

NEW BUILDING FOR: COVENANT HEALTH MOB

BELLTOWN BUILDING D - W. EMORY & CLINTON HWY POWELL, TN

PLANS REVIEW DATA

KNOX COUNTY GOVERNING CODES & GUIDELINES

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 ICC PERFORMANCE CODE FOR BUILDINGS AND FACILITIES
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 INTERNATIONAL GREEN CONSTRUCTION CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL FIRE CODE
2018 LIFE SAFETY CODE
2011 NATIONAL ELECTRICAL CODE
2009 ICC / ANSI A117.1

STATEMENT OF INTENT

GEORGE ARMOUR EWART, ARCHITECT HAS, TO THE BEST OF ITS PROFESSIONAL EFFORTS, DESIGNED AND PRODUCED THESE DRAWINGS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES APPLICABLE TO THIS PROJECT ON THE DAY OF ISSUANCE. WITHOUT BEING SUBJECT TO JUDICIAL INTERPRETATION AND TO BEST OF OUR KNOWLEDGE, THESE DRAWINGS ARE ALSO IN COMPLIANCE WITH THE 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN.

OWNER

BELTOWN, LLC.

PROJECT ADDRESS

W. EMORY & CLINTON HWY

OCCUPANCY CLASSIFICATION

IBC: GROUP B, BUSINESS
OCCUPANT LOAD = 73 TOTAL
TENANT 1 : 8108 SQ.FT. / 150 = 54
TENANT 2 : 2740 SQ.FT. / 150 = 19

BUILDING CLASSIFICATION

TYPE II-B, UNPROTECTED, SPRINKLERED, ONE-STORY

STRUCTURAL FRAME

0

BEARING WALLS

EXTERIOR: 0
INTERIOR: 0

NON-BEARING WALLS & PARTITIONS

EXTERIOR: 0
INTERIOR: 0

FLOOR CONSTRUCTION

0

ROOF CONSTRUCTION

0

FLOOR AREA

NUMBER OF STORIES: 1 (3 MAX.)
MAX AREA ALLOWED: 23,000+ S.F. PER FLR.
ACTUAL AREA: 10,848 S.F.

ENERGY CONSERVATION:

- THIS BUILDING HAS BEEN DESIGNED TO BE COMPLIANT WITH THE REQUIREMENTS OF CHAPTER 4 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (CLIMATE ZONE 4)
- ROOFS, WITH INSULATION ENTIRELY ABOVE DECK, ARE DESIGNED TO EXCEED R-30_{ci}
- ROOFS, WITH INSULATION IN ATTIC, ARE DESIGNED TO EXCEED R-38
- METAL BUILDING ROOFS, ARE DESIGNED TO EXCEED R-19 + R-11 LS
- MASS WALLS, ABOVE GRADE, ARE DESIGNED TO EXCEED R-9.5_{ci}
- METAL FRAMED WALLS, ABOVE GRADE, ARE DESIGNED TO EXCEED R-13 + R-7.5_{ci}
- METAL BUILDING WALLS, ABOVE GRADE, ARE DESIGNED TO EXCEED R-13 + R-13_{ci}
- WALLS, BELOW GRADE, ARE DESIGNED TO EXCEED R-7.5_{ci}
- THERE ARE NO FLOORS ABOVE OUTDOOR OR UNCONDITIONED SPACES.
- SLAB-ON-GRADE UNHEATED FLOORS ARE DESIGNED TO EXCEED R-10 FOR 24" BELOW.
- SWINGING DOORS ARE DESIGNED TO BE LESS THAN U - 0.61
- VERTICAL FENESTRATION:
FIXED FENESTRATION SHALL HAVE A U-FACTOR LESS THAN U - 0.38
OPERABLE FENESTRATION SHALL HAVE A U-FACTOR LESS THAN U - 0.45
ENTRANCE DOORS SHALL HAVE A U-FACTOR LESS THAN U - 0.77, SHGC SHALL BE:
SEW (PF<0.2=0.36max) (0.25PF<0.5=0.43max) (PF<0.5=0.58max)
N (PF<0.2=0.48max) (0.25PF<0.5=0.53max) (PF<0.5=0.58max)
- SKYLIGHTS SHALL HAVE A U-FACTOR OF LESS THAN 0.50 AND A SHGC OF LESS THAN 0.40

ABBREVIATIONS

ACT	ACOUSTICAL TILE
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
BLKG	BLOCKING
BLDG.	BUILDING
CAB	CABINET
C	CERAMIC TILE
C/C	CENTER TO CENTER
CCT	CUBICLE CURTAIN TRACK
CL or CL	CENTER LINE
CG	CORNER GUARD
CLR	CLEAR
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE BLOCK MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CPT	CARPET
DBL.	DOUBLE
DF	DRINKING FOUNTAIN
DFG	DOOR FRAME GUARD
DS	DOWNSPOUT
DT	DRAPERY TRACK
ECC	EXISTING CORNER GUARD
ELEV.	ELEVATION
EP	ELECTRICAL PANEL
EWC	ELECTRIC WATER COOLER
EXP. JT. or EJ	EXPANSION JOINT
EXIST or EX	EXISTING
FF	FINISH FLOOR
FCU	FAN COIL UNIT
FIN	FINISH
FOB	FACE OF BRICK
FOM	FACE OF MASONRY
FOS	FACE OF STUD
F/F	FACE TO FACE
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FHC	FIRE HOSE CABINET
GALV.	GALVANIZED
GB	GRAB BAR
GC or GEN. CON	GENERAL CONTRACTOR
GFI	GROUND FAULT INTERRUPT
GP	GUARD POST
GYP. BD.	GYP. BOARD
HC	HANDICAP
HPDL	HIGH PRESSURE DECORATIVE LAMINATE
INSUL.	INSULATION
INV.	INVERT (ELEVATION)
JT.	JOINT
MBL	MARBLE
MTL.	METAL
N/A	NOT APPLICABLE
NC	NONE COMBUSTIBLE
NIC	NOT IN CONTRACT
NOM	NOMINAL
OC	ON CENTER
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OH or OPP HD	OPPOSITE HAND
OS/OS	OUTSIDE TO OUTSIDE
P. LAM or PL	PLASTIC LAMINATE
PART	PARTIAL
PLAST	PLASTER
PT	PAINT
PTD	PAPER TOWEL DISPENSER
PTME	PATCH TO MATCH EXISTING
PTN	PARTITION
REF.	REFRIGERATOR
REV	REVISION
SD	SOAP DISPENSER
SF or SQ. FT	SQUARE FEET
SQ. IN	SQUARE INCHES
SHET VINYL	SHEET VINYL
T&G	TONGUE AND GROOVE
TOS	TOP OF STEEL
TME	TO MATCH EXISTING
TWL	TOWEL BAR
TKBD	TACK BOARD
TPH	TOILET PAPER HOLDER
UNO	UNLESS NOTED OTHERWISE
VINYL	VINYL
VCT	VINYL COMPOSITION TILE
VIF	VERIFY IN FIELD
WC	WALL COVERING OR WATER CLOSET
WD	WOOD
WG	WALL GUARD

DRAFTING CONVENTIONS

	CONCRETE MASONRY (PLAN)
	CONCRETE MASONRY (SECTION)
	BRICK
	CONCRETE
	PRECAST CONCRETE
	STONE
	STEEL
	GYP. BOARD
	PLYWOOD OR COMPOSITE WOOD
	RIGID BOARD INSULATION
	BATT OR LOOSE INSULATION
	FINISH WOOD
	SOUND INSULATED PARTITION
	1 HOUR RATED PARTITION
	2 HOUR RATED PARTITION
	SMOKE RESISTANT WALL
	CENTERLINE / COLUMN LINE

GRAPHICS SYMBOLS

	DOOR NO. DESIGNATION
	REVISION MARKER
	WINDOW DESIGNATION
	DETAIL OR SECTION NO. SHEET DRAWN ON
	INTERIOR ELEVATION NO. SHEET DRAWN ON
	SECTION NO. SHEET DRAWN ON
	EXTERIOR ELEVATION SHEET DRAWN ON
	ENLARGED AREA SHEET DRAWN ON
	INTERIOR PARTITION TYPE

GENERAL NOTES:

- CONTRACTOR SHALL VERIFY ALL ON-SITE DIMENSIONS. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- DIMENSIONS ARE REFERENCED TO FACE OF NEW INTERIOR STUD WALLS, COLUMN CENTERLINES & TO THE FACE OF EXTERIOR WALLS UNLESS OTHERWISE INDICATED.
- PROVIDE PRESSURE TREATED WOOD FOR CONCEALED MEMBERS IN CONTACT WITH MASONRY OR CONCRETE.
- PROVIDE FIRE-RETARDANT TREATED WOOD BLOCKING IN WALLS TO SUPPORT EQUIPMENT, RAILINGS, ACCESSORIES, DRAPERY TRACKS, RECESSED ITEMS, ETC. AS REQD. HANDRAILS, GRAB BARS AND WALL MOUNTED TOILET FIXTURES SHALL BE INSTALLED TO WITHSTAND A MIN. VERT. OR HORIZ. FORCE OF 250 LBS.
- MAINTAIN THE INTEGRITY OF RATED WALLS AT ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS & ALL RECESSED EQUIPMENT. FOR ALL RATED PARTITIONS, THE SURFACE AREA OF INDIVIDUAL METALLIC OUTLET OR SWITCH BOXES SHALL NOT EXCEED 16 SQUARE INCHES. THE AGGREGATE SURFACE AREA OF THE BOXES SHALL NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET BOXES LOCATED ON OPPOSITE SIDES OF WALLS OR PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES MINIMUM.
- ALL RATED PARTITIONS SHALL BE TIGHTLY SEALED TO THE UNDERSIDE OF DECK. INTEGRITY OF RATED PARTITIONS SHALL BE MAINTAINED AT CORNERS AND INTERSECTIONS OF OTHER PARTITION TYPES.
- EACH PENETRATION IN RATED PARTITIONS FOR CONDUIT, PIPING OR OTHER ITEMS SHALL BE PROTECTED BY AN APPROVED UL-LISTED ASSEMBLY TO PROHIBIT THE PASSAGE OF FIRE AND SMOKE.
- CONTRACTOR SHALL VERIFY AND COORDINATE ROUTING, PLACEMENT, SPACE & CLEARANCE REQUIREMENTS FOR MECHANICAL, ELECTRICAL, & OTHER TRADES - REFERENCE PLUMBING, MECHANICAL & ELECTRICAL DRAWINGS.
- ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING SHALL BE CONCEALED, EXCEPT MECHANICAL EQUIPMENT ROOMS. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISHED AREAS.
- THE CONTRACTOR SHALL FURNISH ACCESS PANELS IN WALLS AND NON-ACCESSIBLE TYPE CEILINGS WHERE SERVICE AND ADJUSTMENT TO MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL HAVE A FIRE RATING EQUAL TO THAT OF THE SURFACE IN WHICH THEY OCCUR. LOCATION OF ACCESS PANELS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO THE APPLICATION OF GYPSUM BOARD.
- ALL CASEWORK DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO UNIT FABRICATION.
- SEAL ALL PENETRATIONS IN THE EXTERIOR ENVELOPE AIR TIGHT AT BOTH THE INTERIOR (VAPOR RETARDER AND GYPSUM BOARD) AND EXTERIOR (SHEATHING AND AIR BARRIER) FACES.
- UNLESS THIS PROJECT IS BEING BID, THE INTENT OF THESE DRAWINGS IS TO BE PART OF A "DESIGN BUILD" PROJECT. ALTHOUGH THE ARCHITECT HAS ATTEMPTED TO SHOW ALL CONSTRUCTION, THE ARCHITECT AND CONTRACTOR ARE TO COORDINATE ANY AREAS NOT NOTED ON THESE DRAWINGS. ANY ADDITIONAL INFORMATION REQUIRED WILL BE PROVIDED DURING CONSTRUCTION.

PROJECT NO.: 23101A

DRAWING LOG

ISSUE DATE: 05 APR 2024

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CONSULTANTS

CIVIL ENGINEER

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KNOXVILLE, TN 37917
(865) 441-4428

STRUCTURAL ENGINEER

BENDER & ASSOCIATES
110 FOREST CT.
KNOXVILLE, TN 37919
(865) 584-6532

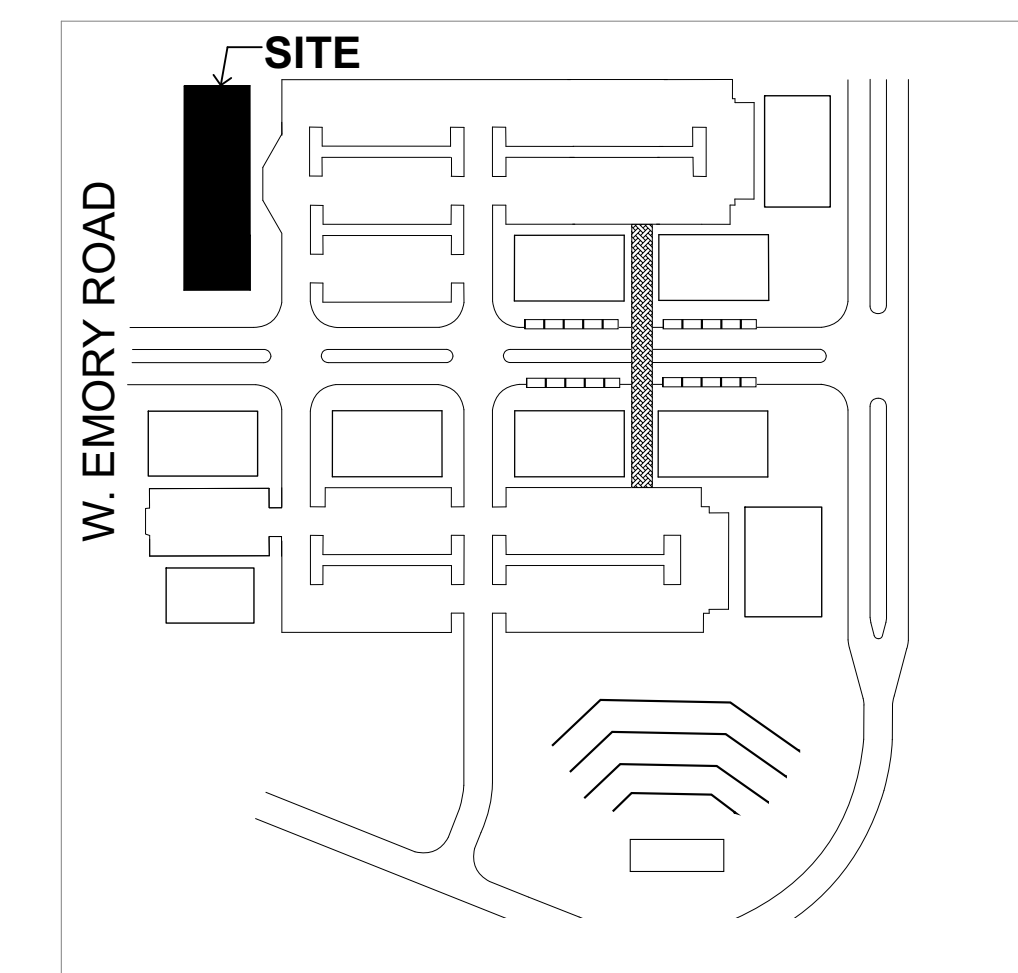
MECHANICAL ENGINEER

ALBERT BEDINGER CONSULTING ENGINEERS
5641 MERCHANTS CENTER BLVD., SUITE A104
KNOXVILLE, TN 37912
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ELECTRICAL ENGINEER

VREELAND ENGINEERS
3107 SUTHERLAND AVE.
KNOXVILLE, TN 37919
(865) 637-4451

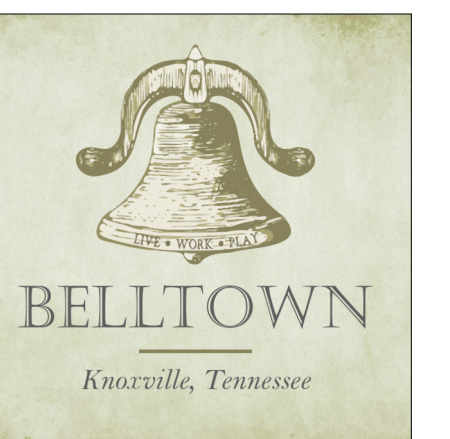
LOCATION MAP



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FOR OWNER
REVIEW**



PROJECT NO.: 23101A
ISSUE DATE: 05 APR 2024
SET #:

11-A-24-PD
8/30/2024



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SITE LAYOUT PLAN

DATE: 04/04/2024
PROJECT NO.: 23101
PROJECT MGR.: CRF

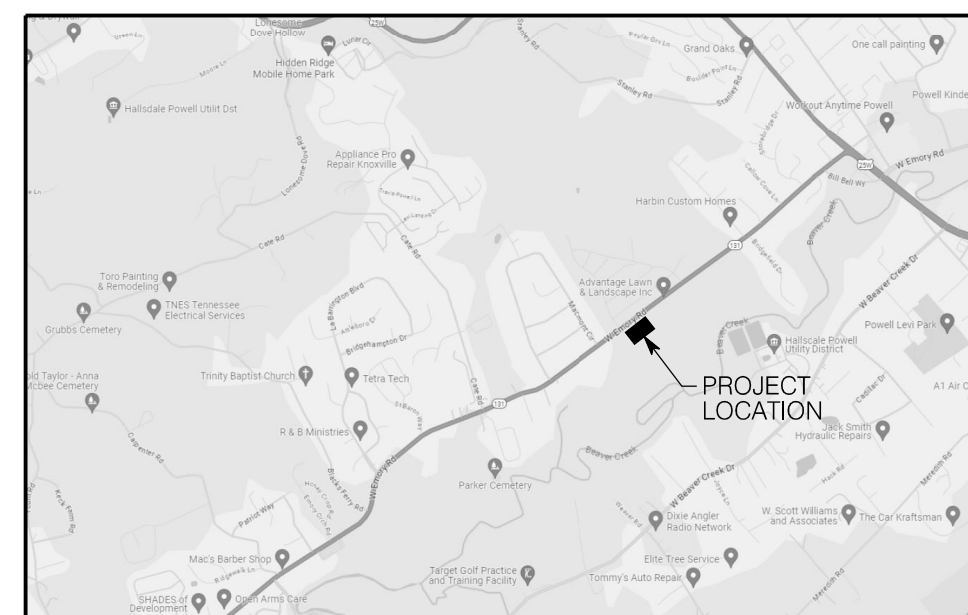
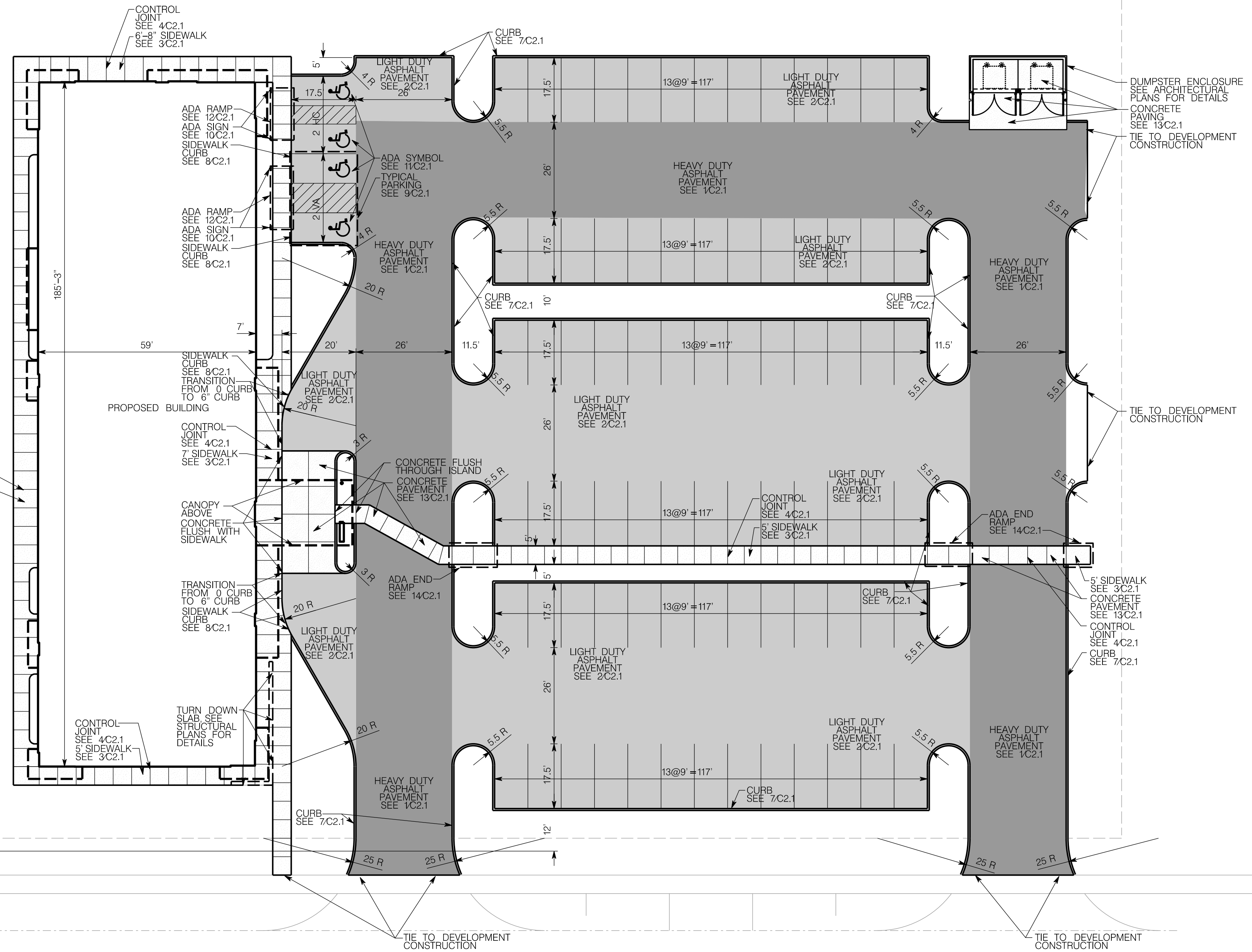
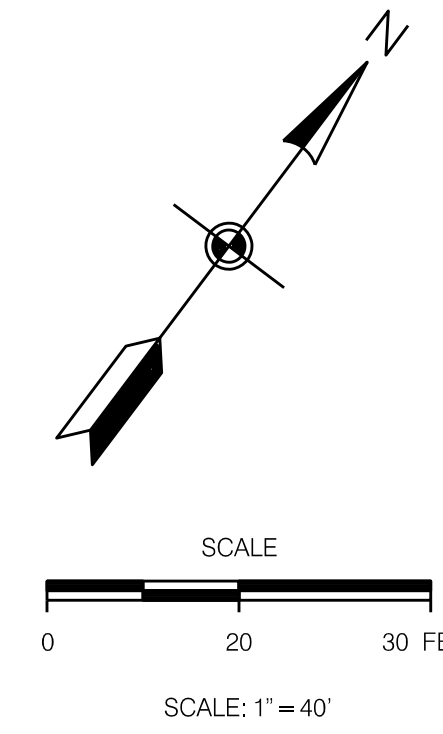
C1.2

LEGEND:

EXISTING	PROPOSED	
		GROUND CONTOUR ELEVATION
		SPOT ELEVATION
		STRUCTURE
	NA	PROPERTY LINE
	NA	EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
		SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		OVERHEAD ELECTRICAL
		WATER METER
	NA	FIRE HYDRANT
NA		SURFACE FLOW
NA		SILT FENCING
		CURB
		CATCH BASIN
NA		CONCRETE PAVEMENT
NA		ASPHALT PAVEMENT
NA		RIP RAP

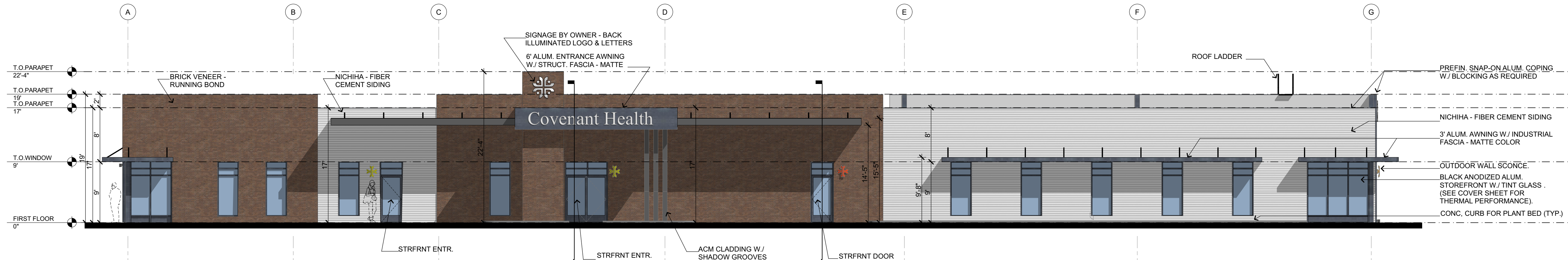
SITE LAYOUT NOTES

- USE: MEDICAL OFFICE BUILDING, ZONING: ?, PARCEL 066 121
- TOTAL BUILDING AREA: 10,894 SF (1 STORY)
- TOTAL SITE: ~100 AC, TOTAL DIST AREA: 1.54 AC, TOTAL IMPERV: 0.98 AC.
- DEED REFERENCE: 20230915-00141410
- THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA SEE MAPS 47093C0115F DATED 05/02/2007.
- SITE BENCHMARK: CONTACT SURVEYOR FOR SITE BENCHMARK DATUM NAVD 88.
- SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON INFORMATION PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
- UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
- PARKING SUMMARY:
TOTAL PROVIDED: 55 SPACES
TOTAL REQUIRED: 82 SPACES
BASIS: 5 SPACES PER 1,000 SF (OVERALL USE IS SHOPPING CENTER)
CALCULATION: 10.9 X 5 = 54.5 SPACES
- SETBACKS:
FRONT: ?
SIDE: ?
REAR: ?
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
- VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
- TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALKS, DRAINAGE STRUCTURES, UTILITIES, OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND/OR CONCRETE AND NEW PAVEMENT AND/OR CONCRETE. FIELD ADJUSTMENT OF FINAL GRADES MAY BE REQUIRED. INSTALL ALL STORM SYSTEMS PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE.
- DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR TO THE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION. INCLUDE ALL UTILITY LOCATIONS AND ALL NEW SIDEWALK RAMP ELEVATIONS FOR ALL SANITARY AND STORM SEWER STRUCTURES SHALL BE INCLUDED. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION.

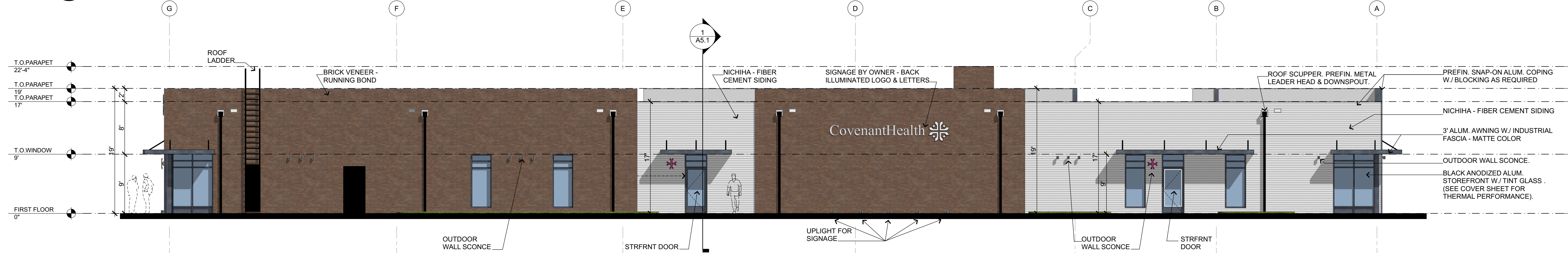


PROJECT LOCATION MAP - NOT TO SCALE

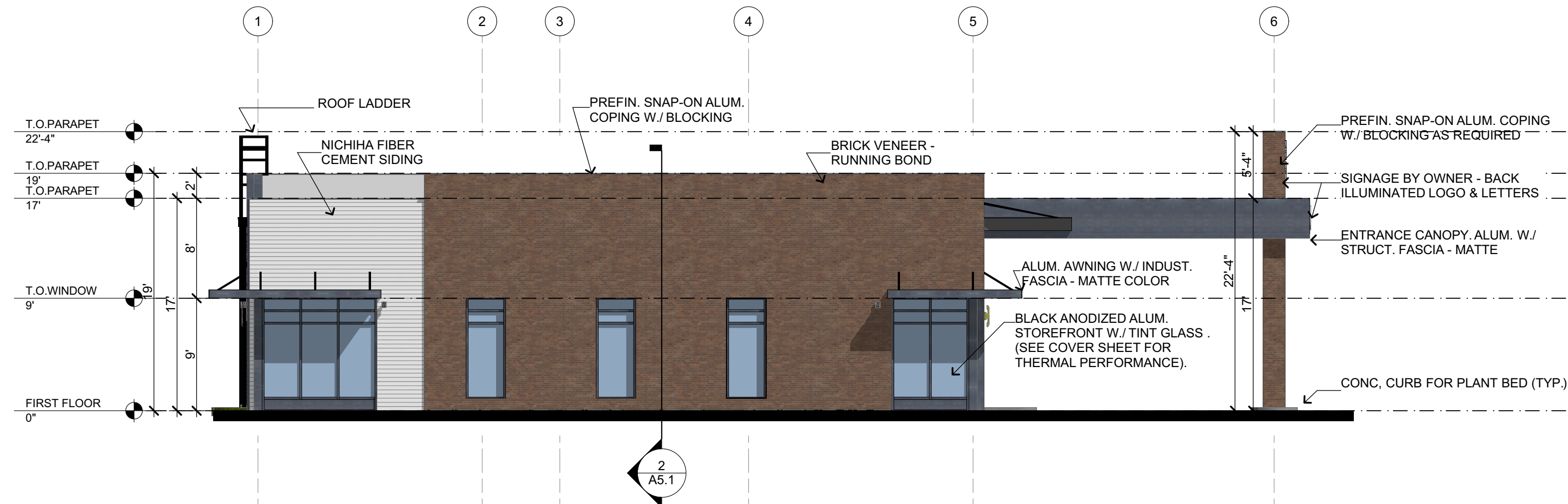
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8/30/2024



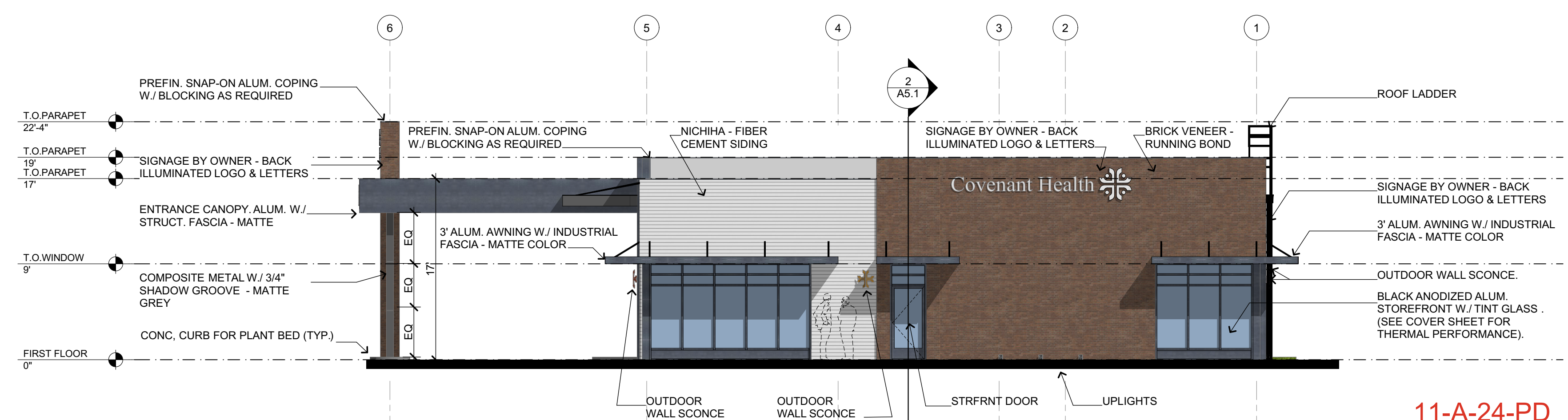
1 MAIN ENTRANCE - NORTH EAST
SCALE: 1/8" = 1'-0"



2 BACK ELEVATION - SOUTH WEST
SCALE: 1/8" = 1'-0"



3 SIDE ELEVATION - SOUTH EAST
SCALE: 1/8" = 1'-0"

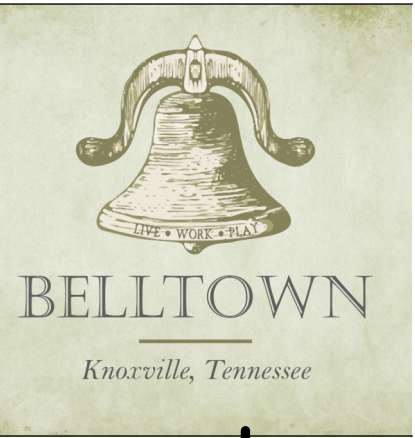


4 SIDE ELEVATION - NORTH WEST
SCALE: 1/8" = 1'-0"



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EXTERIOR ELEVATIONS

DATE: 4/5/2024
PROJECT NO.: 23101
PROJECT MGR.: CRF

**11-A-24-PD
8/30/2024**

A4.1



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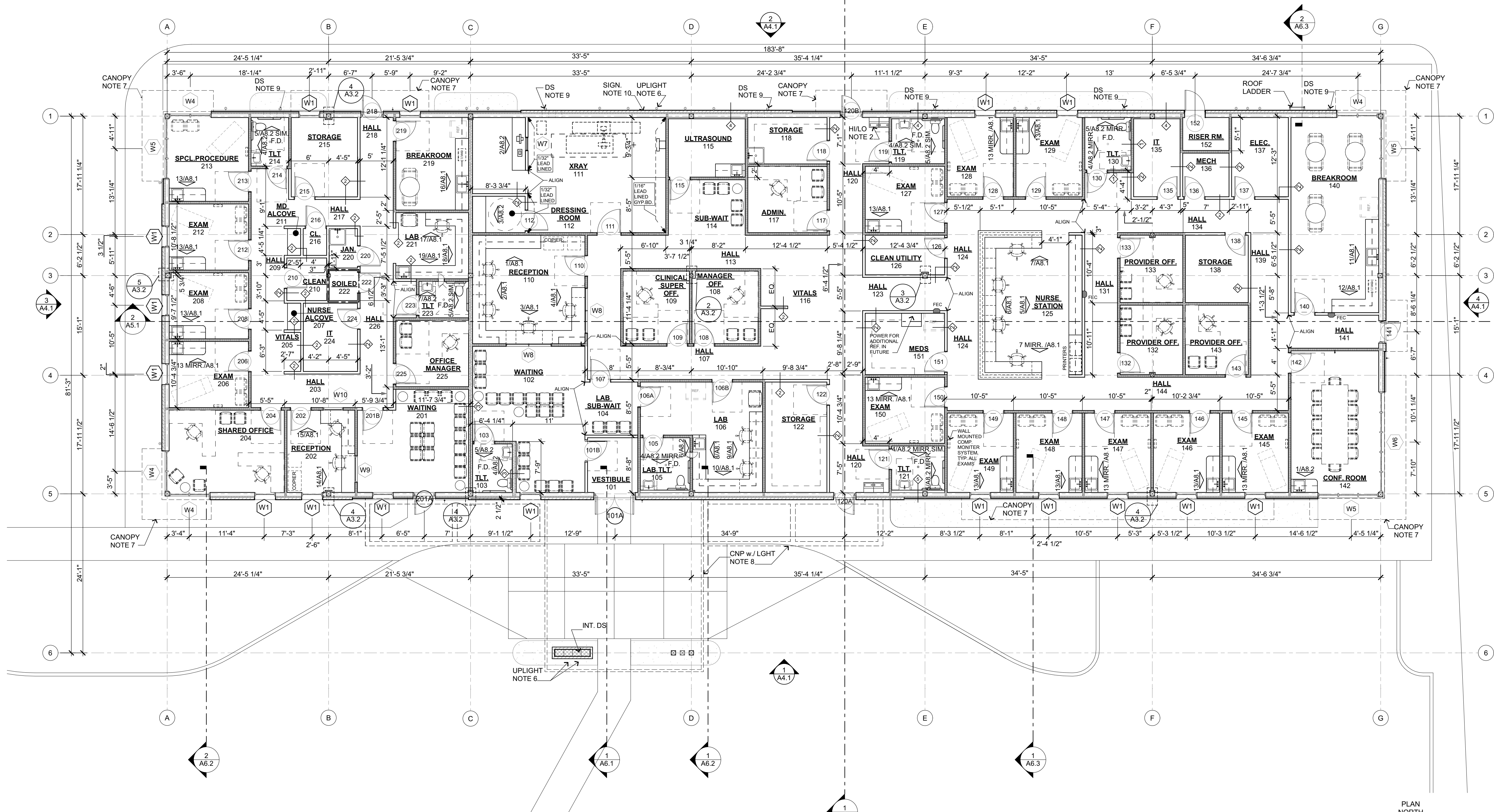
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FLOOR PLAN



1
A1.1 **FLOOR PLAN**
SCALE: 1/8" = 1'-0"

- FLOOR PLAN NOTES:**
- FURNITURE PLACEMENT SHALL NOT RESTRICT ADA ACCESS REQUIRED.
 - CONTRACTOR TO PROVIDE MIN. R-38 BATT INSULATION AT ENTIRE DECK SPACE IF NOT CURRENTLY INSTALLED.
 - CONTRACTOR TO PROVIDE MIN. R-20 BATT INSULATION IN ALL FRAMED EXTERIOR WALLS IF NOT ALREADY PROVIDED.
 - TENANT TO PROVIDE BLINDS FOR SUN CONTROL TO ALL WINDOWS TO EXTERIOR.
 - ROOF PENETRATIONS AND ROOF WORK TO BE PERFORMED BY LANDLORD'S CONTRACTOR IF REQUIRED, VERIFY WITH LANDLORD.
- FIRE EXTINGUISHER NOTE:**
G.C. TO PROVIDE EXTINGUISHERS AS REQ'D BY LOCAL FIRE MARSHALL & VERIFY TYPE, #, AND LOCATION PRIOR TO INSTALLATION.

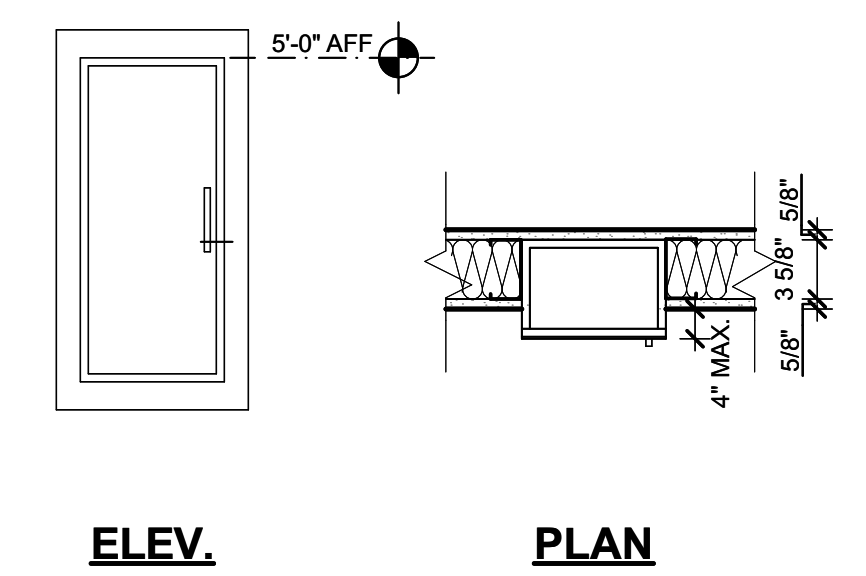
- PARTITION LEGEND:**
- NOTES:
1) REFER TO SHEET A3.1 FOR PARTITION DETAILS.
2) UNLESS NOTED OTHERWISE, ALL PARTITIONS ARE TYPE '1'.
3) CONTACT ARCHITECT FOR CLARIFICATION IF REQUIRED.
3) REFER TO PLAN FOR INDICATION OF SOUND BLANKET.

ID	SYMBOL	PARTITION LEGEND
1		3-5/8" STL STUD w/ 5/8" GYP BD EACH SIDE - SOUND ATT BLANKET
2		3-5/8" STL STUD w/ 5/8" GYP BD EACH SIDE
3		6" STL STUD w/ 5/8" GYP BD EACH SIDE - SOUND ATT BLANKET
4		1-5/8" Furring w/ 5/8" GYP. BD.
5		3-5/8" STL STUD w/ 5/8" GYP BD ONE SIDE

- PARTITION NOTES:**
- ALL WALLS ARE TO BE CONSTRUCTED IN STRICT CONFORMANCE WITH REFERENCE TEST DESIGNS FOR FIRE AND SOUND RATING. REFER TO LAB DESIGN DATA FOR ADDITIONAL INFO INCLUDING FASTENING, JOINT FINISHING, ETC.
 - ALL PENETRATIONS OF ANY LAYER OF FIRE AND SOUND RATED PARTITIONS ARE TO BE SEALED AT THE PERIMETER WITH APPROVED MATERIALS. THROUGH PENETRATIONS ARE TO BE SEALED IN ACCORDANCE WITH APPROPRIATE UL DESIGN AS LISTED IN UL DESIGN RESISTANCE DIRECTORY. CONTRACTOR SHALL SUBMIT THE DESIGN NO. TO ARCHITECT FOR APPROVAL OF EACH TYPE/SYSTEM DESIGN.
 - ALL FIRE RATED PARTITIONS ARE TO BE EXTENDED TO AND BE SEALED AT STRUCTURAL DECK ABOVE AND ARE TO HAVE GYPSUM BOARD INSTALLED CONTINUOUS AND INTERRUPTED AT INTERSECTING PARTITIONS AND TO FACE OF MASONRY WHERE CONTIGUOUS. SEAL AT MASONRY.
 - ALL FIRE RATED WALLS ARE TO BE PROVIDED WITH PAINTED STENCILING OR SIGNS ABOVE THE CEILING AS APPROVED BY GOVERNING CODE OFFICIALS STATING: "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS."
 - PROVIDE WOOD BLOCKING IN WALLS FOR SUPPORT OF CABINETS, EQUIP., RAILINGS, ACCESSORIES, CURTAIN TRACKS, RECESSED ITEMS, ETC. AS REQUIRED. VERIFY LOCATION OF EQUIP. WITH ARCH. PRIOR TO INSTALLATION. HANDRAILS, GRAB BARS AND WALL-MOUNTED TOILET FIXTURES ARE TO BE INSTALLED TO WITHSTAND A MIN. VERT. OR HORIZ. FORCE OF 250 POUNDS.

- KEYED FLOOR PLAN NOTES:**
- FLOOR DRAIN (F.D.) - SEE PLUMBING DRAWINGS.
 - HI/LO ADA DRINKING FOUNTAIN - SEE PLUMBING DRAWINGS.
 - ELECTRICAL FLOOR BOX - SEE ELEC. DWGS & COORD. W/ FURN VENDOR.
 - APPROX. LOCATION OF OWNER'S SUPPLIED TV SCREEN / MONITOR. G.C. SHALL COORDINATE BLOCKING, POWER, & DATA INSTALLATION W/ PROVIDER & TENANT AS REQUIRED.
 - OUTDOOR WALL SCONCE (WS) - SEE ELEVATIONS & ELECTRICAL DRAWINGS.
 - IN-GROUND UPLIGHT (UL) FOR SIGNAGE - SEE ELECTRICAL DRAWINGS.
 - LINE OF CANOPY (CNP) - 3" ALUM. W/ INDUSTRIAL FASCIA - 9" CLEARANCE - SEE ELEVATIONS.
 - LINE OF FRONT CANOPY (CNP w/ LGHT) - 6" ALUM. W/ LIGHTING - 15 FT CLEARANCE - SEE ELEVATIONS.
 - PREFIN. DOWNSPOUT SYSTEM (#6; SQUARE 4"x4" MIN. EACH) W/ PREFIN. METAL LEADER HEAD - TIE INTO DRAIN SYSTEM - SEE CIVIL DRAWINGS.
 - EXTERIOR SIGNAGE (SIGN.) BY OWNER - SEE ELEVATIONS.
 - PREFIN. DOWNSPOUT SYSTEM (#1; SQUARE 4"x4" MIN.) - TIE INTO DRAIN SYSTEM - SEE CIVIL DRAWINGS.

***NOT ALL KEYED NOTES APPLY TO EACH PLAN SHEET



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A1.1 **TYP. FIRE EXTINGUISHER CABINET**
SCALE: 1" = 1'-0"

11-A-24-PD
8/30/2024

DATE: 4/5/2024
PROJECT NO.: 23101
PROJECT MGR.: CRF

A1.1