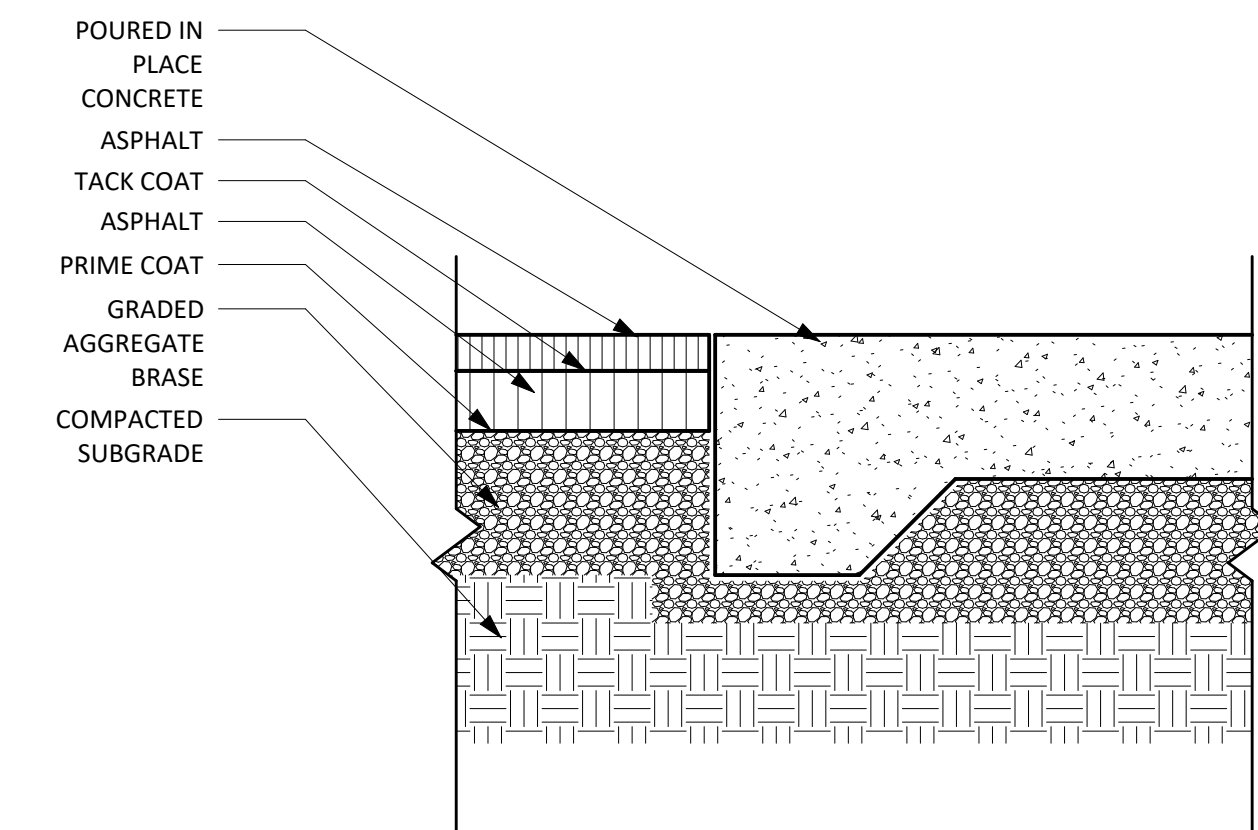
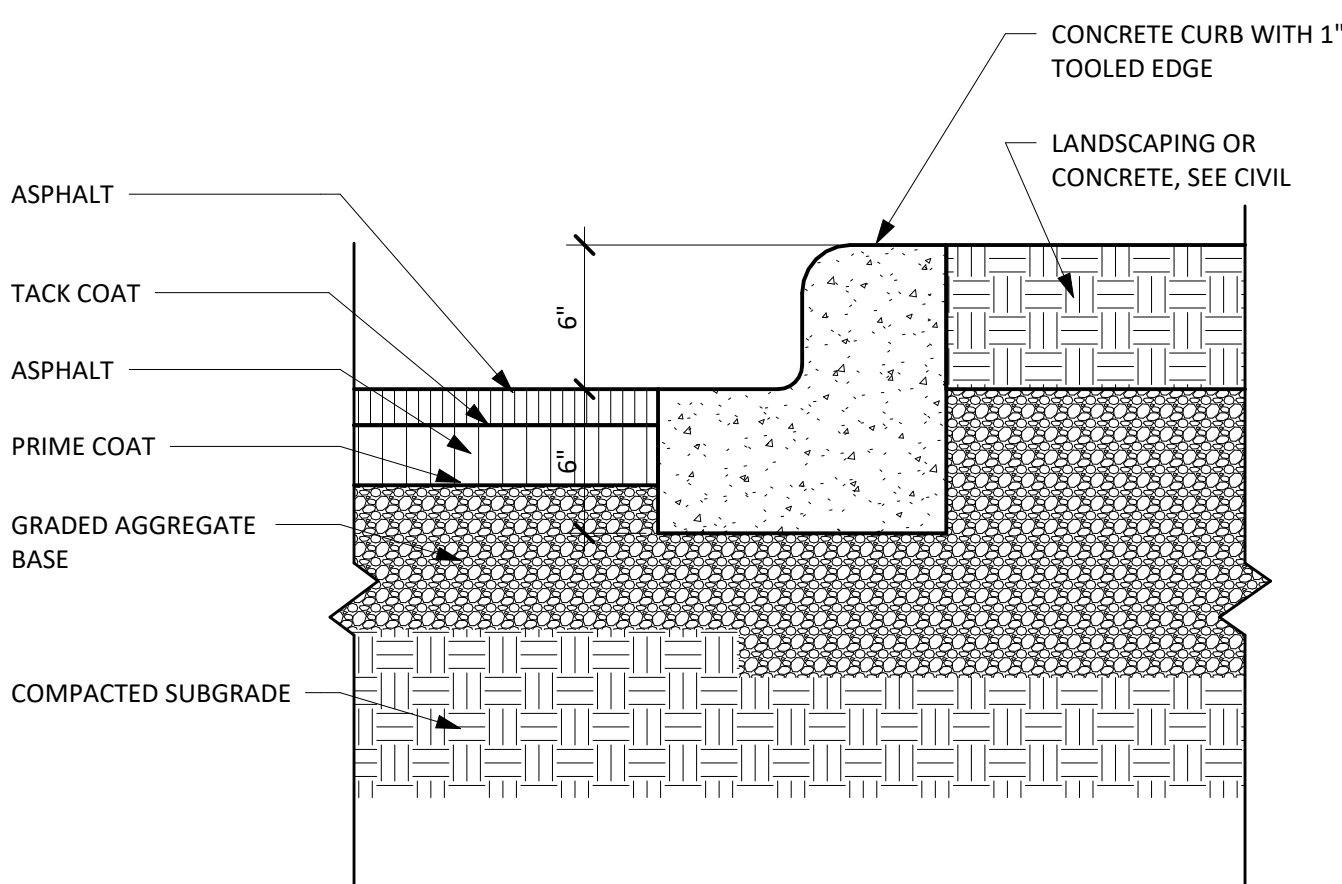
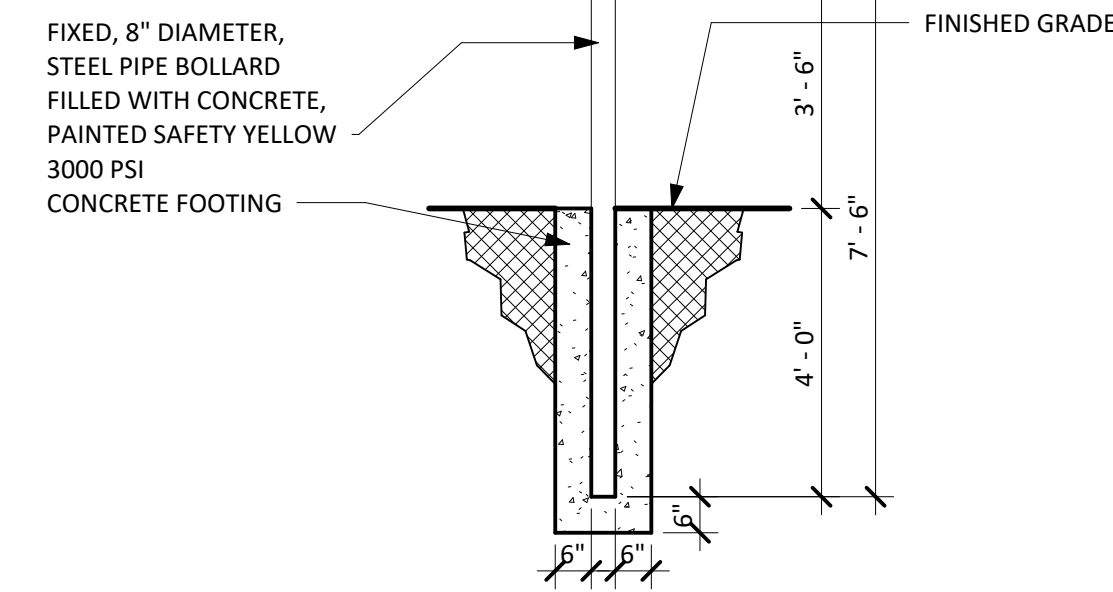


DUMPSTER ENCLOSURE: DUMPSTER ENCLOSURE TO RESEMBLE THE PHOTO UNLESS MUNICIPALITY SUGGESTS OTHERWISE. (8'-0" ABOVE FINISH FLOOR) G.C. TO VERIFY



GENERAL NOTE:

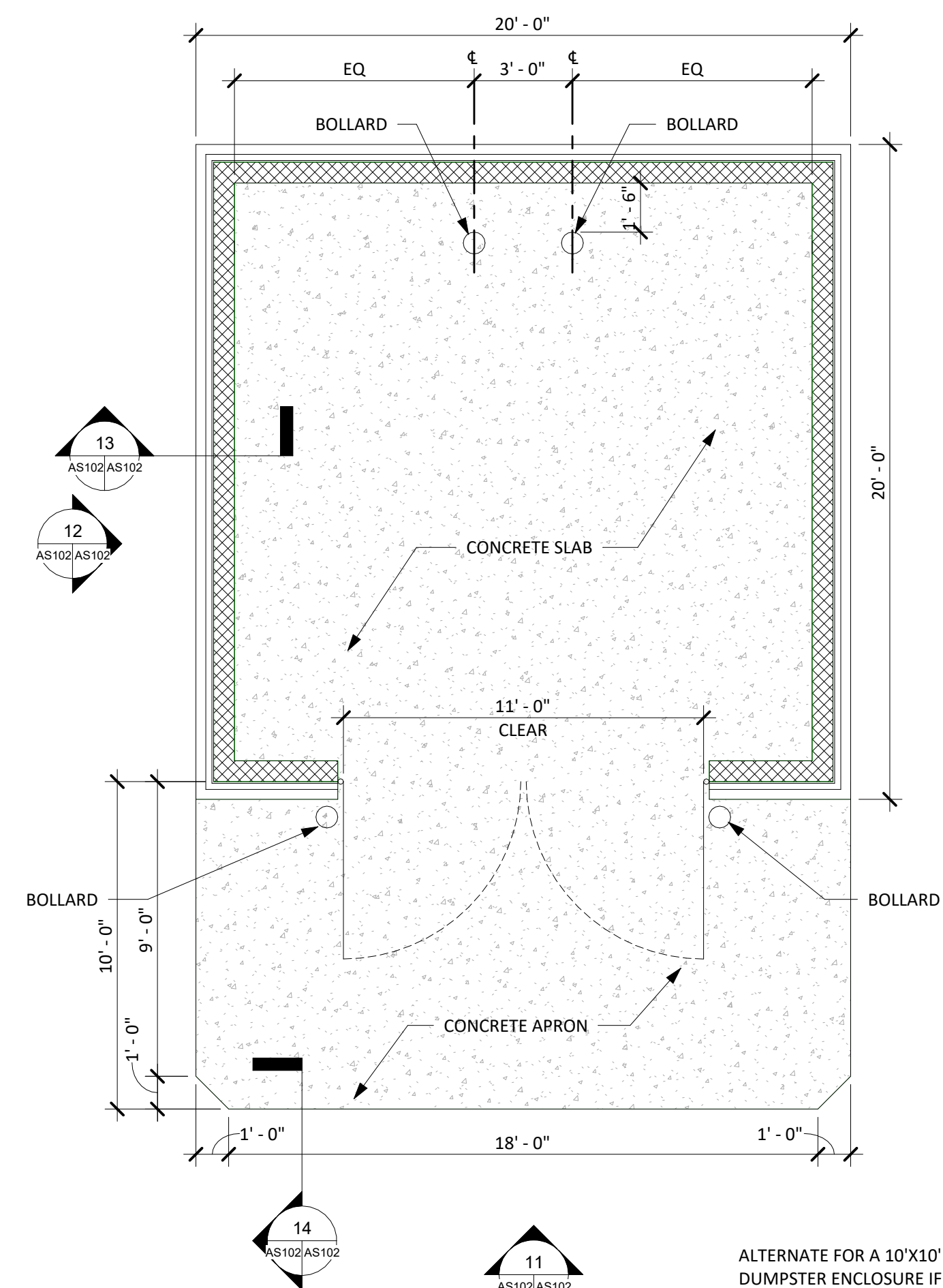
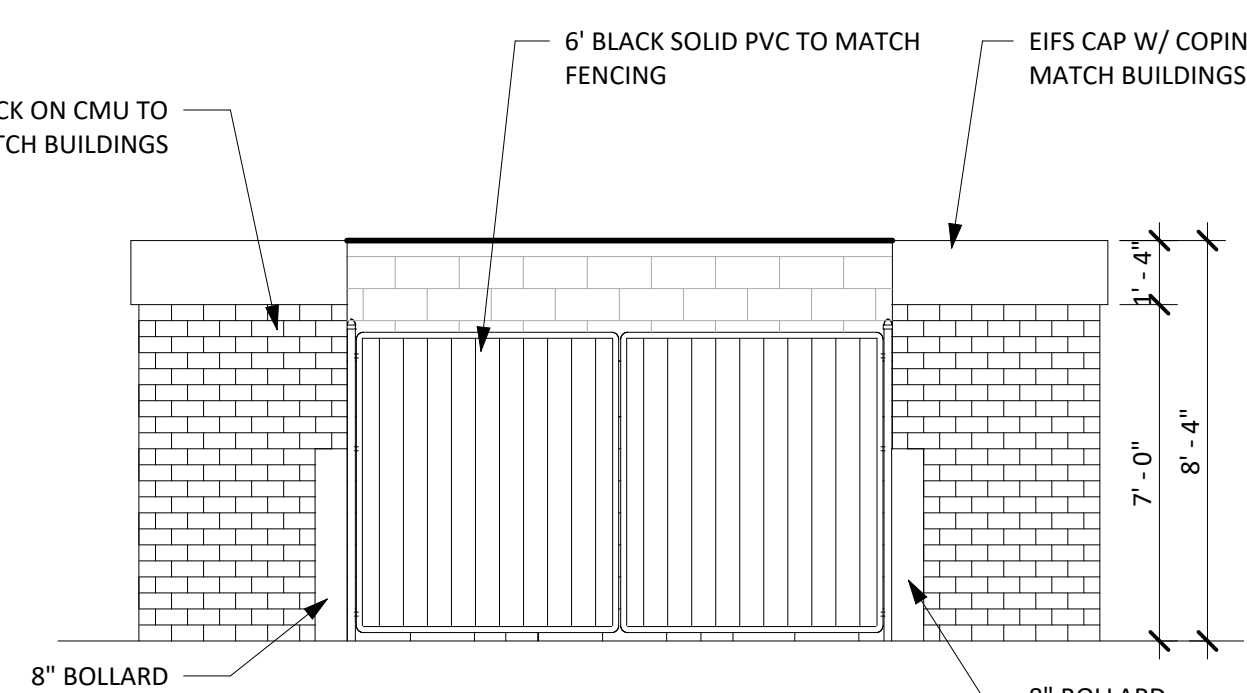
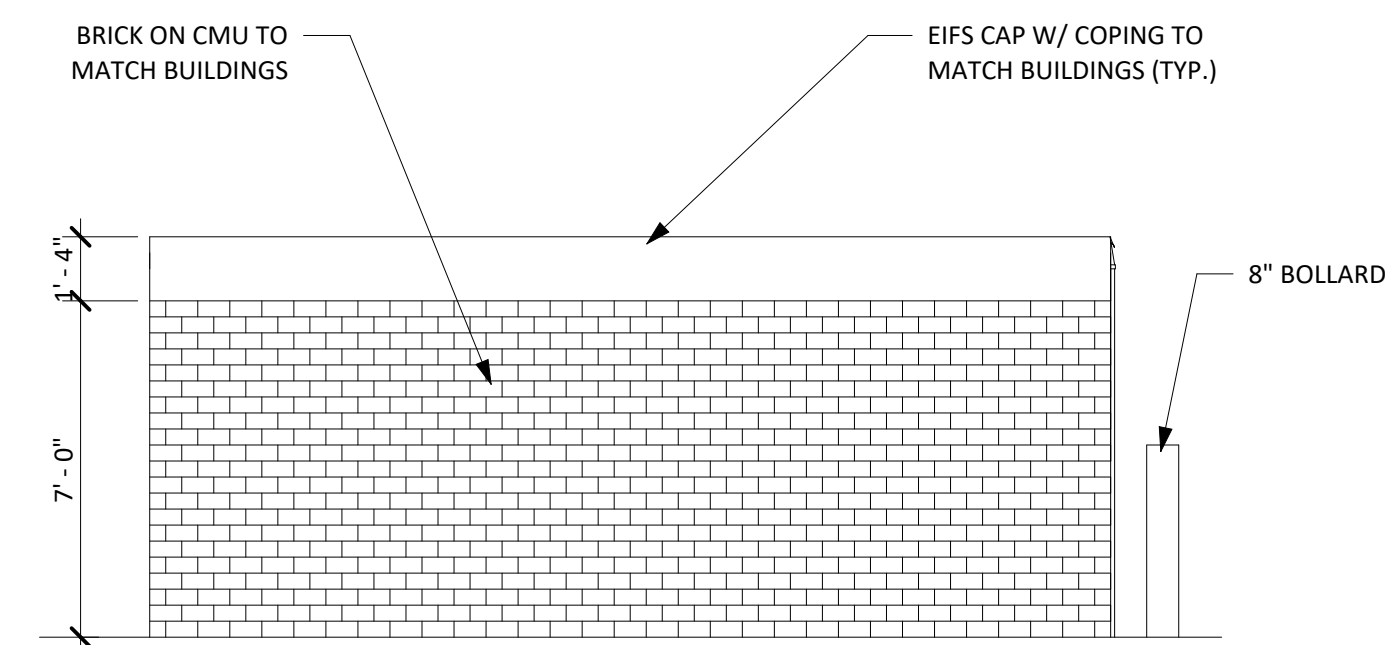
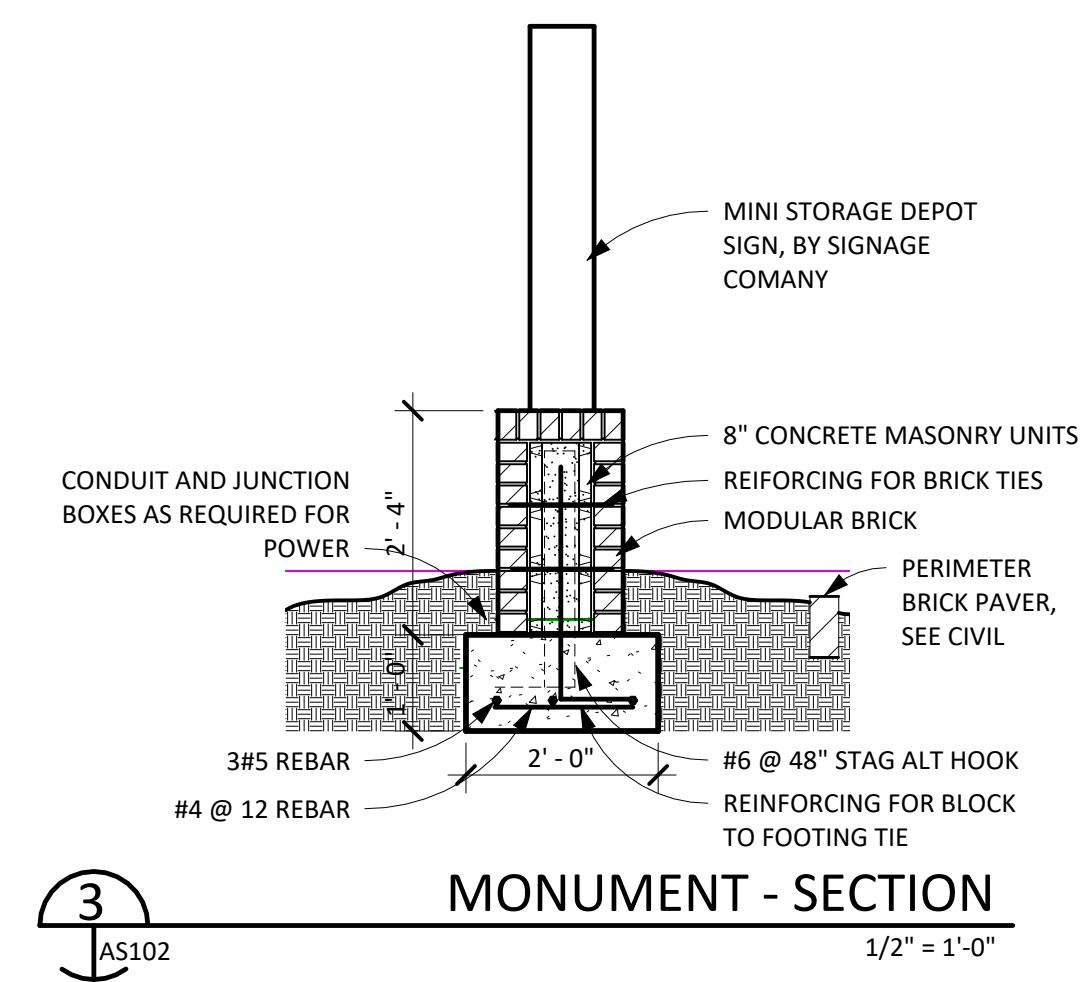
SHOWN BY LETTER BL ON PLAN



DROPBOX: OASIS DROP BOX, SKU 6103 (MAILBOXESRESIDENTIAL.COM) G.C. TO COORDINATE W/OWNER



MAILBOX: HEAVY DUTY RURAL MAILBOX (MODEL #4850), W/SALSBUARY STANDARD MAILBOX POST MODEL (#4895BLK) - IN GROUND MOUNTED - BLACK (MAILBOXES.COM) G.C. TO COORDINATE WITH POSTMASTER



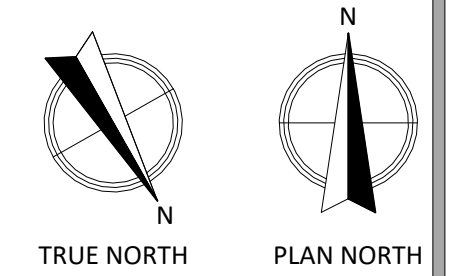
ISSUES / REVISIONS		
NO	DATE	DESCRIPTION
19	01-07-20	ISSUED FOR CONSTRUCTION

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SHEET TITLE
ARCHITECTURAL SITE DETAILS

PROJECT NO: 2018-0021
ISSUE DATE: 01-07-2019
SCALE: As indicated
DRAWN BY: TH
CHECKED BY: PH

AS102



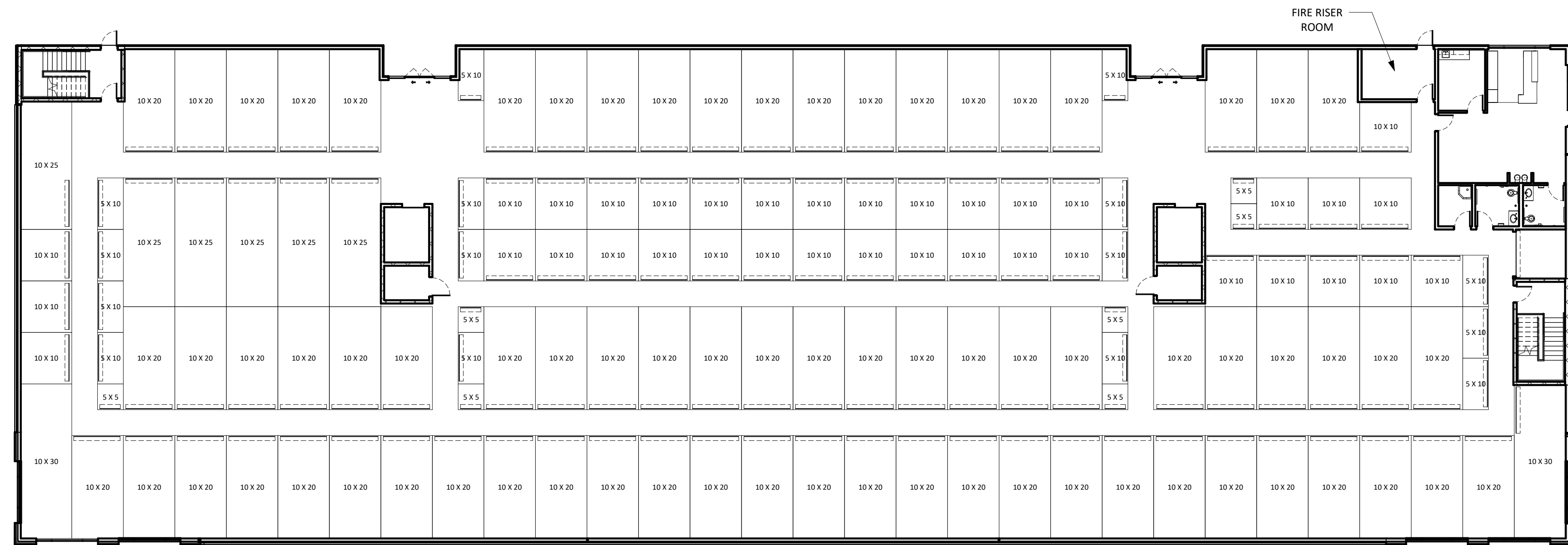


ARCHITECTURE & DESIGN
 2475 NORTHWINDS PKWY STE 200
 ALPHARETTA, GA 30009
 404.550.0718 WWW.H2ACO.COM

MINI STORAGE DEPOT ON WATTS RD

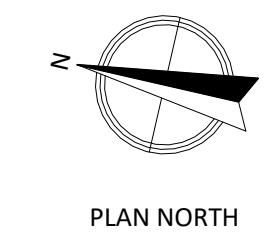
601 N WATT ROAD
 KNOXVILLE, TN 37934

UNIT MIX		
UNIT TYPE	UNIT AREA	Count
FINISH FLOOR		
5X5	175 SF	7
5X10	750 SF	15
10X10	3,700 SF	37
10X20	14,400 SF	72
10X25	1,500 SF	6
10X30	600 SF	2
	21,125 SF	139
SECOND FLOOR		
5X5	1,700 SF	68
5X10	200 SF	4
10X10	11,200 SF	112
10X15	7,200 SF	48
10X20	400 SF	2
	20,700 SF	234
THIRD FLOOR		
5X5	550 SF	22
5X10	5,100 SF	102
7.5X10	750 SF	10
10X10	3,400 SF	34
10X15	10,650 SF	71
10X20	400 SF	2
	20,850 SF	241
	62,675 SF	614
CLIMATE		
FINISH FLOOR		21,125 SF
SECOND FLOOR		20,700 SF
THIRD FLOOR		20,850 SF
TOTAL NET RENTABLE		62,675 SF
TOTAL GROSS		87,319 SF
EFFICIENCY		71.7%

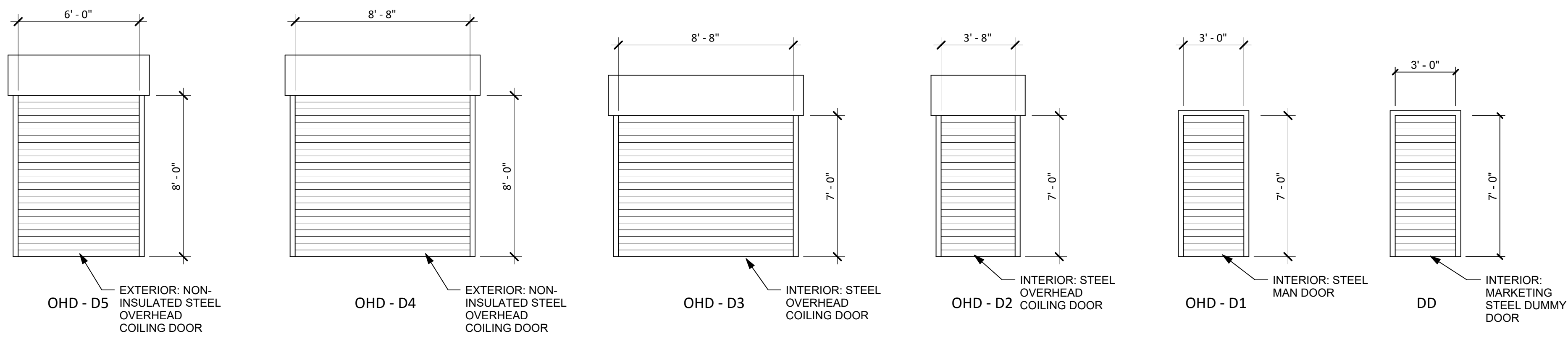


1
 AP101 OVERALL FFE PLAN - FINISH FLOOR - Dependent 1
 1/16" = 1'-0"

ISSUES / REVISIONS		
NO	DATE	DESCRIPTION
08-19-24	OWNER REVIEW	



FFE LEGEND & NOTES	
CORNER GUARDS	ALL OUTSIDE CORNERS SHALL HAVE 45 DEGREE MITERED CORNERS AND BE FULLY WRAPPED FROM FLOOR TO THE TOP OF THE WALL METAL WITH A PRE-FINISHED DIAMOND PLATED CORNER GUARD. A 12" DIAMOND PLATED KICK PLATES INSTALLED 6" FROM THE FINISHED FLOOR SHALL BE INSTALLED 10' FROM ALL OUTSIDE CORNERS
HALLWAY	ALL HALLWAY METAL SHALL BE JANUS GLOSS WHITE WITH SMOOTH FLUSH PIER AND HEADER SYSTEM HALLWAY SYSTEMS OR EQUAL. ALL LINER PANEL IS TO BE GLOSSY WHITE VERTICAL CORRUGATED. ALL HALLWAYS SHALL BE MINIMUM 5'-0" WIDE CLEAR OR GREATER. CLIMATE CONTROLLED UNITS TO BE SPECIFIED BY MINI STORAGE DEPOT. BURGLAR BARS OVER TOP OF UNITS TO PREVENT THEFT
DOORS	ALL INTERIOR DOORS SHALL BE ROLL UP DOORS BY JANUS MODEL 650 OR EQUAL WITH SMOOTH FLUSH PIER AND HEADER SYSTEM. DOORS THAT CAN BE SEEN BEHIND GLASS STOREFRONT DESIGNS SHALL BE EVERGREEN PER MINI STORAGE DEPOT SPECIFICATIONS IN COLOR, ALL OTHER INTERIOR DOORS SHALL BE GLOSS WHITE
UNIT PARTITION	UNIT PARTITION IS GALVALUME METAL PANEL INSTALLED WITH HORIZONTAL CORRUGATION. BURGLAR BARS OVER TOP OF UNITS TO PREVENT THEFT
HEADERS	HEADERS ARE WHITE GLOSS SMOOTH FLUSH PIER AND HEADER SYSTEM
EXTERIOR WALL PANELS	ALL METAL SHALL BE TRACHTE BEIGE WITH SMOOTH FLUSH HEADER AND PANEL SYSTEMS OR EQUAL. ALL EXTERIOR WALL PANELS AROUND METAL BUILDING SHALL BE SMOOTH
INTERIOR WALL PANELS	ALL INTERIOR WALL PANELS SHALL BE 29-GAUGE R-PANEL GALVALUME. THIS PANEL WILL ALSO BE INSTALLED ON ALL INTERIOR FACES OF THE EXTERIOR WALL. BURGLAR BARS OVER TOP OF UNITS TO PREVENT THEFT



OVERHEAD UNIT COILING DOORS
 SCALE: 1/4" = 1'-0"

NOTE: NOT ALL OVERHEAD DOORS BEING USED IN BUILDING A

FILE NAME: A:\work\Draws\2024\0000\H2A\MiniStorage\Watts\FFE.dwg
 PLOT DATE: 8/19/2024 10:27:14 PM

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OVERALL FFE PLAN - FINISH FLOOR

PROJECT NO: 2024-0030
 ISSUE DATE: 08-19-2024
 SCALE: As indicated
 DRAWN BY: JB
 CHECKED BY: PH

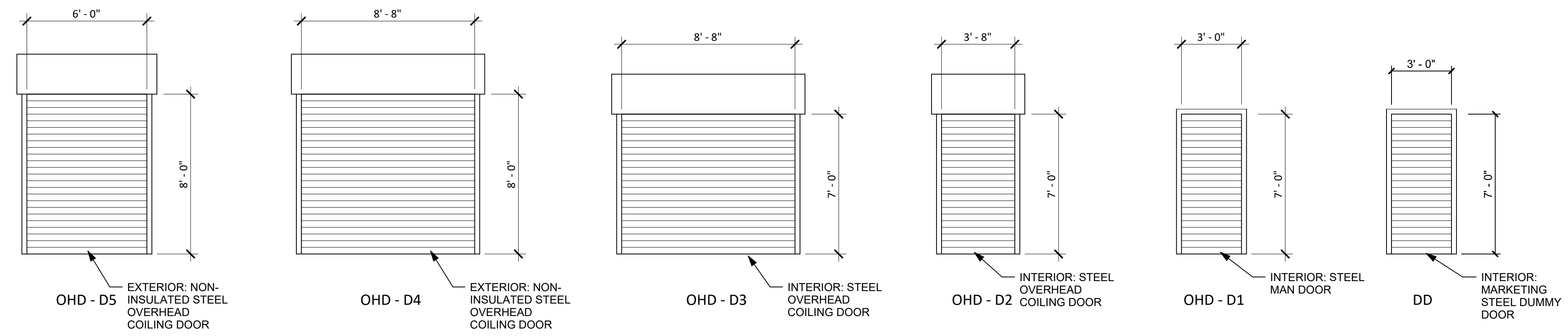
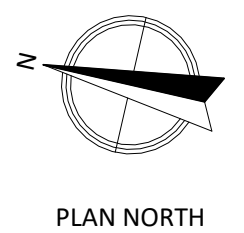
AP101

NOT FOR CONSTRUCTION

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62,675 SF		614
CLIMATE		
FINISH FLOOR	21,125 SF	
SECOND FLOOR	20,700 SF	
THIRD FLOOR	20,850 SF	
TOTAL NET RENTABLE		62,675 SF
TOTAL GROSS		87,319 SF
EFFICIENCY		71.7%



1
AP102 OVERALL FFE PLAN - SECOND FLOOR - Dependent 1
1/16" = 1'-0"



OVERHEAD UNIT COILING DOORS
SCALE: 1/4" = 1'-0"

NOTE: NOT ALL OVERHEAD DOORS BEING USED IN BUILDING A

FFE LEGEND & NOTES	
CORNER GUARDS	ALL OUTSIDE CORNERS SHALL HAVE 45 DEGREE MITERED CORNERS AND BE FULLY WRAPPED FROM FLOOR TO THE TOP OF THE WALL METAL WITH A PRE-FINISHED DIAMOND PLATED CORNER GUARD. A 12" DIAMOND PLATED KICK PLATES INSTALLED 6" FROM THE FINISHED FLOOR SHALL BE INSTALLED 10' FROM ALL OUTSIDE CORNERS
HALLWAY	ALL HALLWAY METAL SHALL BE JANUS GLOSS WHITE WITH SMOOTH FLUSH PIER AND HEADER SYSTEM HALLWAY SYSTEMS OR EQUAL. ALL LINER PANEL IS TO BE GLOSSY WHITE VERTICAL CORRUGATED. ALL HALLWAYS SHALL BE MINIMUM 5'0" WIDE CLEAR OR GREATER. CLIMATE CONTROLLED UNITS TO BE SPECIFIED BY MINI STORAGE DEPOT. BURGLAR BARS OVER TOP OF UNITS TO PREVENT THEFT
DOORS	ALL INTERIOR DOORS SHALL BE ROLL UP DOORS BY JANUS MODEL 650 OR EQUAL WITH SMOOTH FLUSH PIER AND HEADER SYSTEM. DOORS THAT CAN BE SEEN BEHIND GLASS STOREFRONT DESIGNS SHALL BE EVERGREEN PER MINI STORAGE DEPOT SPECIFICATIONS IN COLOR, ALL OTHER INTERIOR DOORS SHALL BE GLOSS WHITE
UNIT PARTITION	UNIT PARTITION IS GALVALUME METAL PANEL INSTALLED WITH HORIZONTAL CORRUGATION. BURGLAR BARS OVER TOP OF UNITS TO PREVENT THEFT
HEADERS	HEADERS ARE WHITE GLOSS SMOOTH FLUSH PIER AND HEADER SYSTEM
EXTERIOR WALL PANELS	ALL METAL SHALL BE TRACHTE BEIGE WITH SMOOTH FLUSH HEADER AND PANEL SYSTEMS OR EQUAL. ALL EXTERIOR WALL PANELS AROUND METAL BUILDING SHALL BE SMOOTH
INTERIOR WALL PANELS	ALL INTERIOR WALL PANELS SHALL BE 29-GAUGE R-PANEL GALVALUME. THIS PANEL WILL ALSO BE INSTALLED ON ALL INTERIOR FACES OF THE EXTERIOR WALL. BURGLAR BARS OVER TOP OF UNITS TO PREVENT THEFT

ISSUES / REVISIONS

NO	DATE	DESCRIPTION
08-19-24	OWNER REVIEW	

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SHEET TITLE

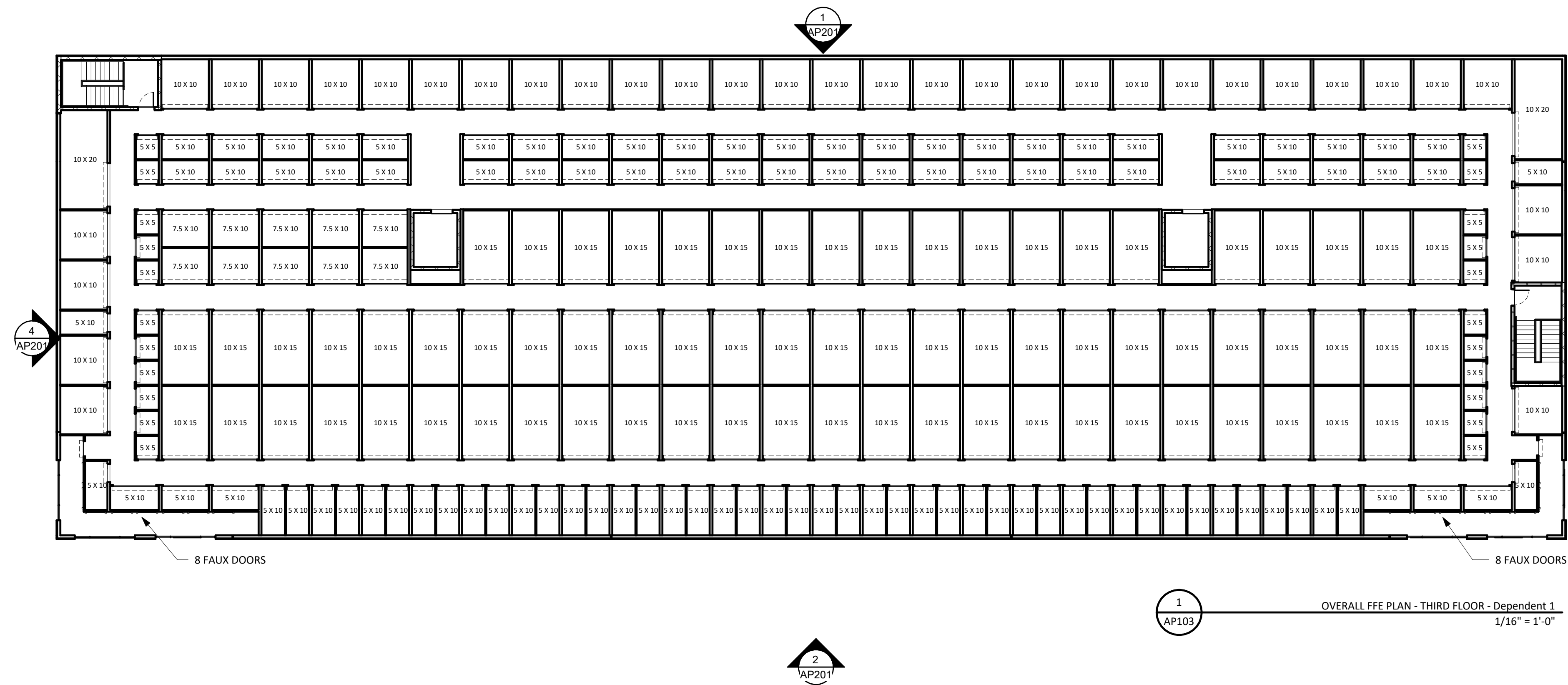
OVERALL FFE PLAN - SECOND FLOOR

PROJECT NO: 2024-0030
ISSUE DATE: 08-19-2024
SCALE: As indicated
DRAWN BY: JB
CHECKED BY: PH

AP102

NOT FOR CONSTRUCTION

UNIT MIX		
UNIT TYPE	UNIT AREA	Count
FINISH FLOOR		
5X5	175 SF	7
5X10	750 SF	15
10X10	3,700 SF	37
10X20	14,400 SF	72
10X25	1,500 SF	6
10X30	600 SF	2
	21,125 SF	139
SECOND FLOOR		
5X5	1,700 SF	68
5X10	200 SF	4
10X10	11,200 SF	112
10X15	7,200 SF	48
10X20	400 SF	2
	20,700 SF	234
THIRD FLOOR		
5X5	550 SF	22
5X10	5,100 SF	102
7.5X10	750 SF	10
10X10	3,400 SF	34
10X15	10,650 SF	71
10X20	400 SF	2
	20,850 SF	241
	62,675 SF	614
CLIMATE		
FINISH FLOOR	21,125 SF	
SECOND FLOOR	20,700 SF	
THIRD FLOOR	20,850 SF	
TOTAL NET RENTABLE	62,675 SF	
TOTAL GROSS	87,319 SF	
EFFICIENCY		
	71.7%	



1
AP103
OVERALL FFE PLAN - THIRD FLOOR - Dependent 1
1/16" = 1'-0"

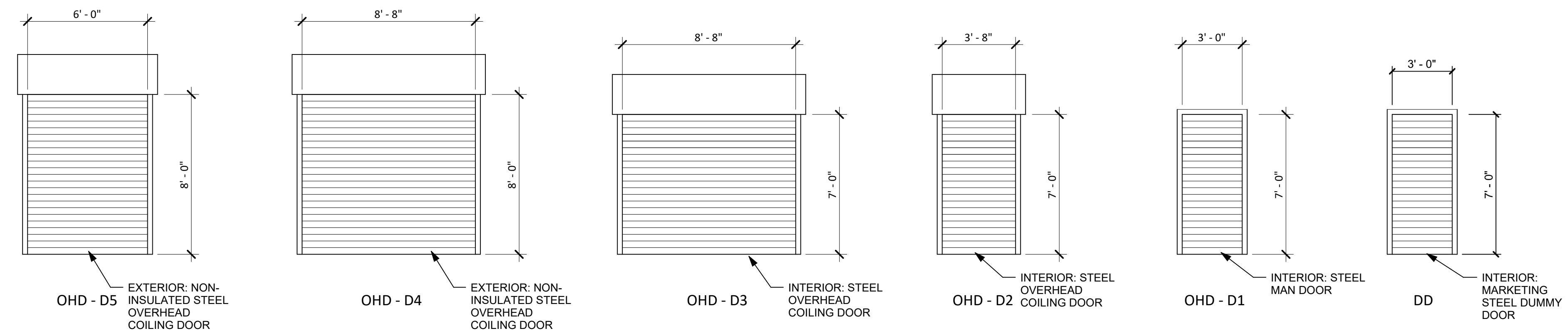
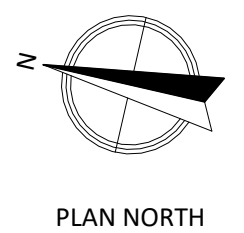
2
AP201

4
AP201

3
AP201

ISSUES / REVISIONS

NO	DATE	DESCRIPTION
08-19-24		OWNER REVIEW



⊕ OVERHEAD UNIT COILING DOORS
SCALE: 1/4" = 1'-0"
NOTE: NOT ALL OVERHEAD DOORS BEING USED IN BUILDING A

FFE LEGEND & NOTES	
CORNER GUARDS	ALL OUTSIDE CORNERS SHALL HAVE 45 DEGREE MITERED CORNERS AND BE FULLY WRAPPED FROM FLOOR TO THE TOP OF THE WALL METAL WITH A PRE-FINISHED DIAMOND PLATED CORNER GUARD. A 12" DIAMOND PLATED KICK PLATES INSTALLED 6" FROM THE FINISHED FLOOR SHALL BE INSTALLED 10' FROM ALL OUTSIDE CORNERS
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INTERIOR WALL PANELS	ALL INTERIOR WALL PANELS SHALL BE 29-GAUGE R-PANEL GALVALUME. THIS PANEL WILL ALSO BE INSTALLED ON ALL INTERIOR FACES OF THE EXTERIOR WALL. BURGLAR BARS OVER TOP OF UNITS TO PREVENT THEFT

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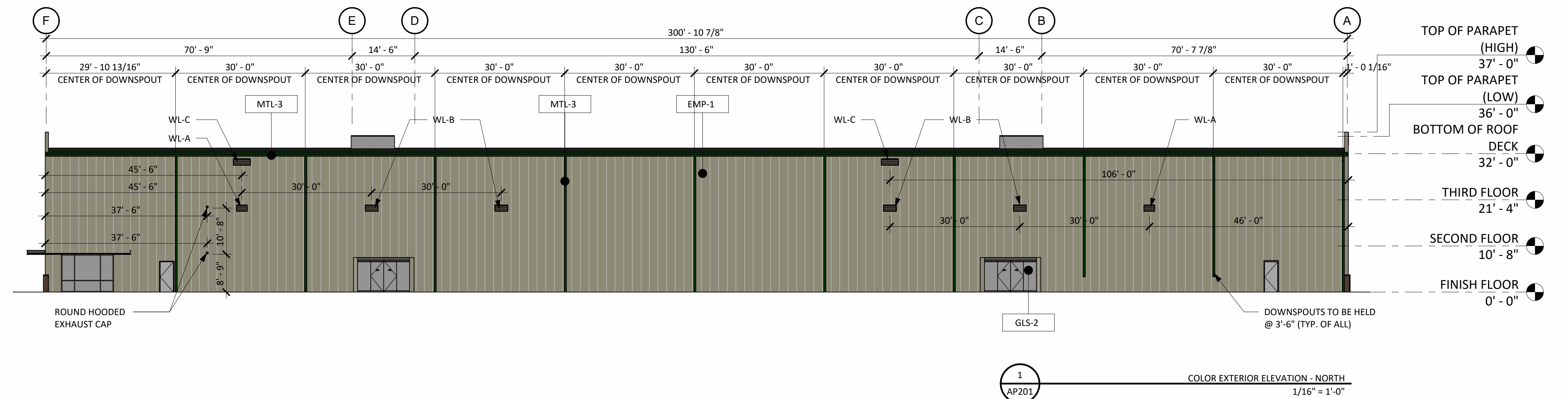
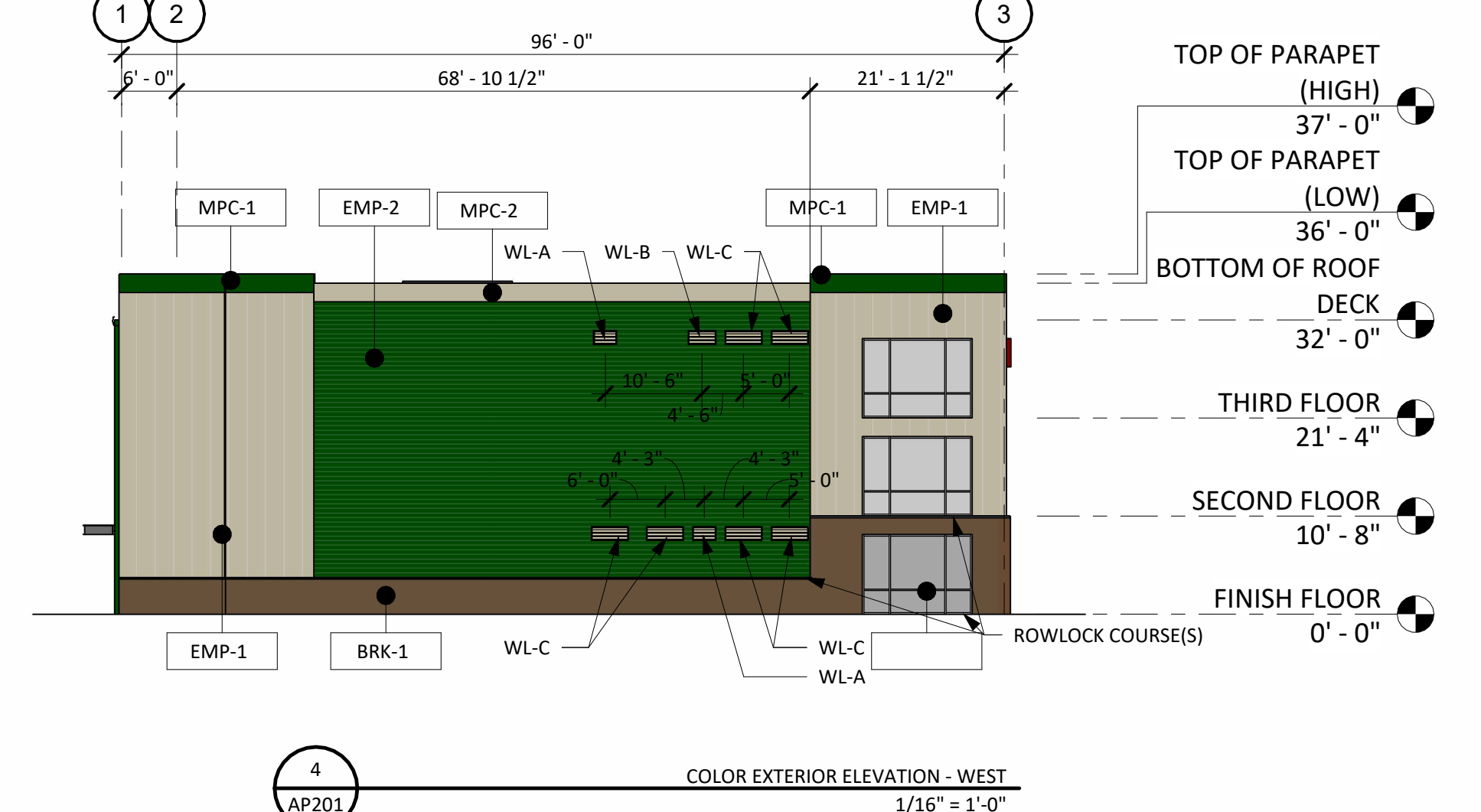
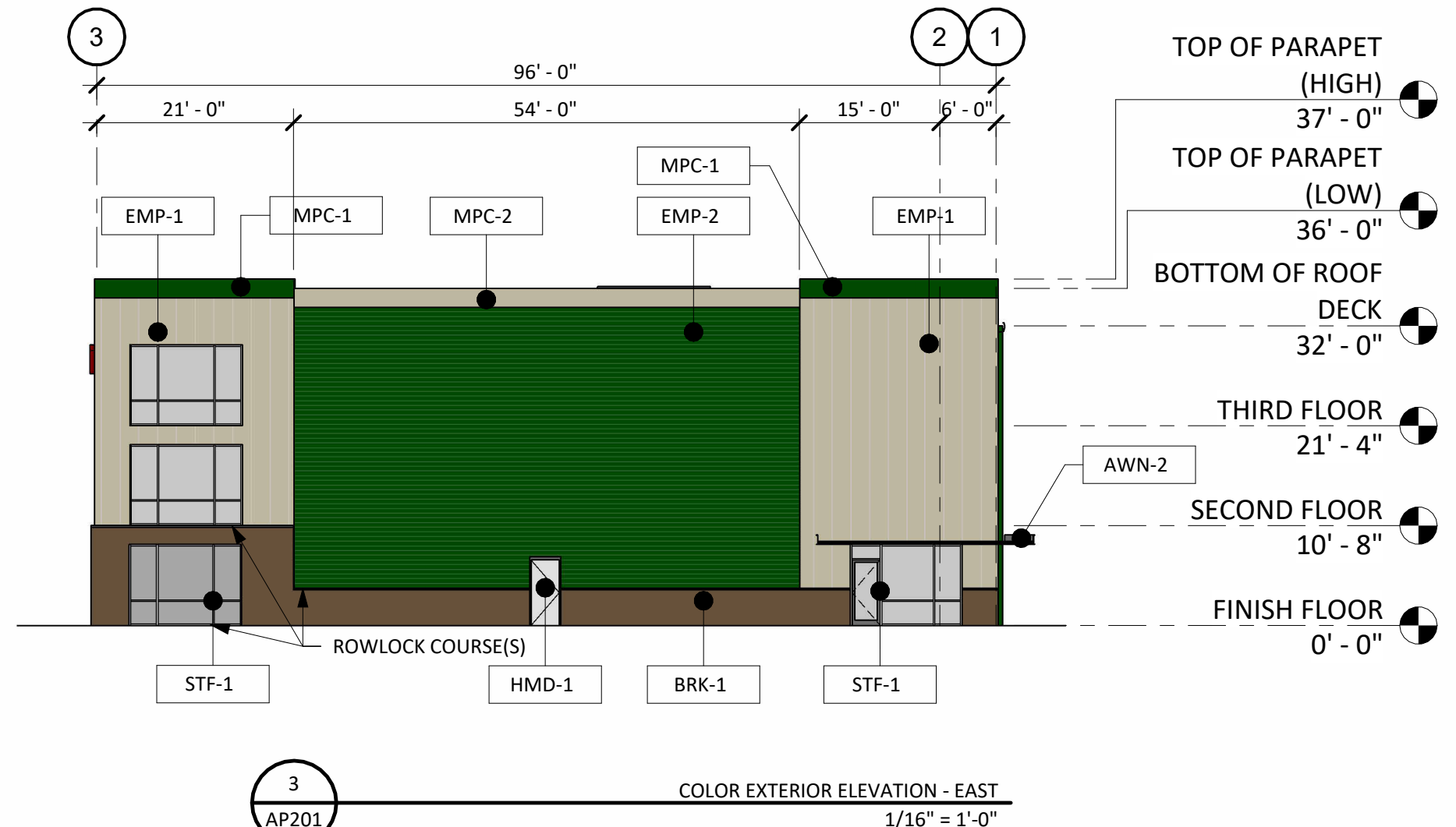
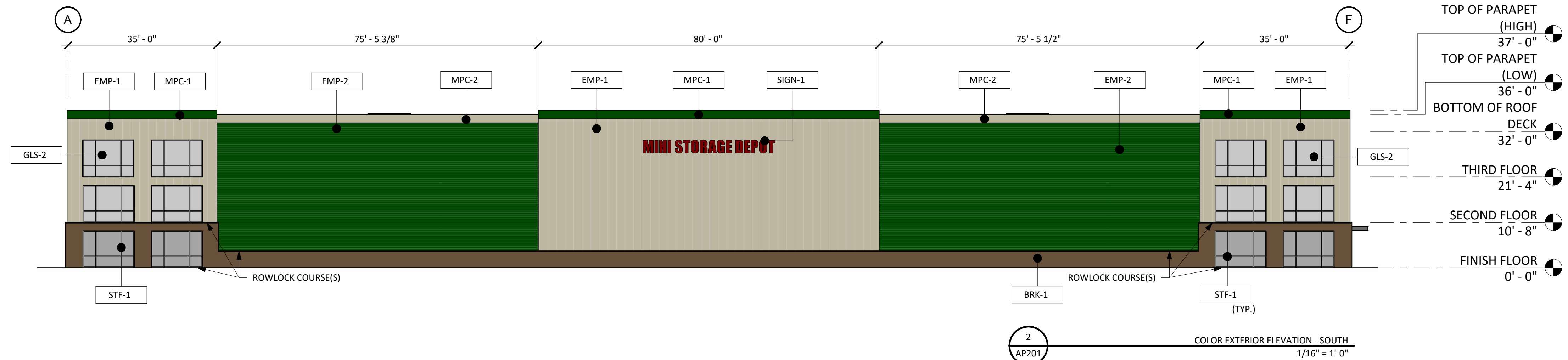
SHEET TITLE
OVERALL FFE PLAN - THIRD FLOOR

PROJECT NO: 2024-0030
ISSUE DATE: 08-19-2024
SCALE: As indicated
DRAWN BY: JB
CHECKED BY: PH

AP103

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EXTERIOR FINISHES LEGEND				
COLOR CODE	MATERIAL	SURFACE	MANUFACTURER	PRODUCT INFORMATION
AWN-2	METAL AWNING	METAL AWNING	COOL PLANET AWNINGS	DARK BRONZE
BRK-1	EXTERIOR BRICK	EXTERIOR WALLS	BORAL BRICK / MERIDIAN BRICK	BESSAMER ARCHITECTURAL SERIES, COLOR: CRIMSON MODULAR
EMD-1	EXTERIOR METAL DOOR (OVERHEAD DOOR)	METAL OVERHEAD DOOR	TRACHTE	COLOR: EVERGREEN
EMP-1	EXTERIOR METAL PANEL - SMOOTH VERTICAL	VERTICAL SMOOTH METAL PANEL	MBCI	SERIES - FLAT DESIGNER, COLOR: MATCH TRACHTE LIGHT STONE (CREAM)
EMP-2	EXTERIOR METAL PANEL - CORRUGATED HORIZONTAL	HORIZONTAL CORRUGATED METAL PANEL	MBCI	REVERSE ROLLED 7.2 HORIZONTAL PANEL, COLOR: MATCH TRACHTE EVERGREEN
EMP-4	EXTERIOR METAL PANEL - SMOOTH (GUTTER/DOWNSPOUTS/EAVE ENDS)	SOLID SMOOTH METAL PANEL	MBCI	COLOR: MATCH TRACHTE EVERGREEN
HMD-1	HOLLOW METAL DOOR EXTERIOR PAINT	MAN DOORS	SHERWIN WILLIAMS	COLOR: URBAN BRONZE 7048
MPC-1	METAL PARAPET CAP	SMOOTH METAL	MBCI	COLOR: MATCH TRACHTE EVERGREEN
MPC-2	METAL PARAPET CAP	SMOOTH METAL	MBCI	COLOR: MATCH TRACHTE CREAM BEIGE
SIGN-1	CUSTOM EXTERIOR MOUNTED WALL SIGN	CUSTOM	CUSTOM	VERIFY W/ OWNER SIGNAGE BY OWNER. GC PROVIDES POWER AND BLOCKING
STF-1	STOREFRONT ALUMINUM	STOREFRONT	KAWNEER	ANODIZED ALUMINUM 3.5" FRAME, COLOR: BLACK #29
WLV-1	POWDER COATED METAL	LOUVER	RUSKIN	COLOR: MATCH WALL SURFACE COLOR



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SHEET TITLE
EXTERIOR COLOR ELEVATIONS

PROJECT NO: 2024-0030
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