

EXHIBIT A.1 CURRENT OWNERSHIP- RR LAND LLC

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

Elan Barry

From: Faris Eid
Sent: Friday, July 23, 2021 1:28 PM
To: Elan Barry
Cc: Scott Falvey; Kelly Headden (kheaden@bma1915.com); Mickey Sutliff; 'Kevin Matherly'
Subject: 201100 F01 2021-07-23 Authorization e-mail from Randy Boyd re Planned development

Elan,

See below and please confirm the inclusion of all the properties. Thanks

Sincerely,

Faris N. Eid, AIA, LEED AP

President/Principal-In-Charge
Design Innovation Architects
Direct: 865.243.8441 Cell: 865.740.8984

From: Randy Boyd <rdb@randyboyd.com>
Sent: Friday, July 23, 2021 12:52 PM
To: Faris Eid <FEid@dia-arch.com>
Subject: Planned development Proposal

Dear Planning Commissioners and City Council members,

My property is located within the proposed Planned Development area identified on the maps included with the application. I am in support of the Planned Development and approve the inclusion of my property for its use.

Properties included –

Parcel ID: 095AM018; 501 E Jackson Ave; RR Land LLC

Parcel ID: 095AM021; 0 E Jackson Ave; RR Land LLC

Parcel ID: 095HB00801; 205 Patton St; RR Land LLC

Parcel ID: 095HB002; 400 E Jackson Ave; RR Land LLC

Parcel ID: 095HB003; 0 E Jackson Ave; RR Land LLC

Parcel ID: 095HB004; 651 Willow Ave; RR Land LLC

Parcel ID: 095HB005; 501 Willow Ave; RR Land LLC

Parcel ID: 095HC010; 0 Patton St; RR Land LLC

Parcel ID: 095HC012; 650 Willow Ave; RR Land LLC

Parcel ID: 095AM015; 107 Randolph Street; owned by Jamie A. Pavlis, under contract to sell to RR Land LLC – closing expected July 2021

Parcel ID: 095AK018.01; 702 East Jackson Ave.; owned by Jamie A. Pavlis, under contract to sell to RR Land LLC – closing expected July 2021

Parcel ID: 095HC015; 401 Georgia Street (.20 acre portion); owned by Daniel W. King, under contract to sell to RR Land LLC – closing expected July 2021

In addition, properties also include that property acquired by RR Land LLC from Norfolk Southern Railway Company by Quitclaim Deed dated May 11, 2021, that adjoins one of more the parcels listed above.

Randy Boyd
Managing Member
RR Land, LLC

EXHIBIT A.2 CURRENT OWNERSHIP- QUITCLAIM DEED NORFOLK SOUTHERN

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

After recording, return to:
OWNER/RESPONSIBLE TAXPAYER:
RR Land, LLC
P. O. Box 51887
Knoxville, Tennessee 37950

Nick McBride
Register of Deeds
Knox County

STATE OF TENNESSEE)
)
COUNTY OF Knox)

Knox County, TN Page: 1 of 8
REC'D FOR REC 5/20/2021 8:03 AM
RECORD FEE: \$45.00 T20210032439
M. TAX: \$0.00 T. TAX: \$3,700.00
202105200095601

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS,

THAT NORFOLK SOUTHERN RAILWAY COMPANY, a Virginia corporation,
Grantor, for and in consideration of the sum of ONE AND 00/100 DOLLARS (\$1.00) and other
good and valuable considerations, to it in hand paid by the Grantee hereinafter named, the receipt
whereof is hereby acknowledged, does hereby quitclaim unto RR LAND, LLC, a Tennessee
limited liability company, Grantee, with a mailing address of P.O. Box 51887, Knoxville,
Tennessee 37950, the following described real estate located in Knoxville, County of Knox,
State of Tennessee, to wit:

SEE EXHIBIT A

SUBJECT, however, to any easements, reservations, conditions, licenses and restrictions,
whether or not of record.

Grantor further hereby terminates that reservation and the covenants contained therein for
abutments in that deed from Southern Railway Company to T. L. Lay Packing Company, dated
July 27, 1949, filed of record in Deed Book 739, page 521 in the Knox County Register of Deeds
Office.

FOR SOURCE OF TITLE see deeds filed for record in Warranty Deed Book 185,
page 390, Warrnaty Deed Book 281, page 98 and Warranty Deed Book 1134, page
196 all in the Knox County Registe of Deeds Office.

IN TESTIMONY WHEREOF, Grantor has caused this instrument to be executed by and through its duly authorized officers and its corporate seal to be hereunto affixed, this 11th day of May, 2021.

Norfolk Southern Railway Company

By

Krist D. Blair
Real Estate Manager

STATE OF GEORGIA)

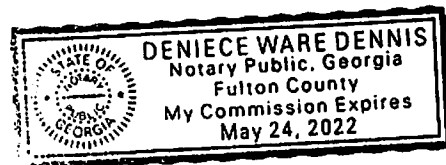
COUNTY OF Fulton)

Personally appeared before me, Krist D. Blair, Real Estate Manager of Norfolk Southern Railway Company, with whom I am personally acquainted, and who acknowledged that he/she executed the within instrument for the purposes herein contained and who further acknowledged that he/she is the Real Estate Manager of Norfolk Southern Railway Company and is authorized to execute this instrument on behalf of the maker.

WITNESS my hand, at office, this 11th day of May, 2021.

[Signature]
Notary Public

My Commission Expires: May 24, 2022



STATE OF TENNESSEE)
)
COUNTY OF Knox)

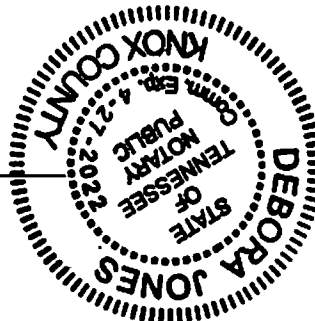
I hereby swear or affirm that the actual consideration for this transfer is ONE MILLION AND NO/100 DOLLARS (\$1,000,000.00).

Angela Boyd
AFFIANT - Grantee

Subscribed and sworn to before me, on
this 19 day of May, 2021.

Debora Jones
Notary Public

My commission expires: 4.27.2022



This instrument prepared by:

Ryan M. Hankins
General Attorney - Real Estate
Norfolk Southern Corporation
1200 Peachtree Street, NE
Atlanta, Georgia 30309

EXHIBIT A TO QUITCLAIM DEED

DESCRIPTION

Situated in the First Civil District of Knox County, Tennessee and within the Sixth Ward of the City of Knoxville, Tennessee being known and being more particularly described as follows:

BEGINNING at an iron rod set, N:603,081.29 E: 2,586,154.67, along the northwesterly right-of-way of Southern Railroad and being the common corner of RR Land LLC (Inst. No. 201609010014589) and Wallace (Inst. No. 201109010011915), said iron rod being South 00 deg. 01 min. 23 sec. West, 885.52 feet from the City of Knoxville Control Monument Number 1256 (N: 603,966.817, E: 2,586,155.029);

Thence leaving said common line, along said right-of-way South 40 deg. 29 min. 30 sec. East, 49.38 feet to an iron rod set being a common corner of King (Inst. No. 200606260109054);

Thence along said line the following four (4) calls:

Thence South 48 deg. 51 min. 20 sec. West, 79.16 feet to an iron rod set;

Thence South 53 deg. 19 min. 58 sec. West, 45.98 feet to an iron rod set;

Thence South 62 deg. 35 min. 37 sec. West, 39.68 feet to an iron rod set;

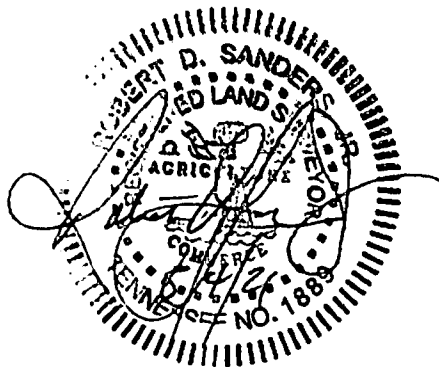
Thence South 75 deg. 33 min. 20 sec. West, 49.41 feet to an iron rod set along the northerly line of the First Creek Viaduct;

Thence along said line South 78 deg. 06 min. 47 sec. West, 86.56 feet to an iron rod set being the common corner of RR Land LLC (Inst. No. 201609010014589);

Thence along said common line the following four (4) calls:

Thence North 87 deg. 54 min. 00 sec. West, 49.08 feet to an iron rod set;

Thence North 83 deg. 01 min. 00 sec. West, 53.36 feet to an iron rod set;



Thence North 80 deg. 45 min. 00 sec. West, 47.23 feet to an iron rod set;

Thence North 80 deg. 33 min. 00 sec. West, 72.15 feet to an iron rod set along the easterly right-of-line of Willow Ave;

Thence crossing over said right-of-way North 78 min. 54 min. 48 sec. West, 88.98 feet to an iron rod set being the common corner of RR Land LLC (Inst. No. 201609010014589);

Thence along said common line the following four (4) calls:

Thence North 49 deg. 12 min. 46 sec. East, 18.22 feet to an iron rod set;

Thence North 80 deg. 30 min. 30 sec. West, 7.89 feet to an iron rod set;

Thence 192.01 feet along a curve to the left, having a radius of 496.88 feet and a chord bearing and distance of North 88 deg. 30 min. 12 sec. West, 190.82 feet to an iron rod set;

Thence South 48 deg. 49 min. 45 sec. West, 134.23 feet to an iron rod set along the northeasterly right-of-way of Patton Street;

Thence along said right-of-way North 40 deg. 26 min. 57 sec. West, 48.00 feet to an iron rod set being the common corner of RR Land LLC (Inst. No. 201609010014589);

Thence along said line North 48 deg. 57 min. 55 sec. East, 142.90 feet to an iron rod set being the common corner of RR Land LLC (Inst. No. 201609010014589);

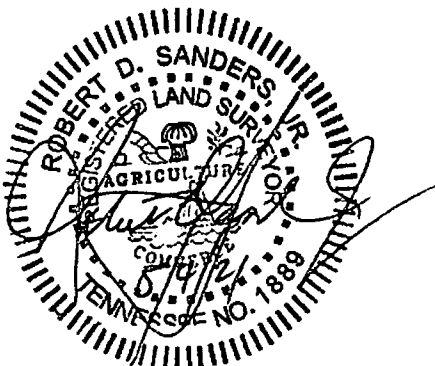
Thence along said line the following five (5) calls:

Thence 73.23 feet along a curve to the right, having a radius of 516.88 feet and a chord bearing and distance of North 89 deg. 28 min. 20 sec. East, 73.17 feet to an iron rod set;

Thence South 48 deg. 49 min. 45 sec. West, 25.36 feet to an iron rod set;

Thence 165.46 feet along a curve to the right, having a radius of 516.88 feet and a chord bearing and distance of South 86 deg. 05 min. 33 sec. East, 164.75 feet to an iron rod set;

Thence South 80 deg. 30 min. 39 sec. East, 24.51 feet to an iron rod set along the westerly right-of-way line of Willow Ave;



Thence along said right-of-way North 49 deg. 12 min. 42 sec. East, 18.20 feet to an iron rod set;

Thence crossing over said right-of-way South 79 deg. 09 min. 52 sec. East, 89.28 feet to an iron rod set being the common corner of RR Land LLC (Inst. No. 201609010014589);

Thence along said common line the following eight (8) calls:

Thence South 80 deg. 19 min. 00 sec. East, 44.07 feet to an iron rod set;

Thence South 81 deg. 23 min. 00 sec. East, 43.57 feet to an iron rod set;

Thence South 85 deg. 03 min. 00 sec. East, 77.78 feet to an iron rod set;

Thence North 84 deg. 21 min. 00 sec. East, 49.57 feet to an iron rod set;

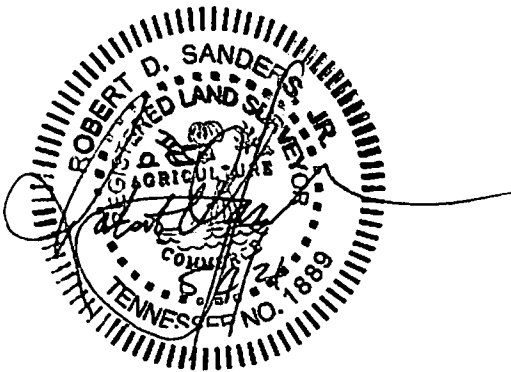
Thence North 73 deg. 35 min. 00 sec. East, 40.82 feet to an iron rod set;

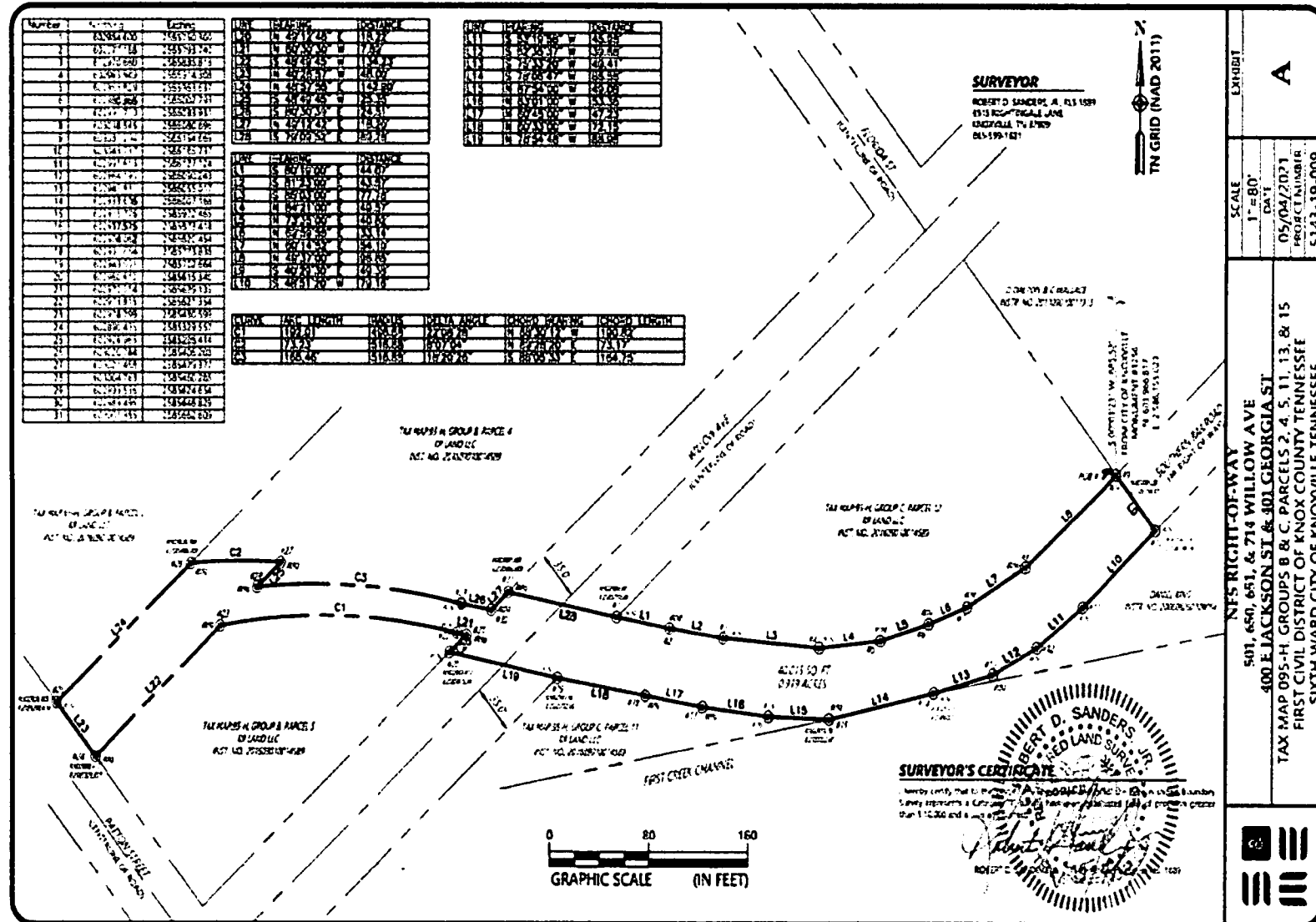
Thence North 69 deg. 59 min. 56 sec. East, 33.14 feet to an iron rod set;

Thence North 60 deg. 14 min. 52 sec. East, 54.10 feet to an iron rod set;

Thence North 49 deg. 37 min. 00 sec East, 96.85 feet to the POINT OF BEGINNING and containing 0.919 acres (40,015 square feet) more or less.

Also show on Railway Drawing number RB-2021-17.





Z:\Users\realist\Real Estate Drawing Numbers\RB-2021\RB-2021-17-wsp

Survey Map of the City of Knoxville, Tennessee, showing the location of the property and the survey results. The map is a plan view showing the property and the survey results. The map is a plan view showing the property and the survey results.

True Copy Certification

I, James E. Bondurant, Jr., do hereby make oath that I am a licensed attorney and/or the custodian of the electronic version of the attached document tendered for registration herewith and that this is a true and correct copy of the original document executed and authenticated according to law.

James E. Bondurant, Jr.
Signature

State of Tennessee

County of Knox

Personally appeared before me, Debora Jones, a notary public for this county and state, James E. Bondurant, Jr., who acknowledges that this certification of an electronic document is true and correct and whose signature I have witnessed.

Debora Jones
Notary

My Commission Expires: 4.27.2022

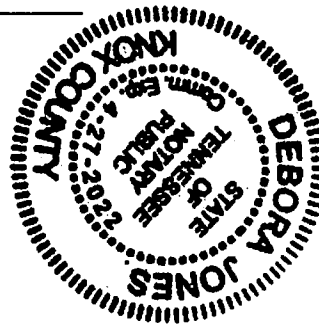


EXHIBIT A.3 CURRENT OWNERSHIP- CONTRACT KING PROPERTY

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

**COMMERCIAL DIVISION
REAL ESTATE SALES CONTRACT**

This Contract entered on this ____ day of March 2021 by and between Daniel W. King herein referred to as Seller and RR Land LLC. or assigns herein referred to as Buyer(s).

WITNESSETH:

1) Subject to the terms and conditions hereinafter set forth, the Seller has contracted to sell and the Buyer hereby agrees to purchase the following described real estate (the Property):

Approximately .2 acres of portion of land located at 401 Georgia Street in Knoxville Tennessee. Also described on CLT Map #95H Group C Parcel #015 with approximate .2 acres. (see plat attached).

2) The purchase price for the Property Fifty Thousand Dollars and no/100 cents (\$50,000.00) and is to be paid as follows: Five Thousand Dollars and no/100 cents (\$5,000.00), paid within 5 business days of the execution of this contract in the form of (check one) ☐ Cash ☒ Check, the receipt of which is hereby acknowledged as earnest money which sum shall apply upon the purchase price. Earnest monies shall be held in an Escrow Account maintained by Tennessee Valley Title: The balance of the purchase price shall be paid as follows:

Cash at closing.

3) This sale is to be closed within 14 days after the end of Due Diligence and the Seller shall grant possession of this property to the Buyer no later than closing.

4) The current year's real estate taxes on this Property shall be prorated as of the date of closing. All other taxes and assessments shall be current as of the date of closing.

5) In case merchantable and unencumbered title cannot be obtained which is acceptable to the Buyer, earnest money is to be returned to the Buyer and this Contract shall be null and void. In case legal action is necessary to perfect the title, such action must be taken by the Seller promptly at his own expense, whereupon the time herein specified for closing by the Buyer will thereby be extended for the period necessary for such prompt action. The Seller shall convey the Property to the Buyer by general Warranty Deed free of encumbrances except (i) taxes that are not yet due or payable; and (ii) restrictive covenants and easements of record, which do not preclude the Buyer from using the Property for a buyer use. Title defects against which title insurance can be obtained at Seller's expense will not be deemed to render the title unmerchantable or encumbered.

6) Both parties mutually understand and agree that time is of the essence of this Contract. Should the Buyer fail to perform the covenants herein contained within the time specified, Seller shall have the right to pursue any and all remedies available to Seller at law or in equity, including, without limitation, requiring specific performance on the part of Buyer, and retaining as liquidated damages all sums which have heretofore been paid to the Seller or the Agent by the Buyer.

7) If the Seller defaults in the performance of this contract, Buyer may reclaim the earnest money deposit and pursue any and all remedies available at law, or in equity.

8) In the event legal action is instituted by the Agent, or any party to this contract arising out of the execution of this contract or the sale of the Property, or to collect commissions, the prevailing party shall be entitled to receive from the other party all costs of enforcing this agreement, including a reasonable attorney fee.

RDK

9) If the improvements on said property are destroyed or substantially damaged by any cause before delivery of the deed, the Buyer shall have the option of enforcing this contract or canceling same by written notice within ten (10) days thereafter. If canceled, the earnest money shall be returned to the Buyer. If the Agent shall deem it necessary to institute an interpleader or similar action in order to determine the proper disposition of the earnest-money deposit, the party determined by the court not to be entitled to receive those funds shall pay or shall reimburse the Agent for all of the Agent's reasonable attorney's fees, costs and expenses incurred in connection with the filing and prosecution of that action.

10) Seller and Buyer understand and agree that the Agent shall deposit earnest money in an escrow/trust account following the execution of this Contract by all parties. The parties to this Contract understand and agree that disbursement of earnest money held by the Agent, acting as escrow agent, can occur at closing, upon written agreement signed by all parties having an interest in the funds, upon court order, upon default by Buyer or Seller as described in Paragraphs 6 and 7 above, or upon failure of any loan approval as specified in the terms and conditions as described herein.

11) Buyer agrees to accept this Property in its "AS IS" condition under the terms of this paragraph, unless otherwise specified. Buyer shall have the privilege and responsibility of making inspections of the systems prior to the closing of sale.

Buyer agrees that he has inspected the Property and has not relied upon any representation made by the Agent in describing this Property and understands that the Agent involved in this transaction makes no warranties regarding the Property, including the physical condition of the building and other improvements.

12) This is a legal document and each party to this Contract must read carefully and fully understand the conditions and terms set forth in this Real Estate Sales Contract. The Agent is serving only as a real estate broker in connection with this transaction and cannot give legal advice to any party. Any pronoun used herein shall include the masculine, feminine and neuter and the singular shall include the plural and the plural, the singular, as required by the context hereof.

13) Buyer and Seller acknowledge that they have read and understand this Contract and have received a copy hereof.

Other Terms and Conditions:

The Seller represents to purchaser that, to the best of Seller's knowledge, (i) the Land is free of hazardous substances, and (ii) there are no conditions on the land which constitute a violation of any Environmental Laws. (iii) The Purchaser, at Purchaser's sole option shall conduct a Series I Environmental test at Purchaser's sole expense. In the event that either party discovers the presence of hazardous substances or the violation of Environmental Laws prior to closing, it shall promptly notify the other party. Either party may then promptly terminate this agreement by giving written notice to the other in which event all earnest moneys shall be returned to the Purchaser or the parties shall have no further rights or obligations hereunder.

Inspection Period. For a period of Thirty (30) days after the Date of this Contract (the "Inspection Period"), Purchaser and its employees and agents shall have the right (the "Inspection Right") to enter upon the Property for the purpose of inspecting and investigating matter relating to the physical condition of the Property (which matters may include, without limitation, the soil conditions thereof, the environmental status thereof) and to conduct such other inspections and investigations as Purchaser shall deem necessary or desirable in order to satisfy Purchaser's other investment criteria with respect to the Property (which criteria may include, without limitation, matters relating to

RDB

environmental reports, zoning, doing a one lot subdivision approved by the Metropolitan Planning Commission and governmental permits); provided, however, the Purchaser shall not have the right to conduct any so called "Phase II" environmental testing on or about the Property without the prior written consent of Seller. Purchaser shall and does hereby indemnify and hold harmless Seller from and against any claim, loss, damage or obligation arising out of or incurred in connection with the exercise of the Inspection Right by Purchaser, and such indemnity obligation shall survive both the closing and any termination of this Contract without the closing having occurred. Should Buyer find the property does not suit their needs for any of the provisions above this contract will be null and void and the earnest money returned to the Buyer.

Date and Time Executed

3-17-21

Buyer

3-17-21

Date and Time Executed

Seller

ACQUINITY MAP

2.1X



NORTH/OLK SOUTHERN RAILROAD

PROPERTY TO BE TRANSFERRED
~0.2 ACRES

CURRENT OWNER:
KING, DANIEL W.
401 GEORGIA ST
KNOXVILLE, TN 37915

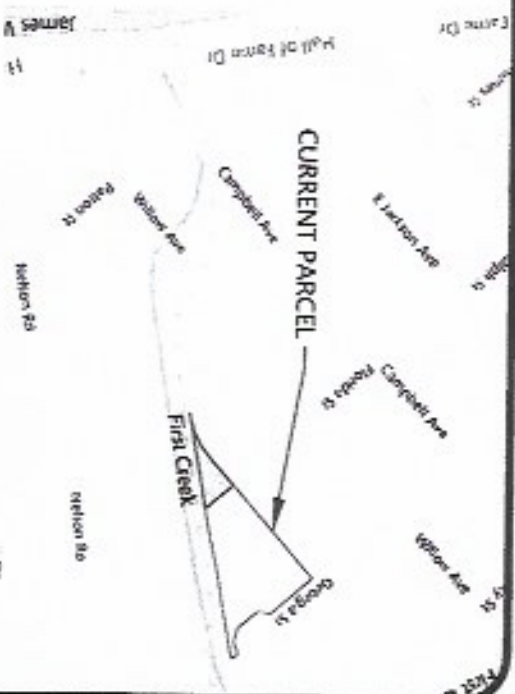
CREEK

SAN

-S.A.N

-S.A.N

PROPERTY TRANSFER EXHIBIT



VICINITY MAP

NTS.

PROPERTY NOTES:

PROPERTY LINES BASED ON FINAL PLAT OF
RESUBDIVISION OF RIVERFRONT WILLOW STREET
REDEVELOPMENT PROJECT, PART OF LOT 7 AND 8R
BLOCK K SECOND DISTRICT OF KNOX COUNTY
TENNESSEE, WITHIN THE 6TH WARD OF CITY OF
KNOXVILLE.

CITY BLOCK: 07304

CLT MAP: 95

INSERT: H

GROUP: C

PARCEL NUMBER: 015

ADDRESS:

401 GEORGIA ST.
KNOXVILLE, TN 37915



GRAPHIC SCALE (IN FEET)

SCALE:
1" = 100'

FIGURE NO.

DATE:

03/16/2021

PROJECT NUMBER

5143-19-009

X1.5



EXHIBIT A.4 CURRENT OWNERSHIP- DAVID DEWHIRST

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

Elan Barry

From: Faris Eid
Sent: Monday, July 26, 2021 10:48 AM
To: Elan Barry
Cc: Scott Falvey
Subject: 201100M F02 2021-07-26 Planned Dev - Dewhirst-Heinz approval on 095HB001

Sincerely,

Faris N. Eid, AIA, LEED AP

President/Principal-In-Charge
Design Innovation Architects
Direct: 865.243.8441 Cell: 865.740.8984

From: Mark Heinz <mark@dewhirstproperties.com>
Sent: Monday, July 26, 2021 10:45 AM
To: Faris Eid <FEid@dia-arch.com>
Cc: Kevin Matherly - Partners Development <kmatherly@partnersinfo.com>; Kelly Headden <kheadden@bma1915.com>; David Dewhirst <david@dewhirstproperties.com>
Subject: RE: 201100M F02 2021-07-26 Planned Dev Final Draft Status

Dear Planning Commissioners and City Council members,

My property, Parcel ID **095HB001**, is located within the proposed Planned Development area identified on Exhibit C included with the application. I am in support of the Planned Development and approve the inclusion of my property for its use.

David Dewhirst
123 South Gay Street
Knoxville, TN 37902
865.971.3137

From: Faris Eid [mailto:FEid@dia-arch.com]
Sent: Monday, July 26, 2021 10:05 AM
To: Mark Heinz (mark@dewhirstproperties.com)
Cc: Kevin Matherly - Partners Development (kmatherly@partnersinfo.com); Kelly Headden (kheadden@bma1915.com)
Subject: Fwd: 201100M F02 2021-07-26 Planned Dev Final Draft Status

Mark

See attached for the revised documents. Please send us the email as soon as you can. Thanks

Sent from my Verizon, Samsung Galaxy smartphone
Get [Outlook for Android](#)

From: Kevin Matherly <kmatherly@partnersinfo.com>
Sent: Monday, July 26, 2021, 9:59 AM

EXHIBIT A.5 CURRENT OWNERSHIP- BOTTOMS GROUP ONE LLC

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

Elan Barry

From: Faris Eid
Sent: Monday, July 26, 2021 11:06 AM
To: Elan Barry
Cc: Scott Falvey
Subject: 01100M F02 2021-07-26 Planned Dev Dewhirst-Heinz approval to include Parcel ID 095AM017 and 095AM016

Sincerely,

Faris N. Eid, AIA, LEED AP

President/Principal-In-Charge

Design Innovation Architects

Direct: 865.243.8441 Cell: 865.740.8984

From: Mark Heinz <mark@dewhirstproperties.com>
Sent: Monday, July 26, 2021 10:51 AM
To: Faris Eid <FEid@dia-arch.com>
Cc: Kevin Matherly - Partners Development <kmatherly@partnersinfo.com>; Kelly Headden <kheadden@bma1915.com>; David Dewhirst <david@dewhirstproperties.com>
Subject: RE: 201100M F02 2021-07-26 Planned Dev Final Draft Status

Dear Planning Commissioners and City Council members,

Our properties, Parcel ID **095AM017** and **095AM016**, are located within the proposed Planned Development area identified on Exhibit C included with the application. We are in support of the Planned Development and approve the inclusion of our property for its use.

Bottoms Group One, LLC
Mark Heinz & David Dewhirst
123 South Gay Street
Knoxville, TN 37902
865.971.3137

From: Faris Eid [mailto:FEid@dia-arch.com]
Sent: Monday, July 26, 2021 10:05 AM
To: Mark Heinz (mark@dewhirstproperties.com)
Cc: Kevin Matherly - Partners Development (kmatherly@partnersinfo.com); Kelly Headden (kheadden@bma1915.com)
Subject: Fwd: 201100M F02 2021-07-26 Planned Dev Final Draft Status

Mark

See attached for the revised documents. Please send us the email as soon as you can. Thanks

Sent from my Verizon, Samsung Galaxy smartphone
Get [Outlook for Android](#)

EXHIBIT A.6 CURRENT OWNERSHIP- KING PROPERTY AUTHORIZATION

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

Elan Barry

From: Faris Eid
Sent: Monday, July 26, 2021 10:31 AM
To: Elan Barry
Cc: Scott Falvey
Subject: 201100M F01 2021-07-26 Approval to include Parcel 095HC015

[See below](#)

Sincerely,

Faris N. Eid, AIA, LEED AP

President/Principal-In-Charge

Design Innovation Architects

Direct: 865.243.8441 Cell: 865.740.8984

From: Randy Boyd <rdb@randyboyd.com>
Sent: Monday, July 26, 2021 9:40 AM
To: Roger Moore <RogerMoore@koellamoore.com>; Doug Kirchhofer <doug@boydsportsllc.com>
Subject: Fwd: Parcel 095HC015

Sent from my iPhone (any typos and all bad grammar are solely the fault of the iPhones auto correct features)

Begin forwarded message:

From: Daniel King <dking@universal-products.com>
Date: July 26, 2021 at 1:09:50 PM GMT
To: Randy Boyd <rdb@randyboyd.com>
Subject: Parcel 095HC015

Dear Randy,

RR Land, LLC is authorized to include property current owned by me in the Planned Development application.

Parcel – 095HC015

EXHIBIT A.7 CURRENT OWNERSHIP- PALVIS PROPERTY AUTHORIZATION

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

Elan Barry

From: Doug Kirchhofer <doug@boydsportsllc.com>
Sent: Tuesday, July 27, 2021 8:22 PM
To: Faris Eid
Cc: Elan Barry
Subject: FW: Planned Development application

In case this has not made its way to you yet – here is the Pavlis email.

Doug

From: nick Pavlis <nick@nickpavlis.com>
Date: July 24, 2021 at 8:19:20 AM EDT
To: "randy@randyboyd.com" <randy@randyboyd.com>
Subject: Pavlis reply

Dear Randy,

Consistent with our recent conversations, I am writing you on behalf of the owners of the property identified as Parcel ID: 095AM015 & Parcel ID: 095AK018.01. Those owner are myself and my relatives, Bill Pavlis, Tina Pavlis, Tyler Pavlis, Blake Pavlis. The have all authorized me to send this authorization and consent to your company's inclusion of our property in the Planned Development application you are going to file for the proposed development being pursued by RR Land LLC.

Thank You,

Nick Pavlis
Founder & Chief Strategist
Pavlis Public Strategies
865-599-4606
Pavlispublicstrategies.com

Sent from my iPhone

From: Doug Kirchhofer <doug@boydsportsllc.com<<mailto:doug@boydsportsllc.com>>>
Sent: Friday, July 23, 2021 9:32 AM
To: Roger Moore <rogermoore@koellamoore.com<<mailto:rogermoore@koellamoore.com>>>

EXHIBIT B.1 – EXPECTED PROJECT SCHEDULE

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

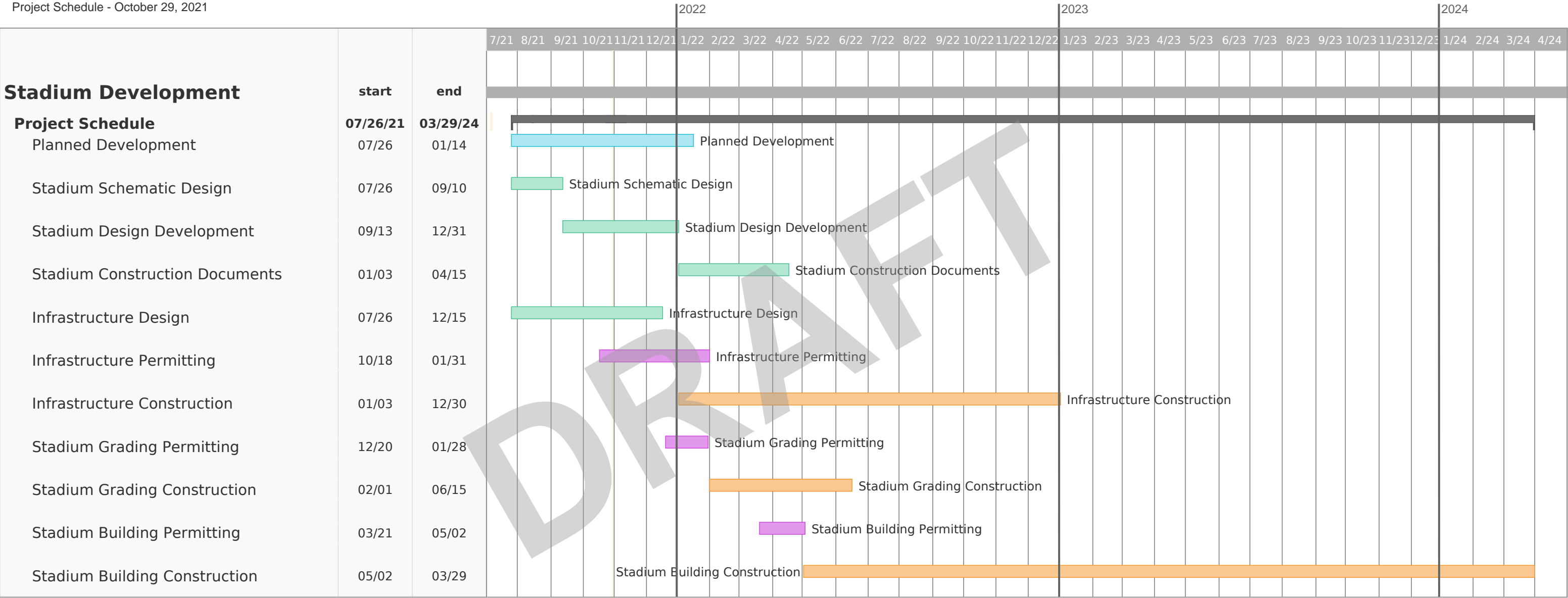
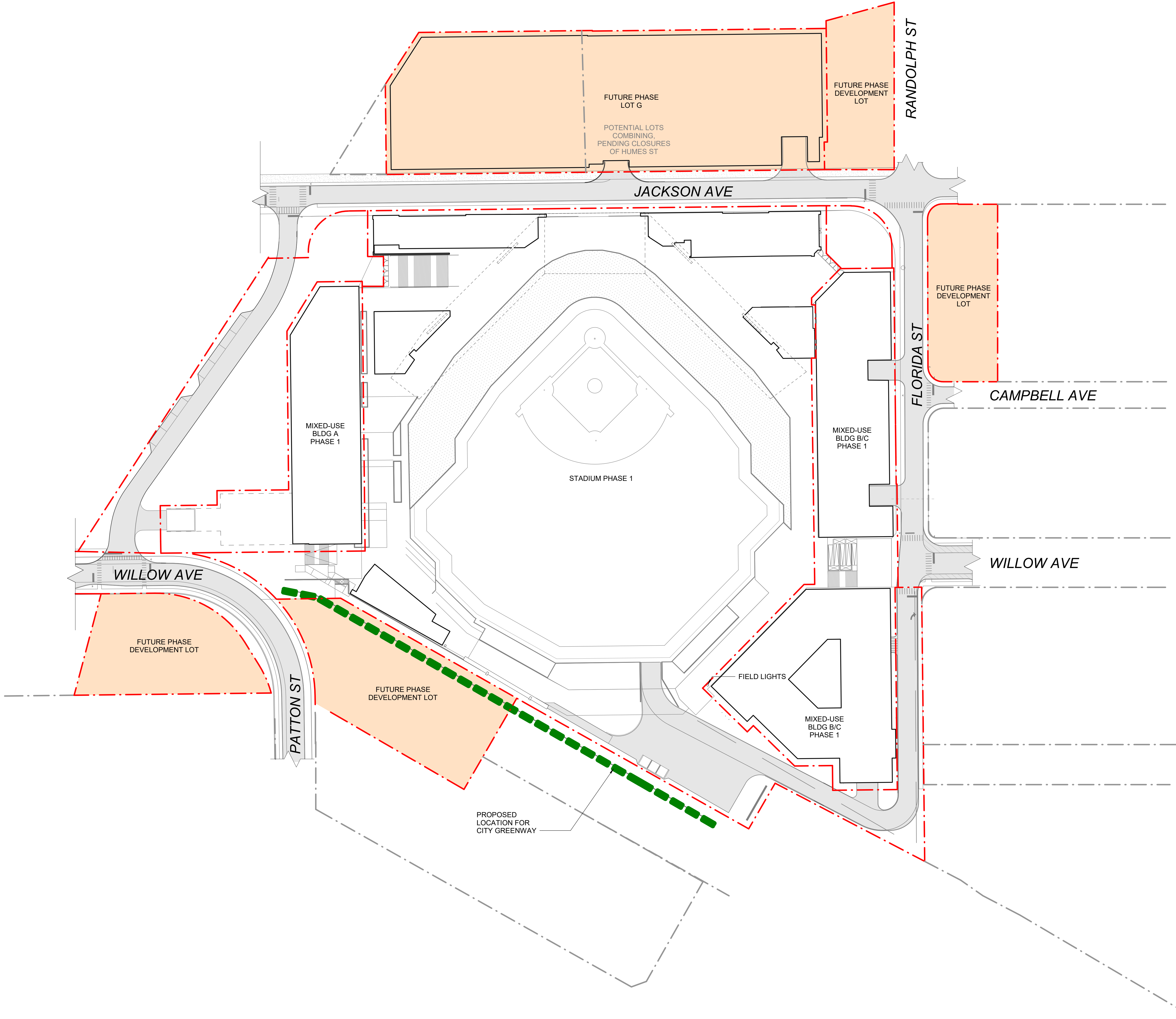


EXHIBIT C.0 – PLANNED DEVELOPMENT- FINAL PLAN-PHASE DIAGRAM

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540



GENERAL NOTES	
#	NOTE
DESIGN INTENT	SITE PLAN INDICATES OVERALL DESIGN INTENT BUT MAY BE SUBJECT TO CHANGE DEPENDING ON THE OWNER/DEVELOPER OF THE PROPERTY ONCE DETERMINED. ANY ALTERATIONS WILL MEET THE ZONING REQUIREMENTS OF THE IAU BASE ZONE, THE PLANNED DEVELOPMENT, AND CONDITIONS OF THE FINAL PLAN APPROVAL AS APPROPRIATE.
EASEMENTS	EASEMENT AGREEMENTS AND USE RESTRICTIONS BY AND BETWEEN RR LAND, LLC AND AFFILIATES, GEM COMMUNITY DEVELOPMENT GROUP, LLC, THE CITY OF KNOXVILLE, SPORTS AUTHORITY BOARD, AND KNOXVILLE UTILITIES BOARD, AS WOULD BE REQUIRED FOR THE FULL USE AND OPERATIONS O
PROPERTY LINES	PROPERTY LINE FINAL PLACEMENT APPROXIMATE, SUBJECT TO FUTURE FINAL PLATTING
ACCESSORY	LOCATIONS OF ACCESSORY STRUCTURES SUCH AS FREESTANDING ROOFED STRUCTURES, PERGOLAS, OR GAZEBOS ARE YET TO BE DETERMINED. THESE TYPES OF STRUCTURES MAY BE UTILIZED IN THE VARIOUS PLAZAS AS NEEDED FOR THE OPERATIONS OF THE STADIUM AND FACILITY AND WILL COMP

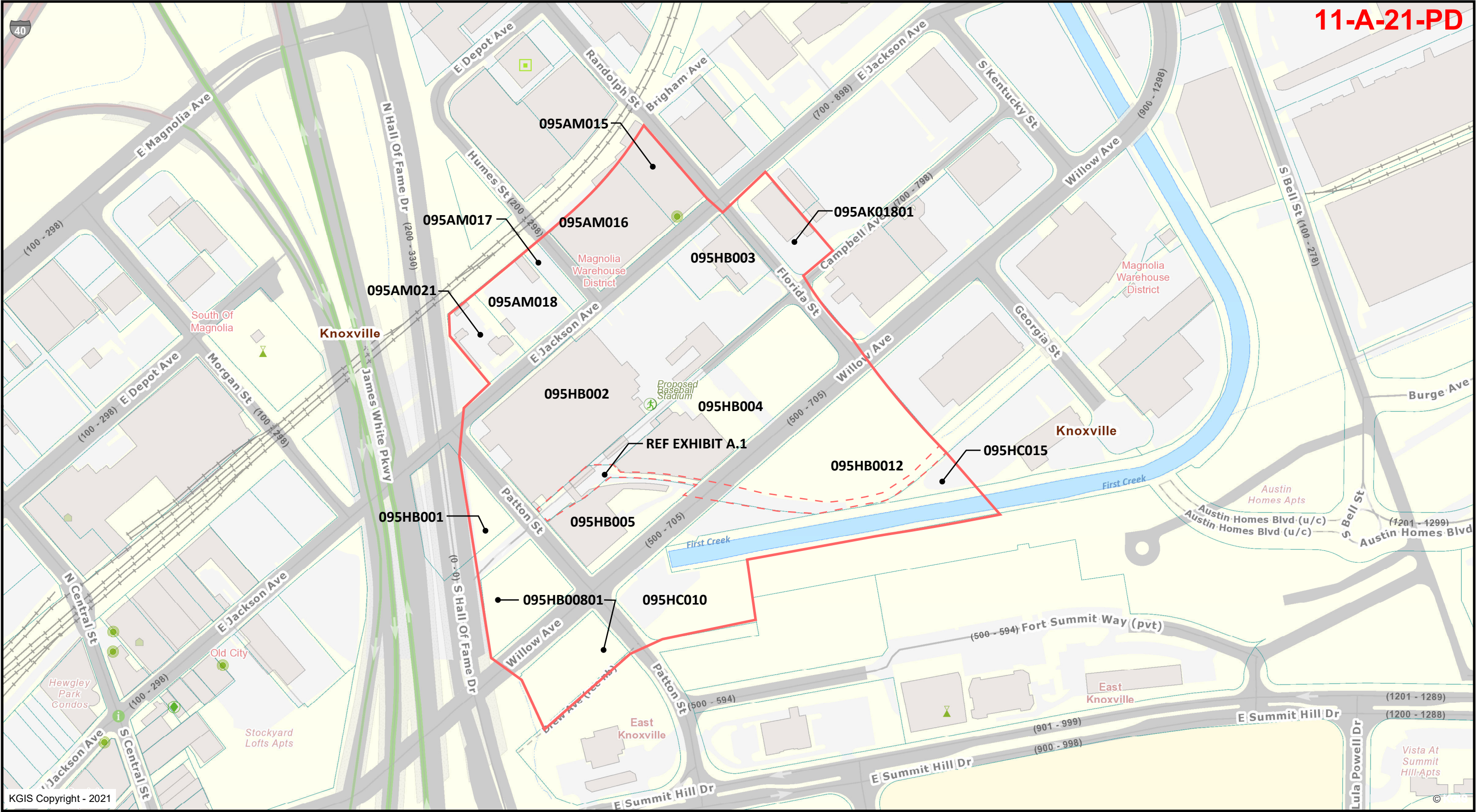
1 PHASING PLAN
C.0 0 10 50 100

EXHIBIT C.1 – EXTENT OF PLANNED DEVELOPMENT (CURRENT PARCELS)

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540



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= PROPOSED PLANNED DEVELOPMENT BOUNDARY

Planned Development Parcel ID's

Proposed Multi-Purpose Stadium Planned Development

Knoxville - Knox County - KUB Geographic Information System

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EXHIBIT C.2 – EXTENT OF PLANNED DEVELOPMENT (PROPOSED SITE PLAN)

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

EXHIBIT D.1 – PHASE 1 SITE PLAN LAYOUT

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

EXHIBIT D.2 – PHASE 2 SITE PLAN LAYOUT

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

GEMAA
GEM Associated Architects: A Joint Venture
BerkerMcMurry Architects + Design Innovation Architects

NOT FOR CONSTRUCTION

Jackson Ave.
Knoxville, TN 37902

PHASE 2 SITE LAYOUT PLAN

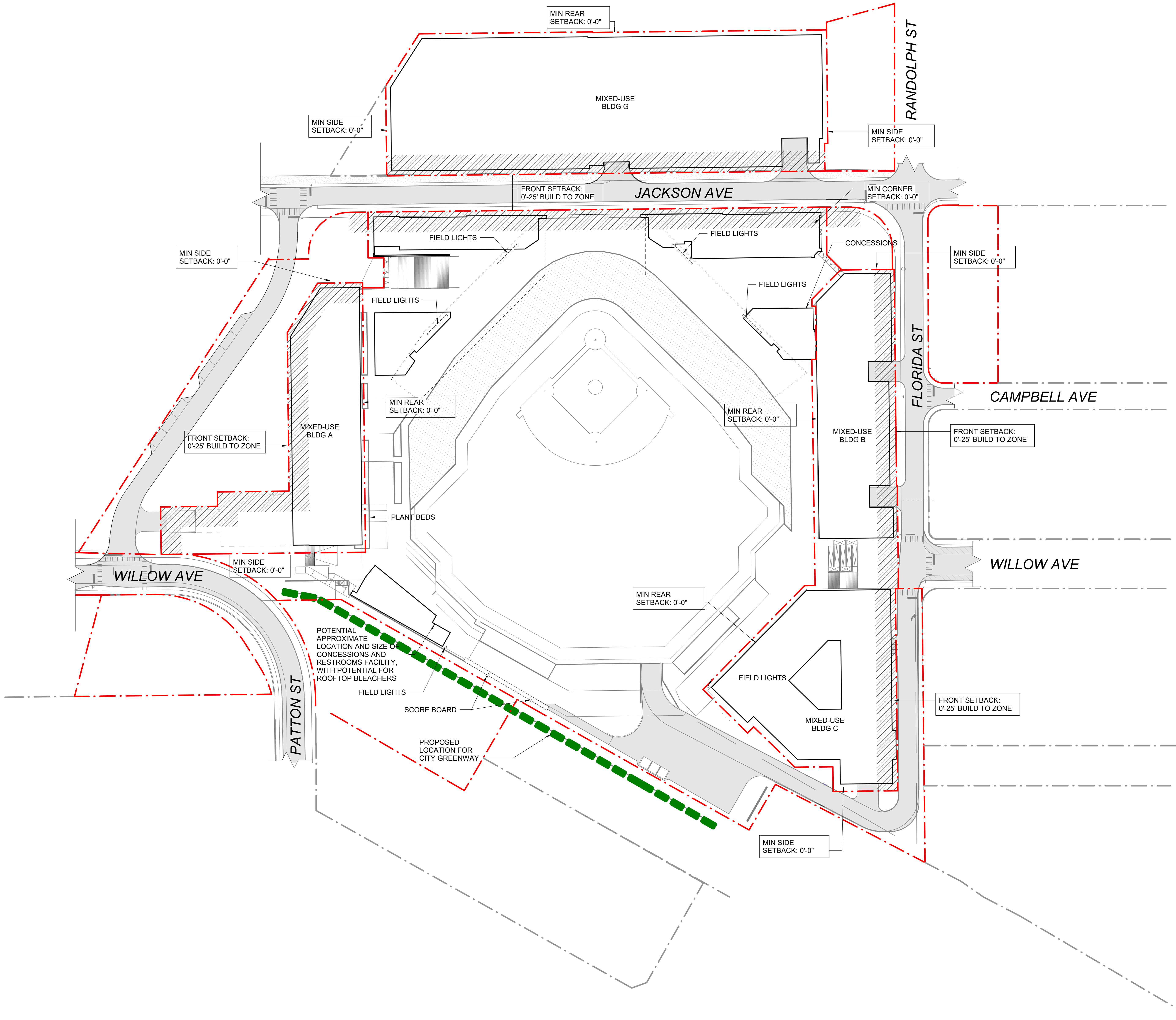


EXHIBIT D.3 – SITE PLAN PHASE 2 PROPOSED PROPERTY LINES AND SETBACKS

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540



GENERAL NOTES SETBACKS	
SETBACK	PD DIMENSIONAL STANDARD
FRONT SETBACK	0'-25' BUILD-TO-ZONE
SIDE SETBACK	MIN SIDE SETBACK 0'-0"
CORNER SETBACK	MIN CORNER SETBACK 0'-0"
REAR SETBACK	MIN REAR SETBACK 0'-0"

GENERAL NOTES	
#	NOTE
DESIGN INTENT	SITE PLAN INDICATES OVERALL DESIGN INTENT BUT MAY BE SUBJECT TO CHANGE DEPENDING ON THE OWNER/DEVELOPER OF THE PROPERTY ONCE DETERMINED. ANY ALTERATIONS WILL MEET THE ZONING REQUIREMENTS OF THE MAU BASE ZONE, THE PLANNED DEVELOPMENT, AND CONDITIONS OF THE FINAL PLAN APPROVAL AS APPROPRIATE.
EASEMENTS	EASEMENT AGREEMENTS AND USE RESTRICTIONS BY AND BETWEEN RR LAND, LLC AND AFFILIATES, GEM COMMUNITY DEVELOPMENT GROUP, LLC, THE CITY OF KNOXVILLE, SPORTS AUTHORITY BOARD, AND KNOXVILLE UTILITIES BOARD, AS WOULD BE REQUIRED FOR THE FULL USE AND OPERATIONS O
PROPERTY LINES	PROPERTY LINE FINAL PLACEMENT APPROXIMATE, SUBJECT TO FUTURE FINAL PLATTING
ACCESSORY	LOCATIONS OF ACCESSORY STRUCTURES SUCH AS FREESTANDING ROOFED STRUCTURES, PERGOLAS, OR GAZEBOS ARE YET TO BE DETERMINED. THESE TYPES OF STRUCTURES MAY BE UTILIZED IN THE VARIOUS PLAZAS AS NEEDED FOR THE OPERATIONS OF THE STADIUM AND FACILITY AND WILL COMP



EXHIBIT D.4 – SITE PLAN PHASE 2 RENDERED SITE PLAN- DESIGN INTENT

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

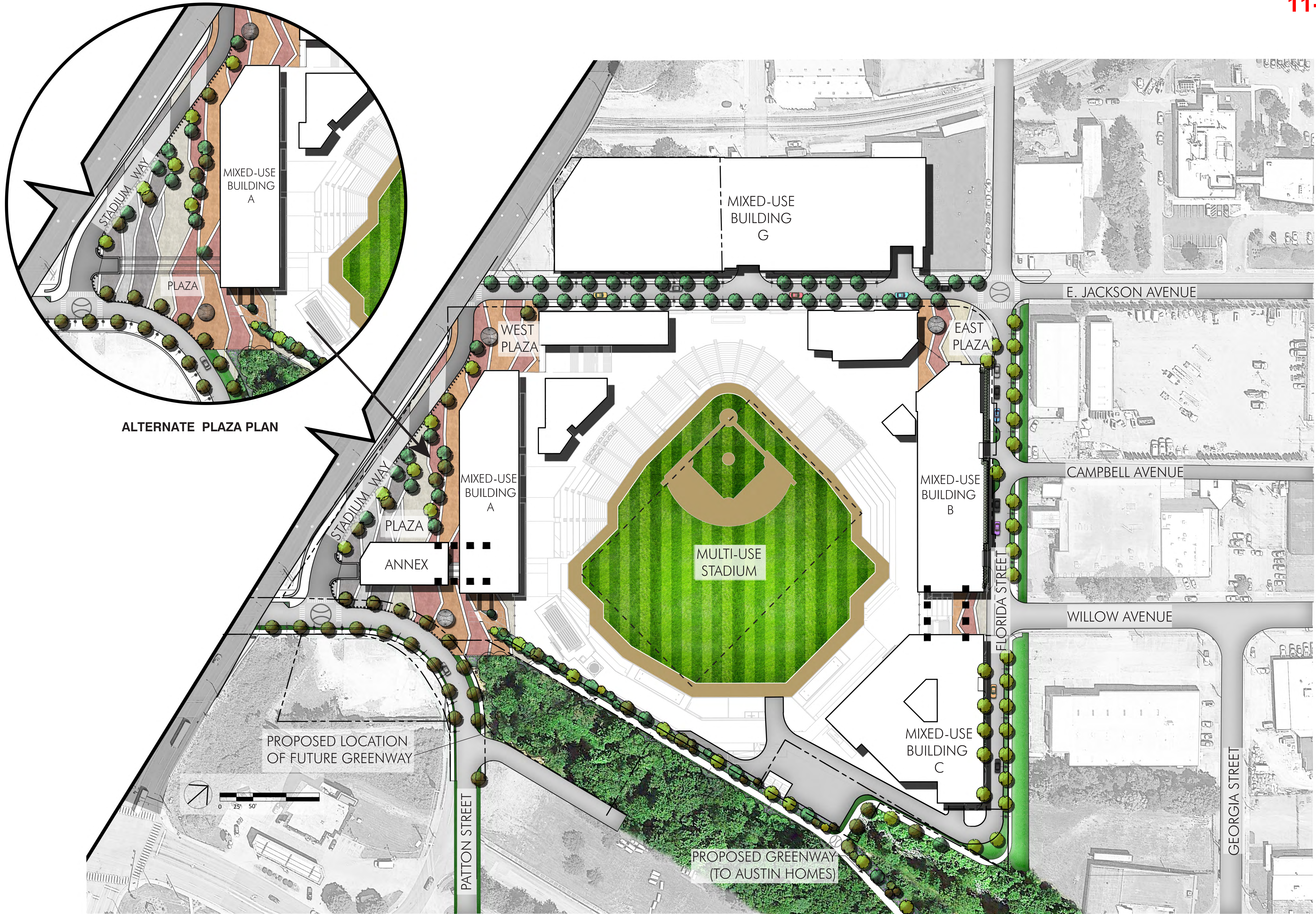


EXHIBIT D.5 – SITE LANDSCAPING INTENT CONCEPT PLAN

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

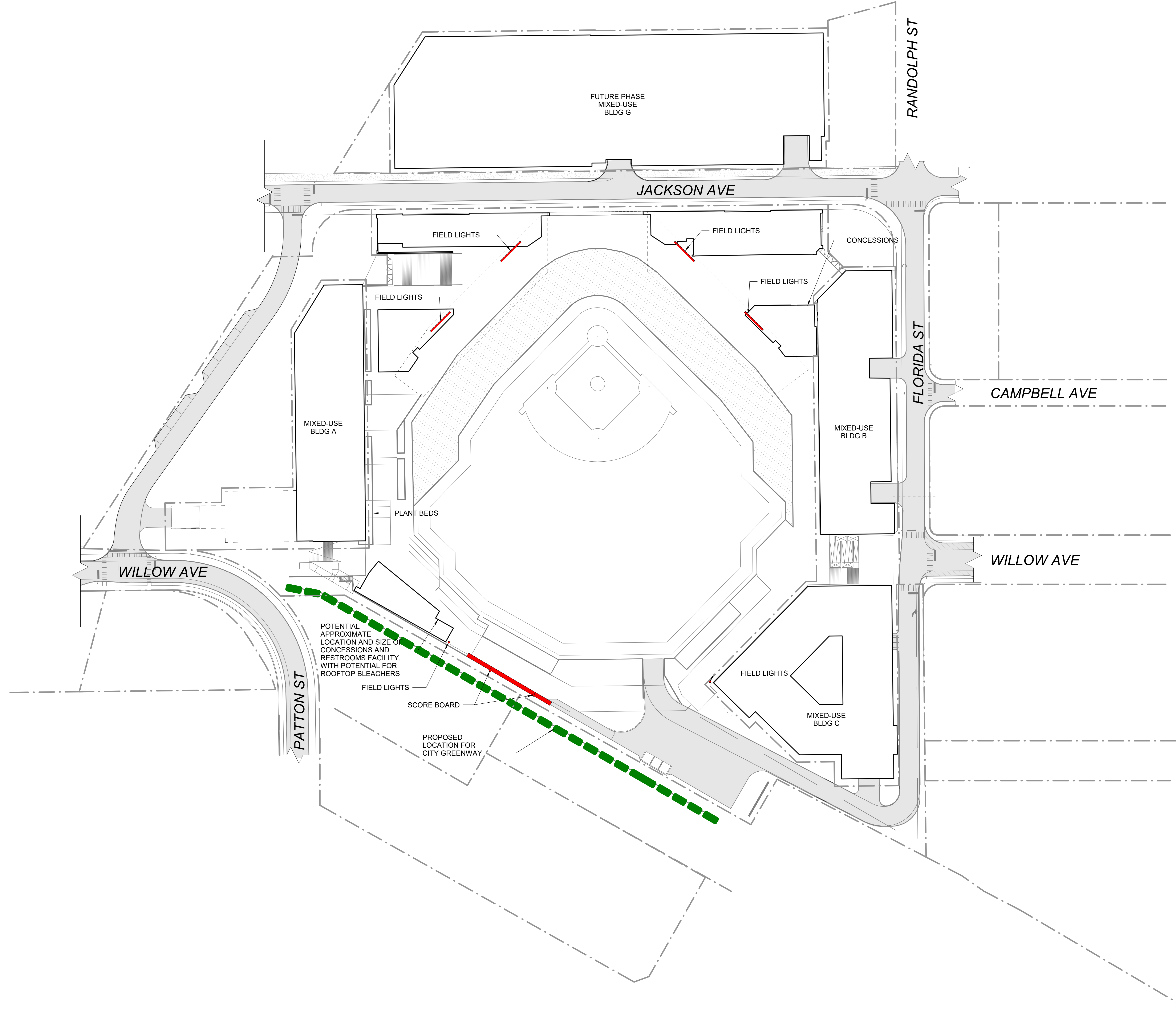
Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

EXHIBIT D.6 – STADIUM LIGHTING INTENT CONCEPT PLAN

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540



*THIS LIGHTING INTENT PLAN IS A CONCEPT PLAN TO ILLUSTRATE THE DESIGN INTENT, AND WILL BE SUBJECT TO DESIGN ADJUSTMENTS AS NECESSARY AS THE PROJECT DESIGN IS FURTHERED AND COORDINATED WITH: UTILITIES, REQUIRED SERVICES, BUILDINGS DESIGN, AND OTHER RELEVANT ELEMENTS.

10.2 EXTERIOR LIGHTING	
SECTION	APPROVED EXCEPTION FROM ORDINANCE
10.2.A.1	MODIFICATION REQUESTED FROM REQUIREMENT 10.2.B.1 CHANGING REQUIREMENT FOR MAXIMUM ALLOWABLE FOOTCANDLE TO OCCUR AT THE R.O.W. INSTEAD OF ANY LOT LINE.
10.2.B.1	MODIFICATION REQUESTED FROM REQUIREMENT 10.2.B.1 CHANGING REQUIREMENT FOR MAXIMUM ALLOWABLE FOOTCANDLE TO OCCUR AT THE R.O.W. INSTEAD OF ANY LOT LINE.
10.2.B.2	EXCEPTION REQUESTED TO REVISE REQUIREMENT 10.2.B.2 TO BE LUMINAIRES WITH AN UP-LIGHT RATING OF 0.THE "UP-LIGHT RATING OF 0" THAT WE ARE PROPOSING IS DERIVED FROM AN ALTERNATE RATING SYSTEM, THE B.U.G. (BACKLIGHT, UP-LIGHT, GLARE) RATING SYSTEM ADOPTED BY THE DARK-SKY ASSOCIATION THAT QUANTIFIES THE AMOUNT OF LIGHT A FIXTURE EMITS WITHIN DIFFERENT ZONES AROUND THE FIXTURE. A SITE LIGHT WITH AN UP-LIGHT RATING OF ZERO HAS A LIGHT-SOURCE, REFLECTOR AND LENS DESIGNED TO WORK TOGETHER AND DIRECT LIGHT DOWNWARD SO THAT IT MEETS DARK-SKY CERTIFICATION REQUIREMENTS
10.2.B.3	EXCEPTION REQUESTED TO ELIMINATE REQUIREMENT 10.2.B.3 PROVIDED THE PLANNED DEVELOPMENT COMPLIES WITH THE "UP-LIGHT RATING OF 0" OF THE DARK-SKY ASSOCIATION'S B.U.G. RATING SYSTEM.
10.2.B.8	EXCEPTION REQUESTED TO REVISE REQUIREMENT 10.2.B.8 TO ALLOW LUMINAIRES TO BE AIMED UP OR DOWN TO PROVIDE WALL-WASH LIGHTING OF ARCHITECTURAL, LANDSCAPE, AND SIGNAGE FEATURES. THE WALL WASH LIGHTING WOULD HAVE A MAXIMUM RATING OF 2000 LUMENS. AIMING DIAGRAMS, SHOWING DISTRIBUTION AND LIMITS OF LIGHTING LEVELS SHALL BE PROVIDED AS PART OF THE LIGHTING PLAN TO BE REVIEWED BY CITY STAFF DURING THE PERMITTING PROCESS. TO ILLUSTRATE HOW LIGHT LEVELS OF FEATURE LIGHTING IS CONTAINED WITHIN EACH PARCEL.
10.2.C.3.a	EXCEPTION REQUESTED FROM REQUIREMENT 10.2.C.3.A TO ALLOW FOR A TOTAL LUMINAIRE HEIGHT OF 110' WITHOUT SPECIAL PERMIT THROUGH PLANNED DEVELOPMENT PROCESS.
10.2.C.3.c	EXCEPTION REQUESTED FOR HOUSE LIGHTING LEVEL BE PERMITTED AS NECESSARY, PRIOR TO THE START OF AN EVENT WHEN SEVERAL HOURS MAY BE NEEDED THE NIGHT BEFORE TO PREPARE THE STADIUM FOR AN EVENT, AS WELL AS OTHER PERIODS OF MAINTENANCE WORK.

* PLEASE REFERENCE EXTERIOR LIGHTING SECTION OF PROJECT SUMMARY FOR RATIONALE.

GENERAL NOTES	
#	NOTE
DESIGN INTENT	SITE PLAN INDICATES OVERALL DESIGN INTENT BUT MAY BE SUBJECT TO CHANGE DEPENDING ON THE OWNER/DEVELOPER OF THE PROPERTY. ONCE DETERMINED, ANY ALTERATIONS WILL MEET THE ZONING REQUIREMENTS OF THE MAU BASE ZONE, THE PLANNED DEVELOPMENT, AND CONDITIONS OF THE FINAL PLAN APPROVAL AS APPROPRIATE.
EASEMENTS	EASEMENT AGREEMENTS AND USE RESTRICTIONS BY AND BETWEEN RR LAND, LLC AND AFFILIATES, GEM COMMUNITY DEVELOPMENT GROUP, LLC, THE CITY OF KNOXVILLE, SPORTS AUTHORITY BOARD, AND KNOXVILLE UTILITIES BOARD, AS WOULD BE REQUIRED FOR THE FULL USE AND OPERATIONS O
PROPERTY LINES	PROPERTY LINE FINAL PLACEMENT APPROXIMATE, SUBJECT TO FUTURE FINAL PLATTING
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1 LIGHTING PLAN
D.6 0 10 50 100

**EXHIBIT D.7 – STADIUM LIGHTING PRELIMINARY PHOTOMETRIC CALCS
AND SPECIFICATIONS**

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

Luminaire Data

Weight (luminaire)	67 lb (30 kg)
UL listing number	E338094
UL listed for USA / Canada	UL1598 CSA-C22.2 No.250.0
CE Declaration	LVD, EMC, RoHS
Ingress protection, luminaire	IP65
Impact rating	IK07
Material and finish	Aluminum, powder-coat painted
Wind speed rating (aiming only)	150 mi/h (67 m/s)
UL, IEC ambient temperature rating, luminaire	50°C (122°F)

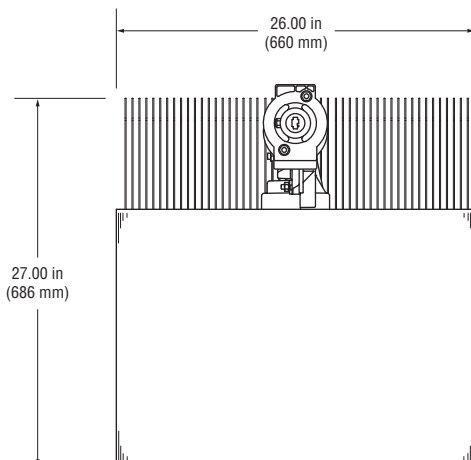
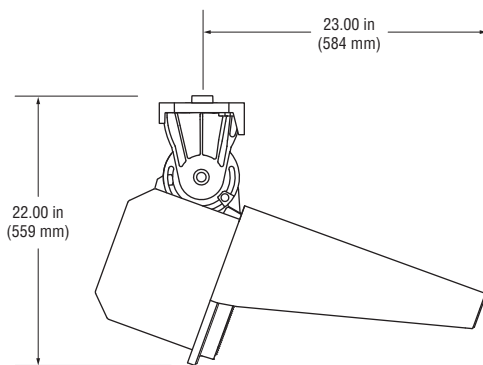
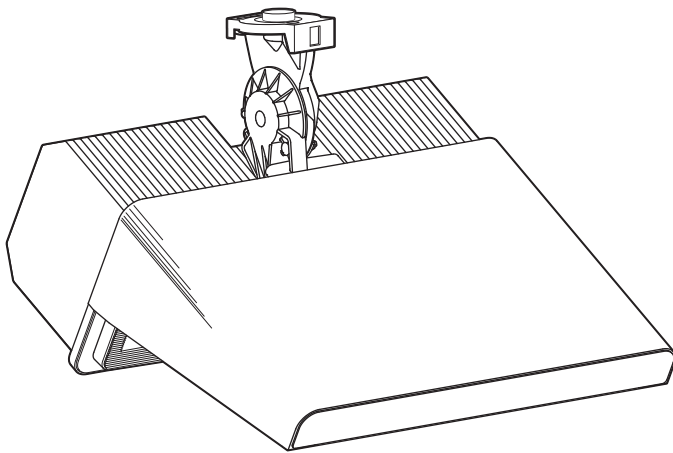
Photometric Characteristics

Projected lumen maintenance per IES TM-21-11

L90 (20k)	>120,000 h
L80 (20k)	>120,000 h
L70 (20k)	>120,000 h
Lumens ¹	160,000
CIE correlated color temperature	5700 K
Color rendering index (CRI)	75 typ, 70 min
LED binning tolerance	7-step MacAdam Ellipse

Footnotes:

1) Incorporates appropriate dirt depreciation factor for life of luminaire.

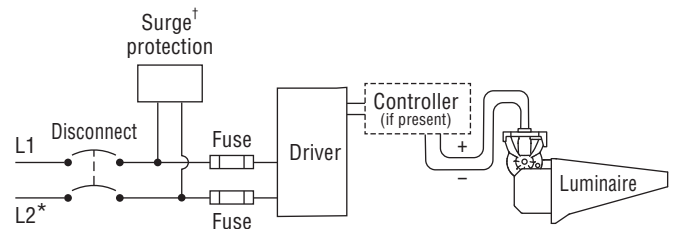


Driver Data

Electrical Data

Rated wattage ¹	
Per driver	1430 W
Per luminaire	1430 W
Number of luminaires per driver	1
Starting (inrush) current	<40 A, 256 µs
Fuse rating	15 A
UL, IEC ambient temperature rating, electrical components enclosure	50°C (122°F)
Ingress protection, electrical components enclosure	IP54
Efficiency	95%
Dimming mode	optional
Range, energy consumption	12 – 100%
Range, light output	17 – 100%
Flicker	<2%
Total harmonic distortion (THD) at full output	<20%

Typical Wiring



* If L2 (com) is neutral then not switched or fused.

† Not present if indoor installation.

	200 Vac 50/60 Hz	208 Vac 60 Hz	220 Vac 50/60 Hz	230 Vac 50 Hz	240 Vac 50/60 Hz	277 Vac 60 Hz	347 Vac 60 Hz	380 Vac 50/60 Hz	400 Vac 50 Hz	415 Vac 50 Hz	480 Vac 60 Hz
Max operating current per luminaire²	8.86 A	8.52 A	8.06 A	7.71 A	7.39 A	6.40 A	5.11 A	4.67 A	4.43 A	4.27 A	3.70 A

Footnotes:

- 1) Rated wattage is the power consumption, including driver efficiency losses, at stabilized operation in 25°C ambient temperature environment.
- 2) Operating current includes allowance for 0.90 minimum power factor, operating temperature, and LED light source manufacturing tolerances.

Notes

1. Use thermal magnetic HID-rated or D-curve circuit breakers.
2. See *Musco Control System Summary* for circuit information.



Knoxville Ball Park MiLB

Knoxville,TN

Lighting System

Pole / Fixture Summary						
Pole ID	Pole Height	Mtg Height	Fixture Qty	Luminaire Type	Load	Circuit
A1-A2	110'	110'	11	TLC-LED-1500	15.73 kW	A
		57'	3	TLC-LED-1500	4.29 kW	B
B1-B2	110'	110'	21	TLC-LED-1500	28.99 kW	A
		60'	3	TLC-LED-1500	4.29 kW	B
C1-C2	90'	90'	22	TLC-LED-1500	31.46 kW	A
		10'	3	TLC-LED-1500	4.29 kW	B
6			126		178.10 kW	

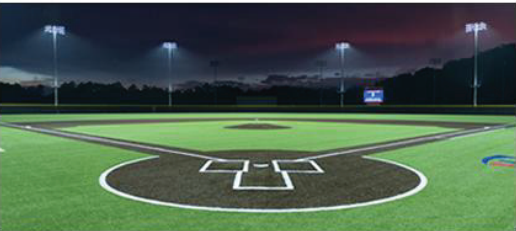
Circuit Summary			
Circuit	Description	Load	Fixture Qty
A	Baseball	152.36 kW	108
B	BTF	25.74 kW	18

Fixture Type Summary							
Type	Source	Wattage	Lumens	L90	L80	L70	Quantity
TLC-LED-1500	LED 5700K - 75 CRI	1430W	160,000	>120,000	>120,000	>120,000	118
TLC-LED-1500	LED 5700K - 75 CRI	1170W	160,000	>120,000	>120,000	>120,000	8

Light Level Summary

Calculation Grid Summary								
Grid Name	Calculation Metric	Illumination					Circuits	Fixture Qty
		Ave	Min	Max	Max/Min	Ave/Min		
Baseball (Infield)	Horizontal Illuminance	107	98	114	1.16	1.09	A	108
Baseball (Outfield)	Horizontal Illuminance	73.1	56	99	1.76	1.31	A	108
LF Bullpen	Horizontal	67	46	79	1.73	1.46	A	108
RF Bullpen	Horizontal	60.2	37	72	1.96	1.63	A	108

From Hometown to Professional



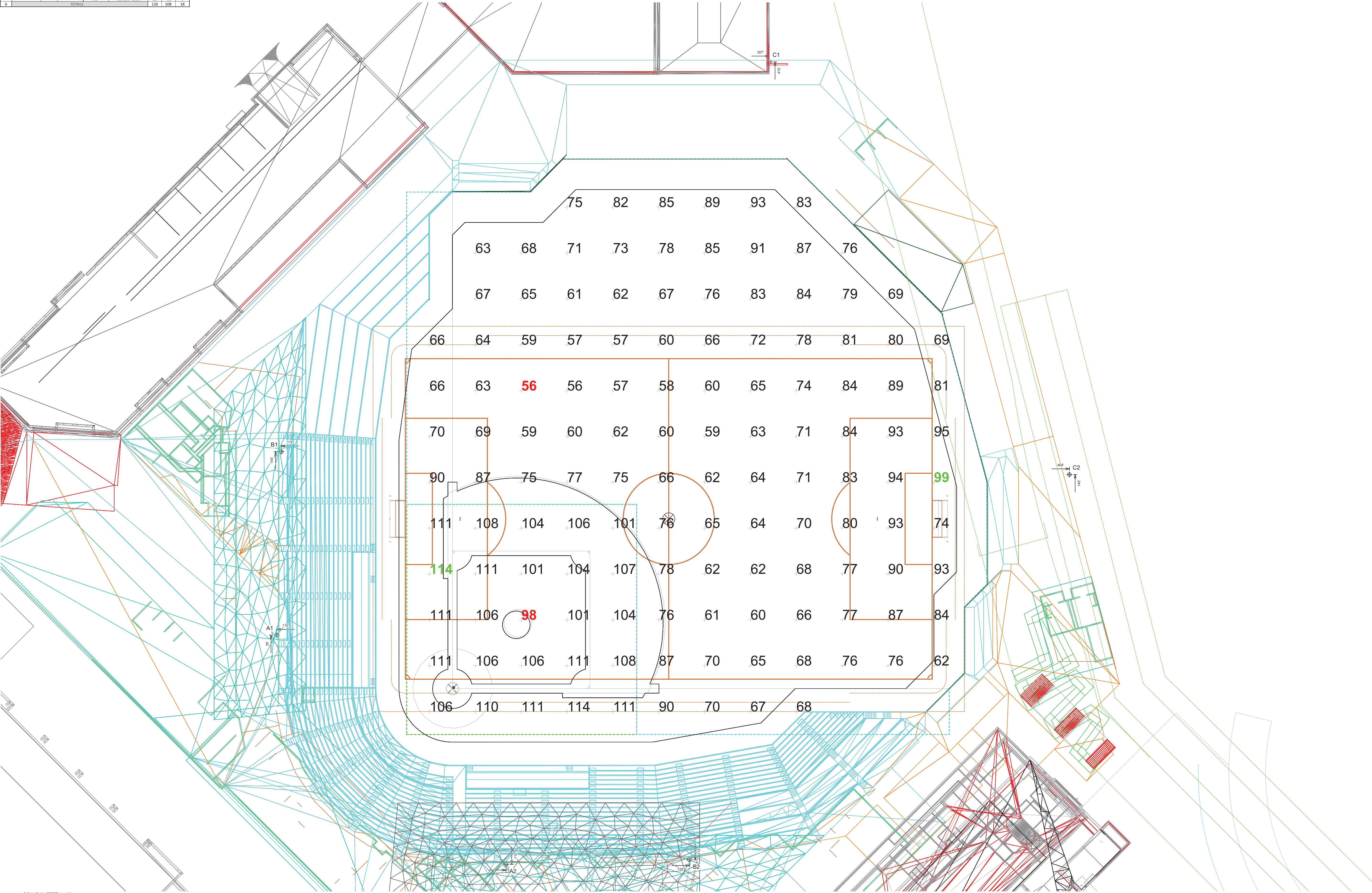
P-1



We Make It Happen®

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EQUIPMENT LIST FOR AREAS SHOWN									
QTY	LOCATION	Pole		MOUNTING HEIGHT	Luminaire		QTY / POLE	THIS GRID	OTHER GRIDS
		SIZE	GRADE ELEVATION		TYPE				
2	A1-A2	110'	-	57'	TLC-BT-1500	3	0	3	0
2	B1-B2	110'	-	110'	TLC-LED-1500	11	11	0	0
2	C1-C2	90'	-	60'	TLC-BT-1500	3	0	3	0
2				110'	TLC-LED-1500	21	21	0	0
2				90'	TLC-BT-1500	3	0	3	0
6				90'	TLC-LED-1500	22	22	0	0
TOTALS							126	108	18



NOTE: ONLY MUSCO SPORT/EVENT
LIGHTS ANALYZED IN CALCULATIONS

Knoxville Ball Park MiLB

Knoxville, TN

GRID SUMMARY

Name:	Baseball Footcandle summary
Size:	Irregular 325' / 400' / 325'
Spacing:	30.0' x 30.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY

MAINTAINED HORIZONTAL FOOTCANDLES

	Infield	Outfield
Guaranteed Average:	100	76
Scan Average:	107.26	73.10
Maximum:	114	99
Minimum:	98	56
Avg / Min:	1.09	1.30
Guaranteed Max / Min:	1.2	1.7
Max / Min:	1.16	1.76
UG (adjacent pts):	1.10	1.36
No. of Points:	75	105

LUMINAIRE INFORMATION

Applied Circuits:	A
No. of Luminaires:	108
Total Load:	152.36 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

BASEBALL FOOTCANDLE
ILLUMINATION SUMMARY

P-2



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ILLUMINATION SUMMARY

NOTE: ONLY MUSCO SPORT/EVENT
LIGHTS ANALYZED IN CALCULATIONS

Knoxville Ball Park MiLB
Knoxville, TN

GRID SUMMARY	
Name:	Bowl Footcandle summary
Size:	345' x 210'
Spacing:	5.0' x 5.0'
Height:	18.4' above grade

ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
Scan Average:	30.74
Maximum:	94
Minimum:	0
Avg / Min:	172.03
Max / Min:	524.56
UG (adjacent pts):	0.00
No. of Points:	1597
LUMINAIRE INFORMATION	
Applied Circuits:	A
No. of Luminaires:	108
Total Load:	152.36 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

BOWL FOOTCANDLE
ILLUMINATION SUMMARY

P-3



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ILLUMINATION SUMMARY

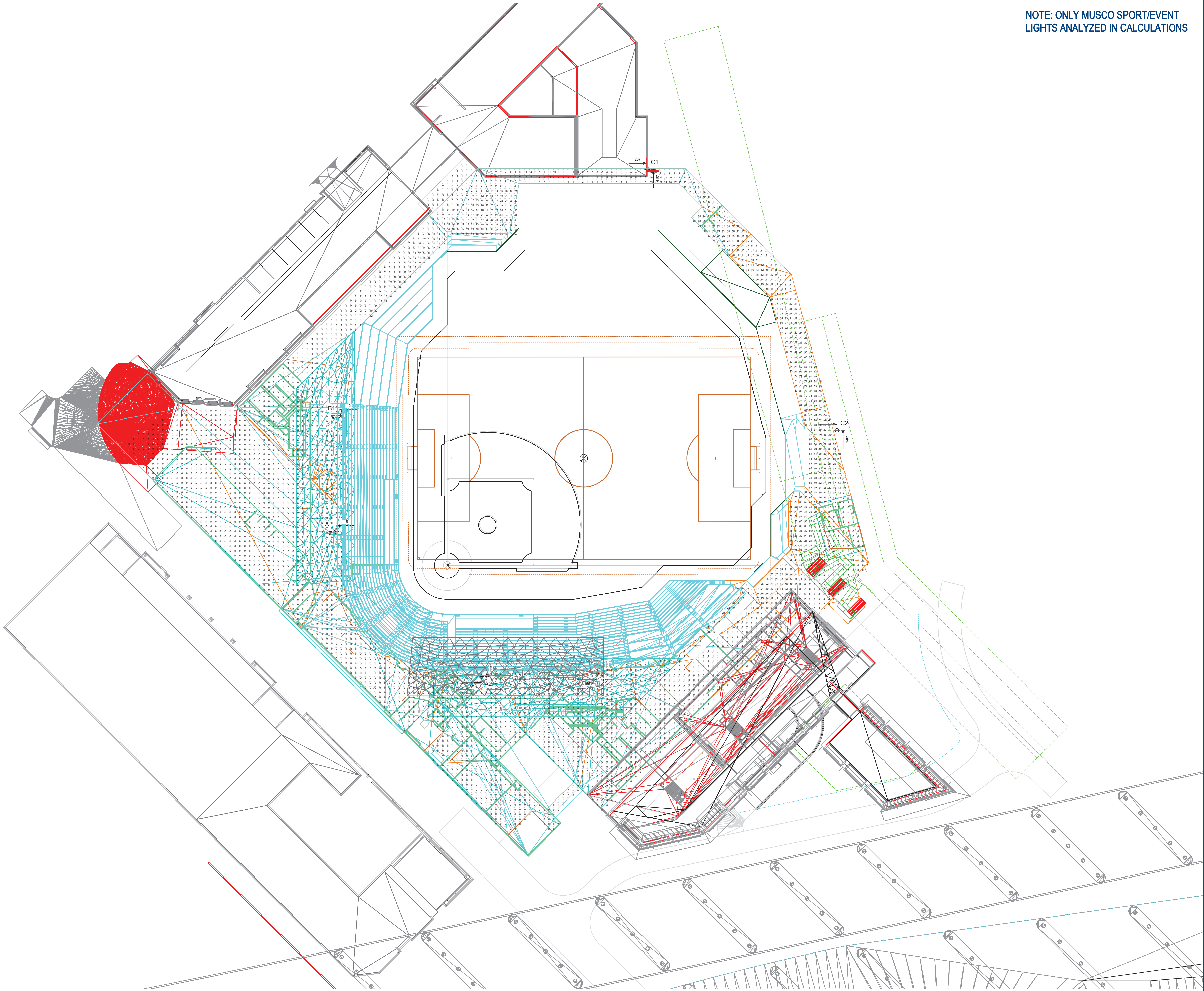
SCALE IN FEET 1" = 30'

P-3

ENGINEERED DESIGN By: File #210713E 13-Oct-21

Pole location(s) + dimensions are relative to 0,0 reference point(s)

NOTE: ONLY MUSCO SPORT/EVENT LIGHTS ANALYZED IN CALCULATIONS



Knoxville Ball Park MiLB

Knoxville, TN

GRID SUMMARY

Name:	Concourse Footcandle summary
Size:	Irregular 325' / 400' / 325'
Spacing:	5.0' x 5.0'
Height:	21.1' above grade

ILLUMINATION SUMMARY

MAINTAINED HORIZONTAL FOOTCANDLES

	Entire Grid
Scan Average:	5.11
Maximum:	84
Minimum:	0
Avg / Min:	-
Max / Min:	-
UG (adjacent pts):	0.00
No. of Points:	4821
LUMINAIRE INFORMATION:	
Applied Circuits:	A
No. of Luminaires:	108
Total Load:	152.36 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage

Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

CONCOURSE FOOTCANDLE ILLUMINATION SUMMARY

P-4



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ILLUMINATION SUMMARY

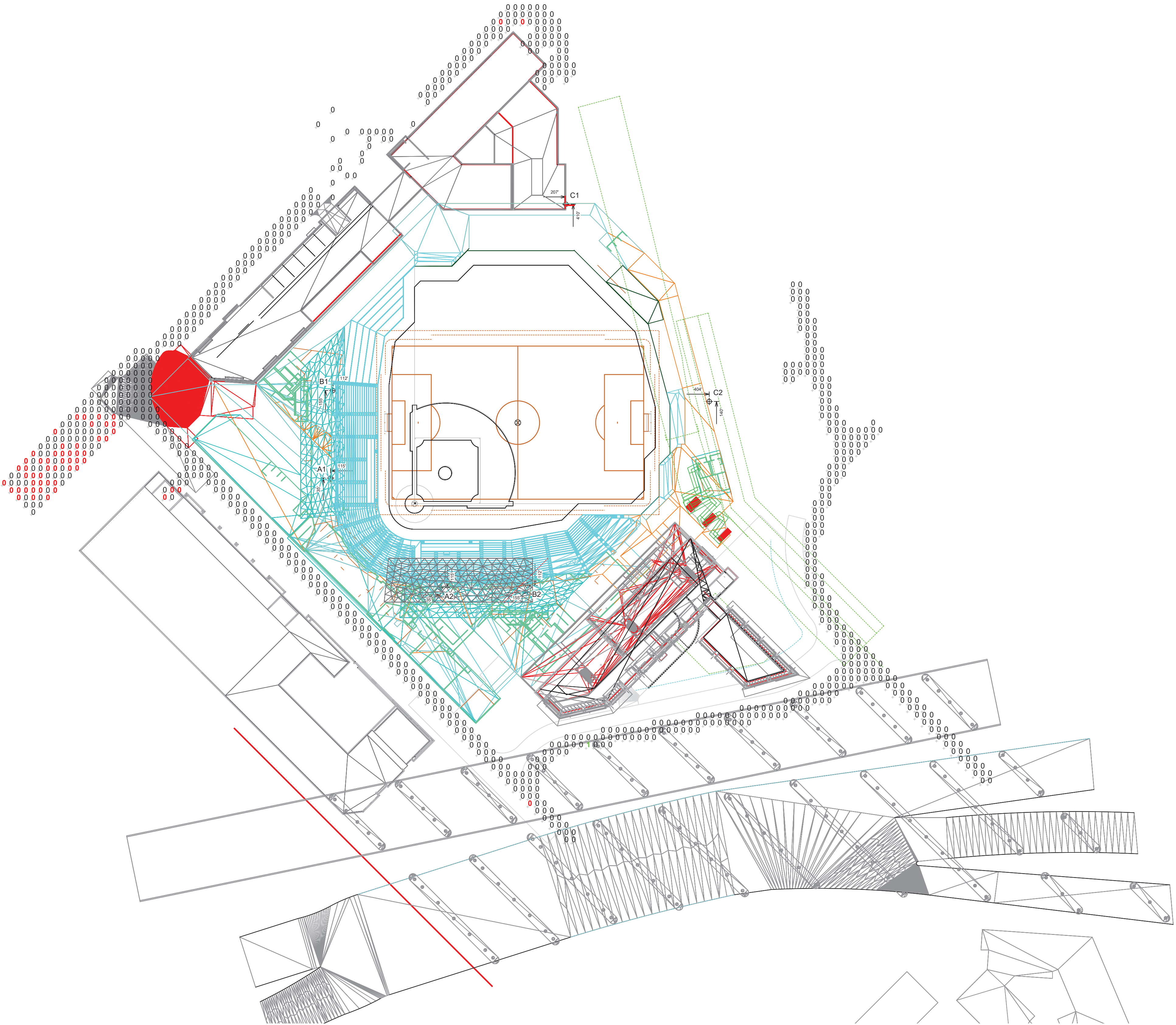
SCALE IN FEET 1" = 50'

P-4

ENGINEERED DESIGN By: File #210713E 13-Oct-21

Pole location(s) dimensions are relative to 0,0 reference point(s)

NOTE: ONLY MUSCO SPORT/EVENT
LIGHTS ANALYZED IN CALCULATIONS



SCALE IN FEET 1" = 80'
0' 80' 160'

P-5

ENGINEERED DESIGN By: File #210713E 13-Oct-21

Pole location(s) + dimensions are relative to 0,0 reference point(s)

Knoxville Ball Park MiLB
Knoxville, TN

GRID SUMMARY	
Name:	Road Footcandle summary
Size:	Irregular 325' / 400' / 325'
Spacing:	10.0' x 10.0'
Height:	28.1' above grade

ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
Scan Average:	0.01
Maximum:	1
Minimum:	0
Avg / Min:	-
Max / Min:	-
UG (adjacent pts):	0.00
No. of Points:	894
LUMINAIRE INFORMATION	
Applied Circuits:	A
No. of Luminaires:	108
Total Load:	152.36 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

STREET FOOTCANDLE
ILLUMINATION SUMMARY

P-5



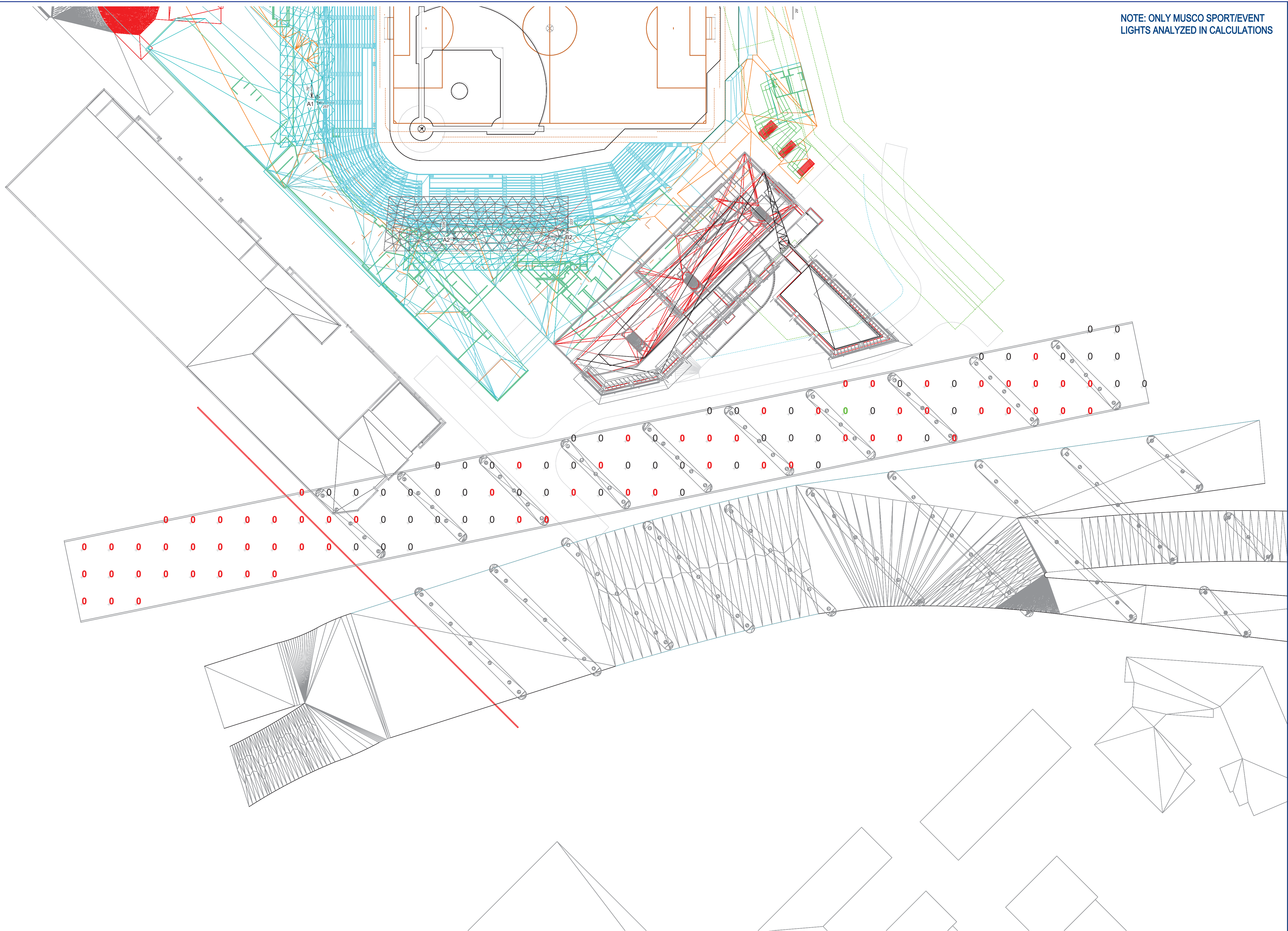
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ILLUMINATION SUMMARY

Knoxville Ball Park MiLB
Knoxville, TN


GRID SUMMARY	
Name:	Room 2 Footcandle summary
Size:	345' x 210'
Spacing:	30.0' x 30.0'
Height:	45.1 above grade
ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	
	Entire Grid
Scan Average:	0.00
Maximum:	0
Minimum:	0
Avg / Min:	-
Max / Min:	-
UG (adjacent pts):	0.00
No. of Points:	119
LUMINAIRE INFORMATION	
Applied Grid: A	
No. of Luminaires:	108
Total Load:	152.36 kW

Installation Requirements: Results assume $\pm 3\%$ nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) \oplus dimensions are relative to 0,0 reference point(s) \otimes

SCALE IN FEET 1 : 50



A horizontal scale bar with a black and white alternating pattern. It is marked with '0'', '50'', and '100'' at the beginning, middle, and end respectively.

ENGINEERED DESIGN By: · File #210713E · 13-Oct-21

P-6

HALL OF FAME DR FOOTCANDLE ILLUMINATION SUMMARY

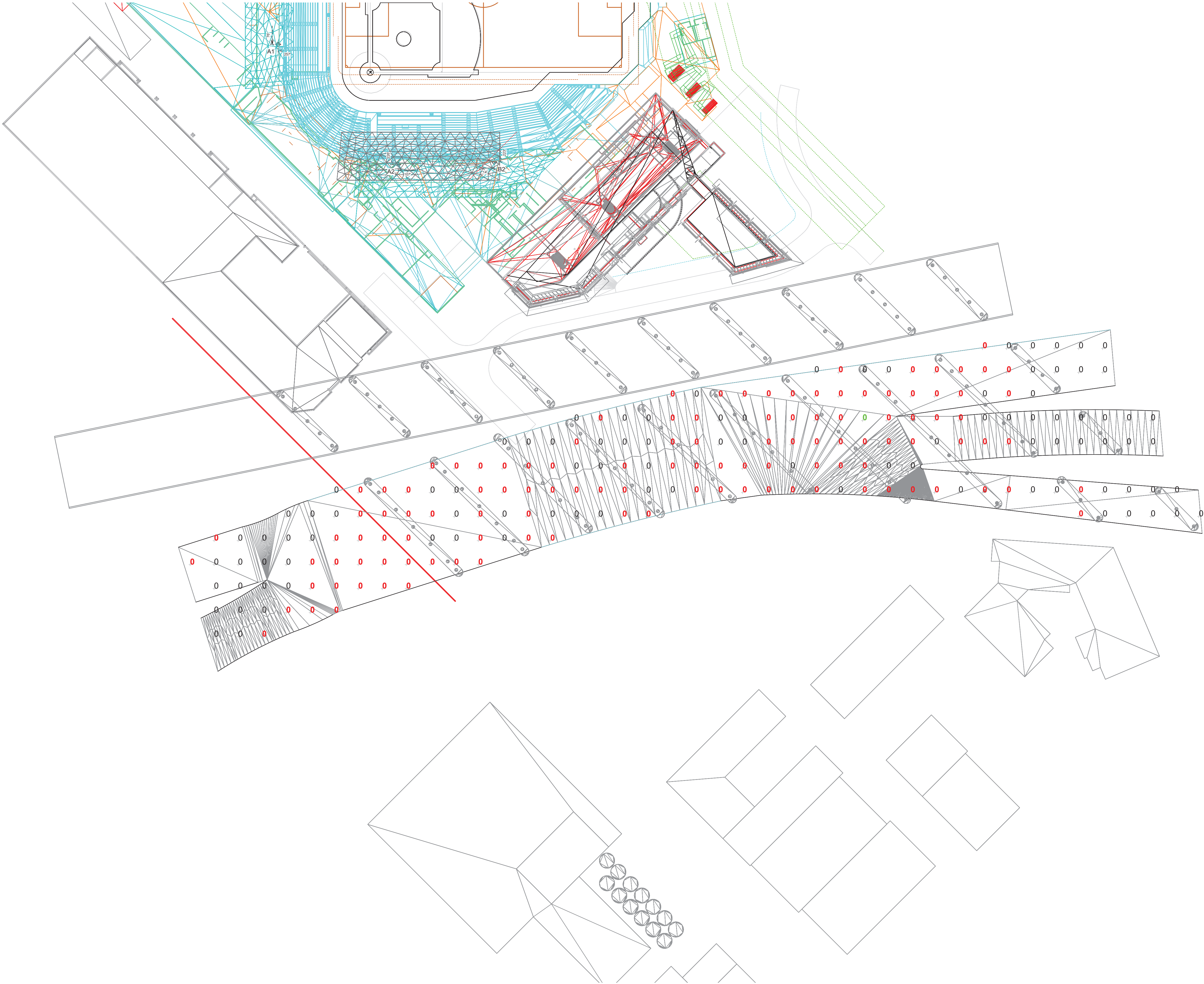
P-6



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ILLUMINATION SUMMARY



NOTE: ONLY MUSCO SPORT/EVENT
LIGHTS ANALYZED IN CALCULATIONS

Knoxville Ball Park MiLB

Knoxville, TN

GRID SUMMARY

Name: Road 3 Footcandle summary
Size: 345' x 210'
Spacing: 30.0' x 30.0'
Height: 60.0' above grade

ILLUMINATION SUMMARY

MAINTAINED HORIZONTAL FOOTCANDLES

Entire Grid

Scan Average: 0.00

Maximum: 0

Minimum: 0

Avg / Min: -

Max / Min: -

UG (adjacent pts): 0.00

No. of Points: 213

LUMINAIRE INFORMATION

Applied Circuits: A

No. of Luminaires: 108

Total Load: 152.36 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

JAMES WHITE PWKY FOOTCANDLE
ILLUMINATION SUMMARY

P-7



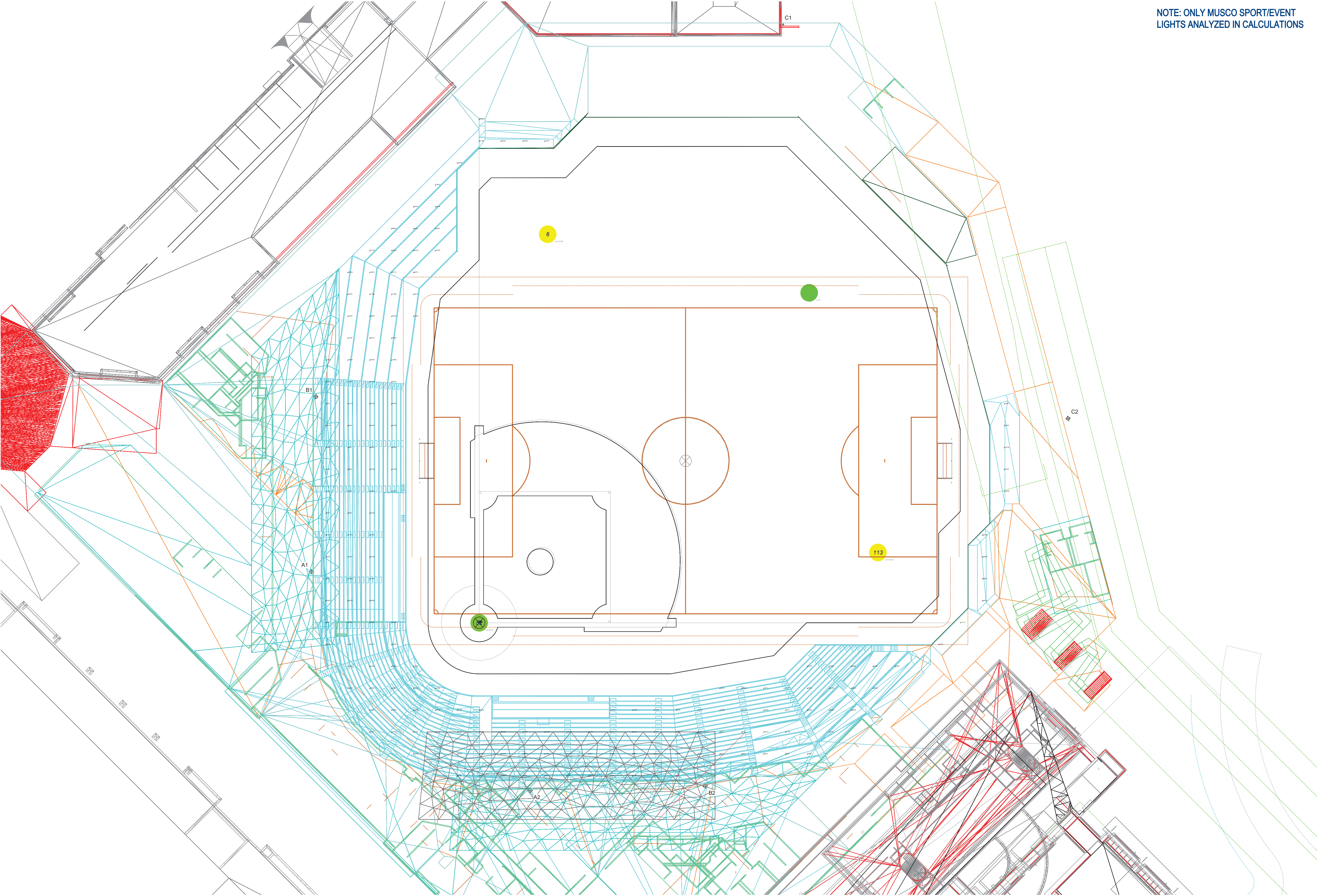
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ILLUMINATION SUMMARY

SCALE IN FEET 1" = 60'
0' 60' 120'

P-7

Pole location(s) + dimensions are relative to 0,0 reference point(s) 0



NOTE: ONLY MUSCO SPORT/EVENT LIGHTS ANALYZED IN CALCULATIONS

Knoxville Ball Park MiLB Knoxville, TN	
GRID SUMMARY	
Name:	Bowl Candela summary
Spacing:	15.0' x 15.0'
Height:	18.4' above grade
ILLUMINATION SUMMARY	
MAINTAINED CANDELA (PER FIXTURE)	
Entire Grid	
Scan Average:	22967.70
Maximum:	707282
Minimum:	8486
Avg / Min:	27.10
Max / Min:	83.35
UG (adjacent pts):	0.00
CU:	0.07
No. of Points:	185
LUMINAIRE INFORMATION	
Applied Circuits:	A
No. of Luminaires:	108
Total Load:	152.36 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.
Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.
Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.
Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

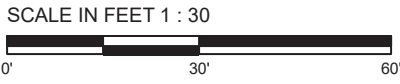
BOWL CANDELA
ILLUMINATION SUMMARY

P-8

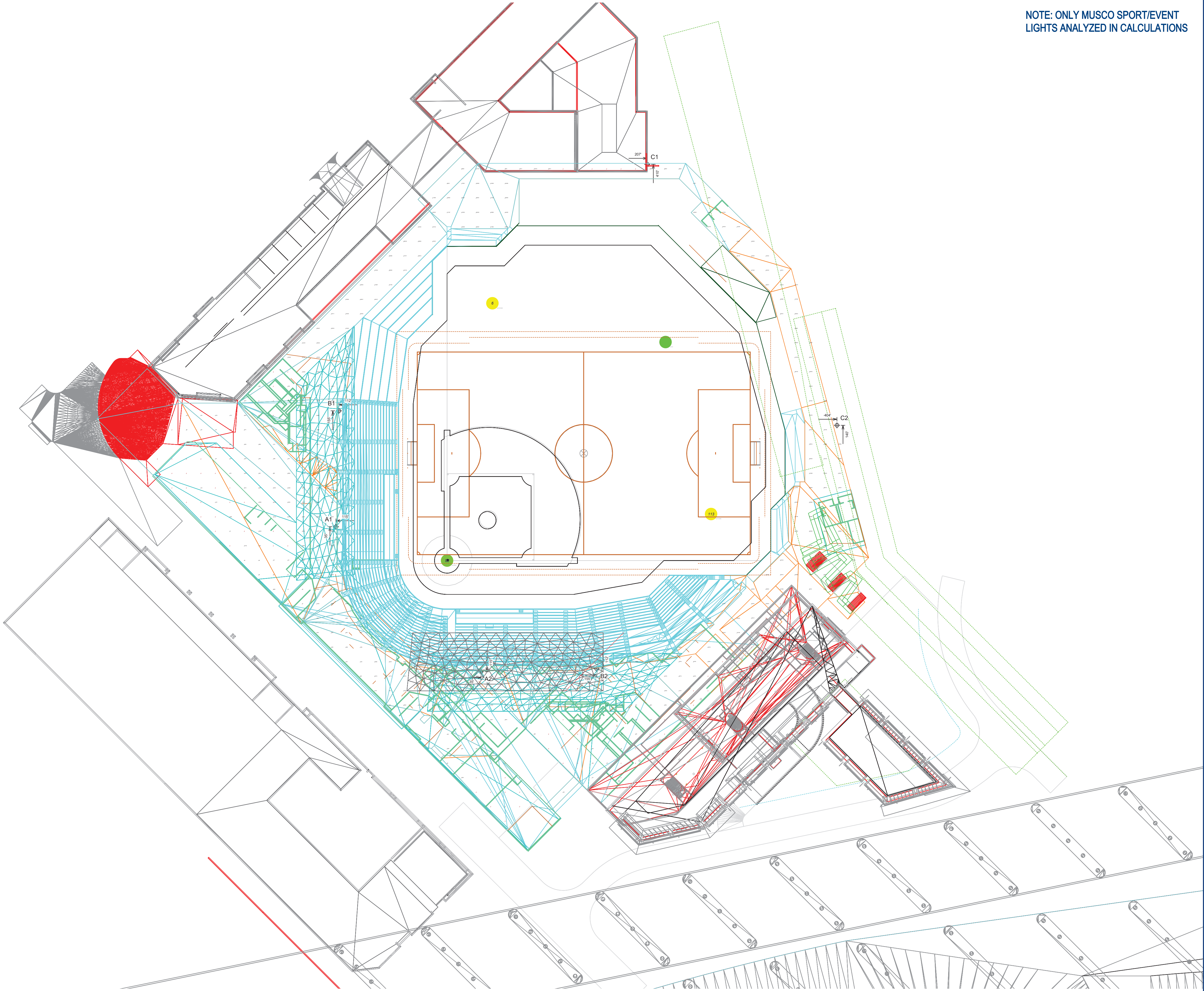


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ILLUMINATION SUMMARY



Pole location(s) + dimensions are relative to 0,0 reference point(s)



NOTE: ONLY MUSCO SPORT/EVENT LIGHTS ANALYZED IN CALCULATIONS

Knoxville Ball Park MiLB
Knoxville, TN

GRID SUMMARY	
Name:	Concourse Canopied Area
Size:	Irregular 325' / 400' / 325'
Spacing:	15.0' x 15.0'
Height:	21.1' above grade

ILLUMINATION SUMMARY	
MAINTAINED CANDELA (PER FIXTURE)	
Entire Grid	
Scan Average:	79318.92
Maximum:	592169
Minimum:	0
Avg / Min:	-
Max / Min:	-
UG (adjacent pts):	0.00
CU:	0.04
No. of Points:	534

LUMINAIRE INFORMATION	
Applied Circuits:	A
No. of Luminaires:	108
Total Load:	152.36 KW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

CONCOURSE CANDELA
ILLUMINATION SUMMARY

P-9



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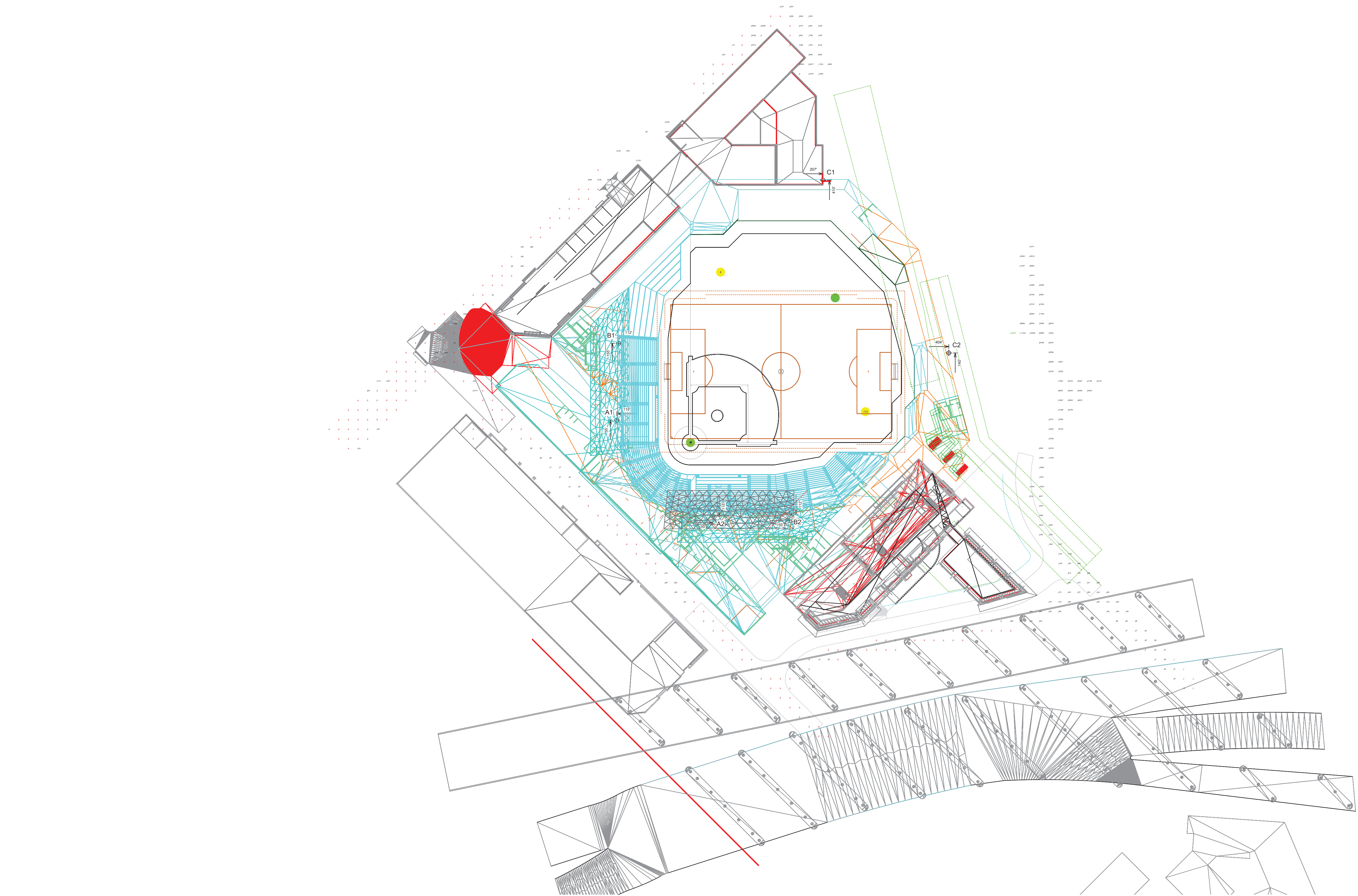
ILLUMINATION SUMMARY

SCALE IN FEET 1" = 50'

ENGINEERED DESIGN By: File #210713E max candela 13-Oct-21

P-9

Pole location(s) + dimensions are relative to 0,0 reference point(s)



- NOTES:
1. ONLY MUSCO SPORT/EVENT LIGHTS ANALYZED IN CALCULATIONS
 2. A GLARE IMPACT STUDY CONDUCTED OCTOBER 28, 2021, SHOWED THAT THE GLARE LEVEL FROM PROPOSED FIXTURES AT THE INTERSECTION OF E. SUMMIT HILL DR. AND S. HALL OF FAME DR. IS 0 CANDELA. AS A POINT OF REFERENCE, A CANDELA LEVEL BETWEEN 25,000 AND 75,000 CANDELA IS EQUIVALENT TO THE HIGH BEAM HEADLIGHTS OF A CAR. A CANDELA LEVEL OF 500 OR LESS IS EQUIVALENT TO 100W INCANDESCENT LIGHT BULB.

Knoxville Ball Park MiLB Knoxville, TN	
GRID SUMMARY	
Name:	Road Candela summary
Size:	Irregular 325' / 400' / 325'
Spacing:	15.0' x 15.0'
Height:	28.1' above grade
ILLUMINATION SUMMARY	
MAINTAINED CANDELA (PER FIXTURE)	
Entire Grid	
Scan Average:	8775.81
Maximum:	122587
Minimum:	0
Avg / Min:	-
Max / Min:	-
UG (adjacent pts):	0.00
CU:	0.00
No. of Points:	416
LUMINAIRE INFORMATION	
Applied Circuits:	A
No. of Luminaires:	108
Total Load:	152.36 KW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

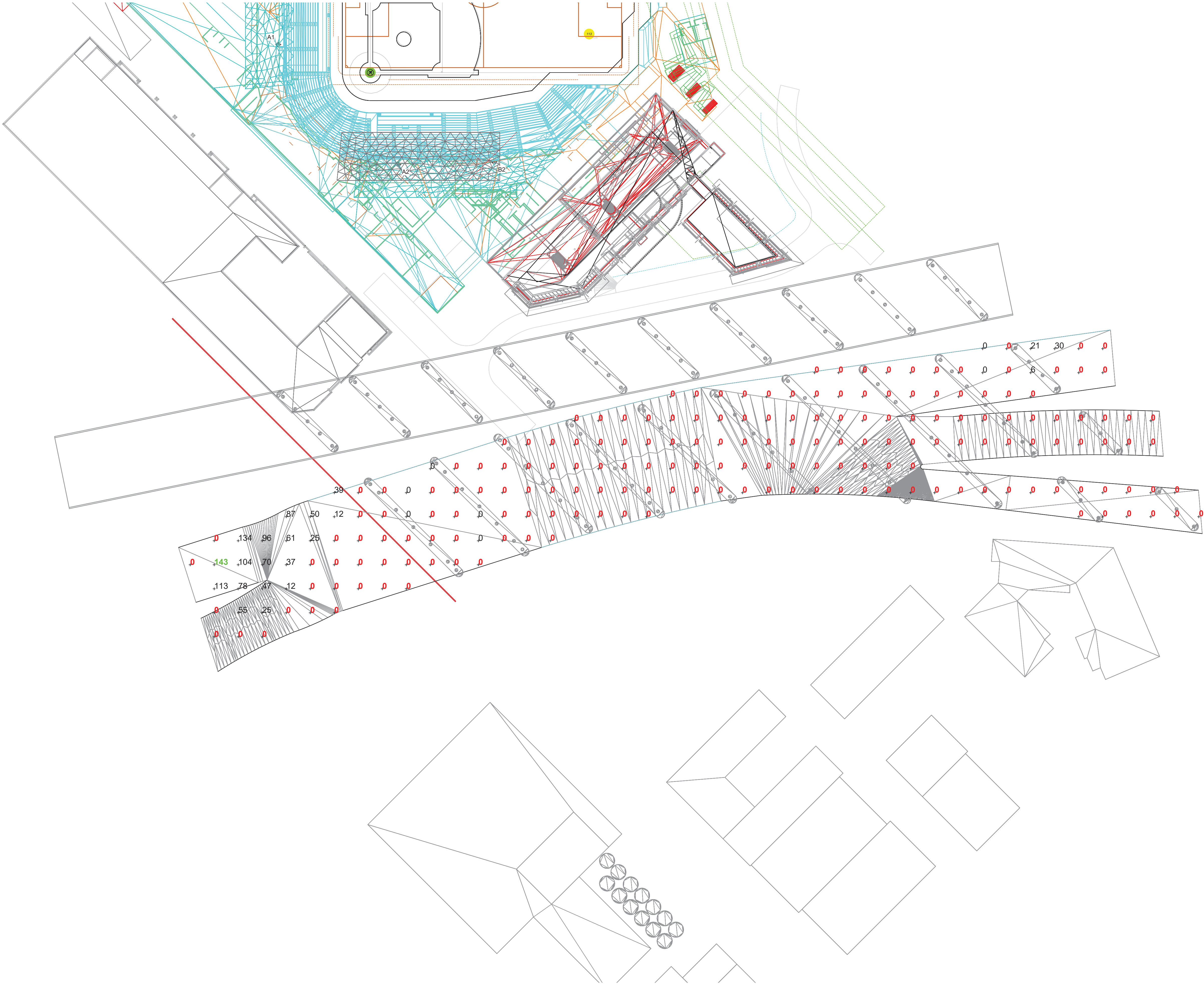
Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

STREET CANDELA
ILLUMINATION SUMMARY

P-10



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NOTES:

1. ONLY MUSCO SPORT/EVENT LIGHTS ANALYZED IN CALCULATIONS
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Knoxville Ball Park MiLB Knoxville, TN	
GRID SUMMARY	
Name:	Road 3 Candela summary
Spacing:	30.0' x 30.0'
Height:	60.6' above grade
ILLUMINATION SUMMARY	
MAINTAINED CANDELA (PER FIXTURE)	
Entire Grid	
Scan Average:	5.85
Maximum:	143
Minimum:	0
Avg / Min:	-
Max / Min:	-
UG (adjacent pts):	0.00
CU:	0.00
No. of Points:	213
LUMINAIRE INFORMATION	
Applied Circuits:	A
No. of Luminaires:	108
Total Load:	152.36 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

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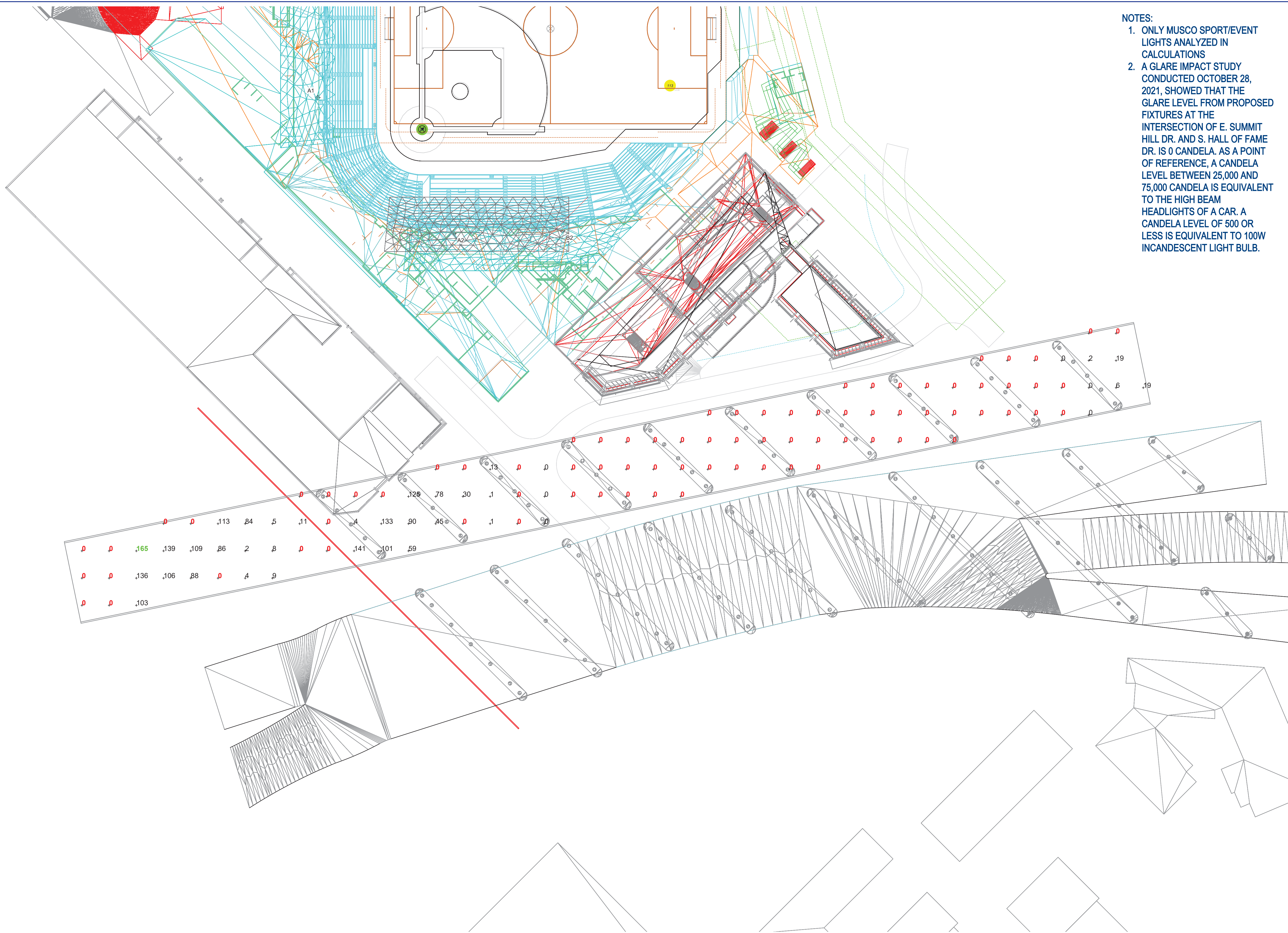
JAMES WHITE PKWY CANDELA
ILLUMINATION SUMMARY

P-11



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ILLUMINATION SUMMARY



NOTES:

1. ONLY MUSCO SPORT/EVENT LIGHTS ANALYZED IN CALCULATIONS
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Knoxville Ball Park MiLB Knoxville, TN	
GRID SUMMARY	
Name:	Road 2 Candela summary
Spacing:	30.0' x 30.0'
Height:	48.1' above grade
ILLUMINATION SUMMARY	
MAINTAINED CANDELA (PER FIXTURE)	
Entire Grid	
Scan Average:	17.12
Maximum:	165
Minimum:	0
Avg / Min:	-
Max / Min:	-
UG (adjacent pts):	0.00
CU:	0.00
No. of Points:	119
LUMINAIRE INFORMATION	
Applied Circuits:	A
No. of Luminaires:	108
Total Load:	152.36 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

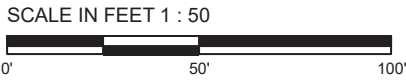
HALL OF FAME DR CANDELA
ILLUMINATION SUMMARY

P-12



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ILLUMINATION SUMMARY



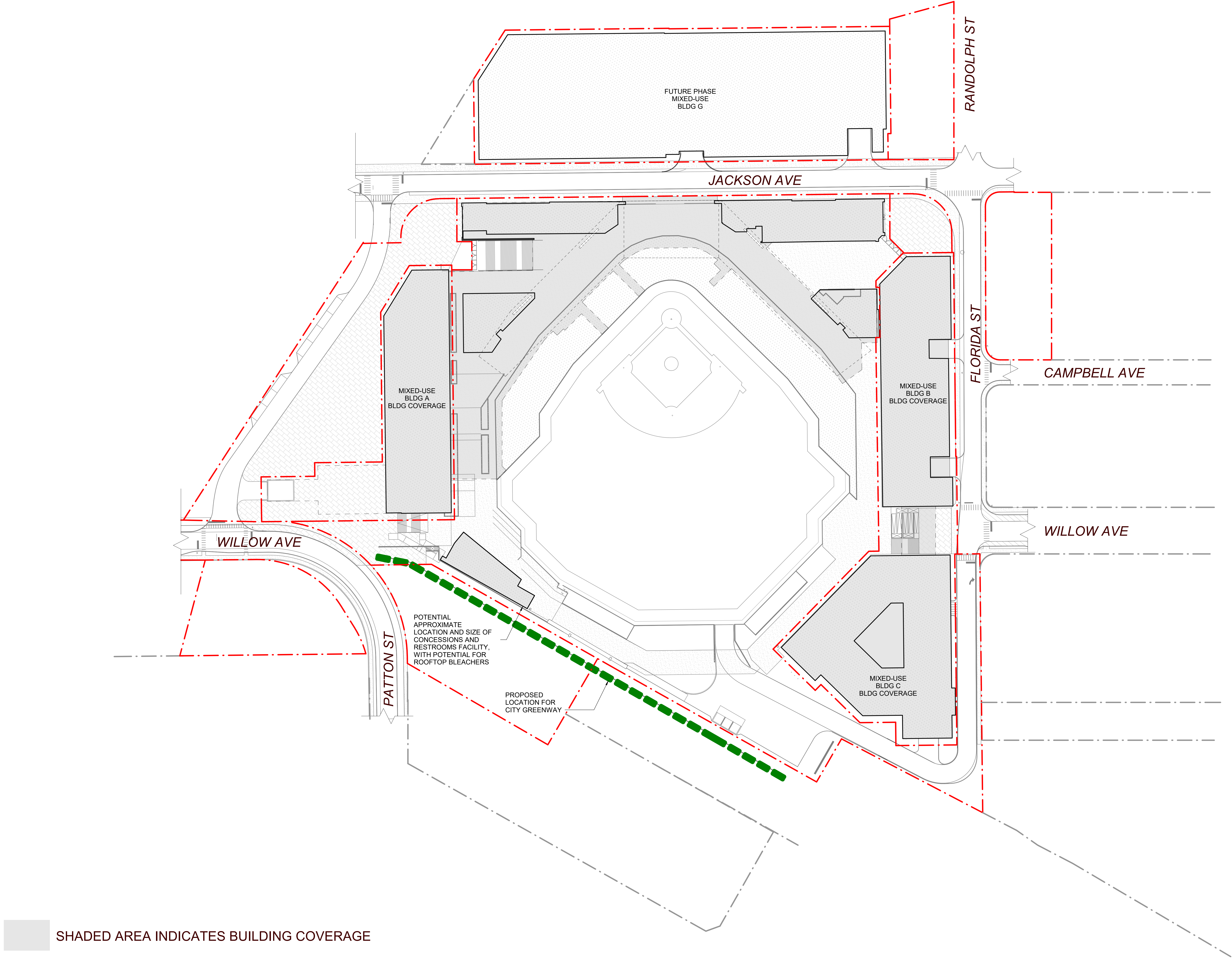
Pole location(s) + dimensions are relative to 0,0 reference point(s) @

EXHIBIT D.8 – BUILDING COVERAGE PER LOT

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540



SHADED AREA INDICATES BUILDING COVERAGE



D.8 BUILDING COVERAGE PER LOT
PRELIMINARY SCHEMATIC DESIGN
GEM Development Masterplanning

RULES OF MEASUREMENT		
SECTION	NAME	DEFINITION
2.4.D	BUILDING COVERAGE	THE PORTION OF THE LOT DETERMINED BY BUILDING FOOTPRINT, EXCLUSIVE OF EAVES AND OTHER OVERHANGS, THAT IS OR MAY BE COVERED BY BUILDINGS AND ACCESSORY STRUCTURES.

10.3 ACCESSORY STRUCTURES AND USES	
SECTION	NOTE
10.3.M	FLAGPOLES- A RANGE OF 0-11 FLAG POLES REQUESTED WITHIN THE STADIUM AND PUBLIC PLAZAS. LOCATIONS YET TO BE DETERMINED.

BUILDING DATA		
BUILDING	BUILDING HEIGHT	BUILDING COVERAGE %
STADIUM	36'-0" - 52'-0"	20% - 26%
BUILDING A	80'-0" - 132'-0"	60% - 100%
BUILDING B/C	74'-0" - 89'-0"	75% - 100%

GENERAL NOTES	
#	NOTE
DESIGN INTENT	SITE PLAN INDICATES OVERALL DESIGN INTENT BUT MAY BE SUBJECT TO CHANGE DEPENDING ON THE OWNER/DEVELOPER OF THE PROPERTY ONCE DETERMINED. ANY ALTERATIONS WILL MEET THE ZONING REQUIREMENTS OF THE MAU BASE ZONE, THE PLANNED DEVELOPMENT, AND CONDITIONS OF THE FINAL PLAN APPROVAL AS APPROPRIATE.
EASEMENTS	EASEMENT AGREEMENTS AND USE RESTRICTIONS BY AND BETWEEN RR LAND, LLC AND AFFILIATES, GEM COMMUNITY DEVELOPMENT GROUP, LLC, THE CITY OF KNOXVILLE, SPORTS AUTHORITY BOARD, AND KNOXVILLE UTILITIES BOARD, AS WOULD BE REQUIRED FOR THE FULL USE AND OPERATIONS OF THE STADIUM AND PUBLIC PLAZAS.
PROPERTY LINES	PROPERTY LINE FINAL PLACEMENT APPROXIMATE, SUBJECT TO FUTURE FINAL PLATTING
ACCESSORY	LOCATIONS OF ACCESSORY STRUCTURES SUCH AS FREESTANDING ROOFED STRUCTURES, PERGOLAS, OR GAZEBOS ARE YET TO BE DETERMINED. THESE TYPES OF STRUCTURES MAY BE UTILIZED IN THE VARIOUS PLAZAS AS NEEDED FOR THE OPERATIONS OF THE STADIUM AND FACILITY AND WILL COMP

EXHIBIT E.1 – PROPOSED SCHEMATIC BUILDING A ELEVATION- PLAZA
EXHIBIT E.2 – PROPOSED SCHEMATIC BUILDING B ELEVATION- FLORIDA ST
EXHIBIT E.3 – NOT USED
EXHIBIT E.4 – PROPOSED SCHEMATIC STADIUM ELEVATION- JACKSON AVE
EXHIBIT E.5 – PROPOSED SECTION THRU 2ND BASE, LOOKING SOUTH EXHIBIT
E.6 – 3-D VIEWS, PRELIMINARY SCHEMATIC DESIGN
EXHIBIT E.7 – 3-D VIEWS, PRELIMINARY SCHEMATIC DESIGN
EXHIBIT E.8 –PROPOSED PRELIMINARY JACKSON AVE STREET CROSS SECTION

GEM Associated Architects

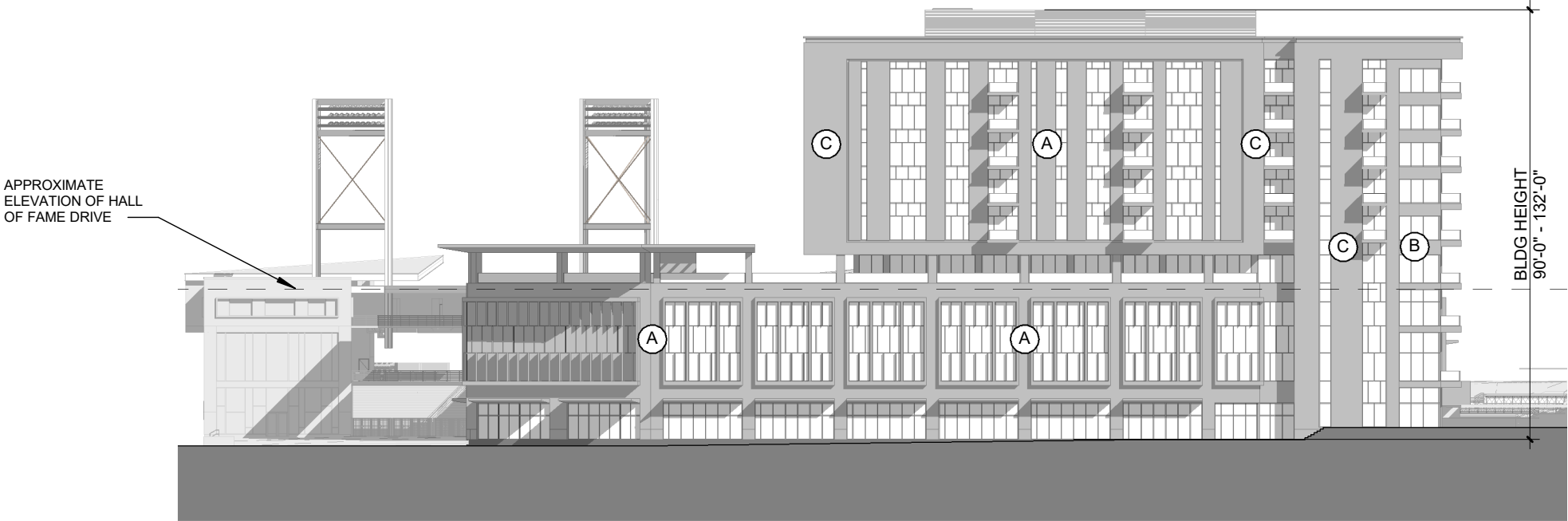
BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

FENESTRATION DESIGN		
LEVEL	REQ'D % FENESTRATION	% FENESTRATION
GROUND LEVELS	30%	EXCEEDS 30%
UPPER LEVELS	15%	EXCEEDS 15%

ELEVATION INDICATES OVERALL DESIGN INTENT BUT MAY BE SUBJECT TO CHANGE DEPENDING ON THE OWNER/DEVELOPER OF THE PROPERTY ONCE DETERMINED. ANY ALTERATIONS WILL MEET THE ZONING REQUIREMENTS OF THE I-MU BASE ZONE, THE PLANNED DEVELOPMENT, AND CONDITIONS OF THE FINAL PLAN APPROVAL AS APPROPRIATE.

(X) = POTENTIAL PLANNED VARIATION IN BUILDING MATERIAL TYPE, SIZE, AND CONFIGURATION



1
E.1

MIXED-USE BUILDING

01050100

FENESTRATION DESIGN		
LEVEL	REQ'D % FENESTRATION	% FENESTRATION
GROUND LEVELS	30%	EXCEEDS 30%
UPPER LEVELS	15%	EXCEEDS 15%

ELEVATION INDICATES OVERALL DESIGN INTENT BUT MAY BE SUBJECT TO CHANGE DEPENDING ON THE OWNER/DEVELOPER OF THE PROPERTY ONCE DETERMINED. ANY ALTERATIONS WILL MEET THE ZONING REQUIREMENTS OF THE I-MU BASE ZONE, THE PLANNED DEVELOPMENT, AND CONDITIONS OF THE FINAL PLAN APPROVAL AS APPROPRIATE.

(X) = POTENTIAL PLANNED VARIATION IN BUILDING MATERIAL TYPE, SIZE, AND CONFIGURATION



1

E.2

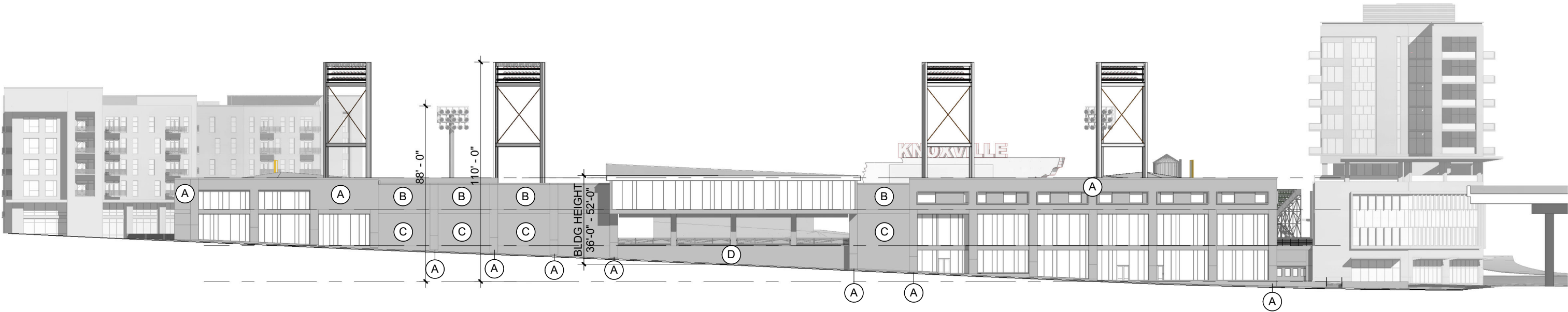
MIXED-USE BUILDING

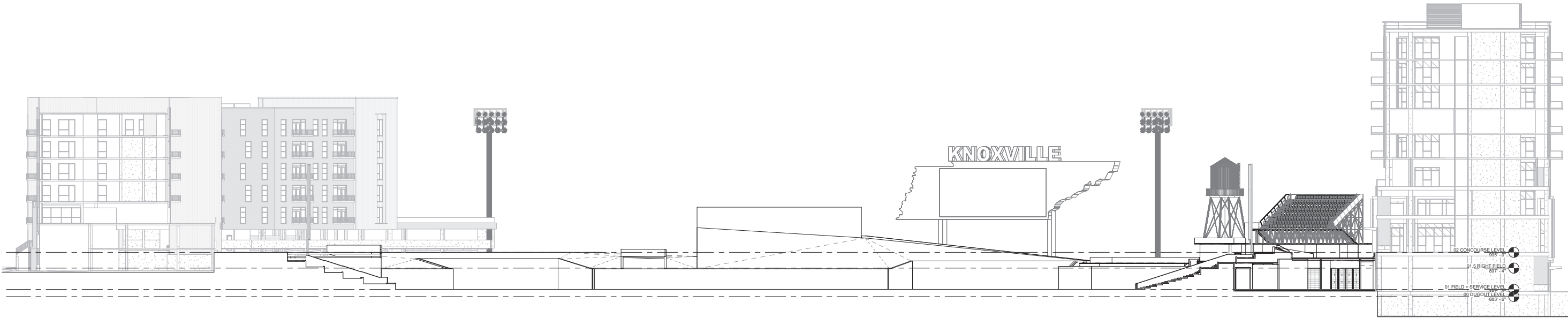
01050100

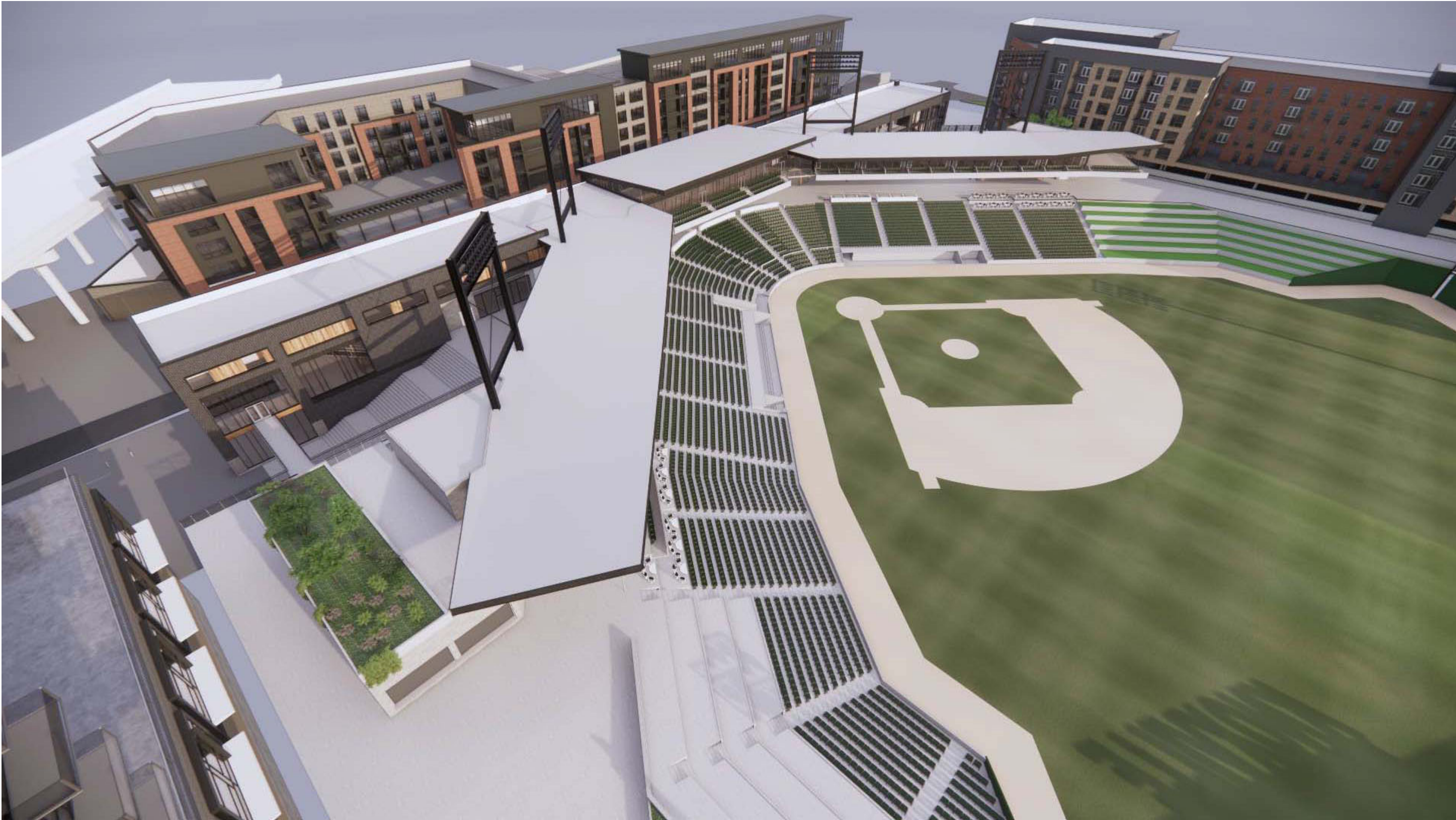
FENESTRATION DESIGN		
LEVEL	REQ'D % FENESTRATION	% FENESTRATION
GROUND LEVELS	30%	EXCEEDS 30%
UPPER LEVELS	15%	EXCEEDS 15%

ELEVATION INDICATES OVERALL DESIGN INTENT BUT MAY BE SUBJECT TO CHANGE DEPENDING ON THE OWNER/DEVELOPER OF THE PROPERTY ONCE DETERMINED. ANY ALTERATIONS WILL MEET THE ZONING REQUIREMENTS OF THE I-MU BASE ZONE, THE PLANNED DEVELOPMENT, AND CONDITIONS OF THE FINAL PLAN APPROVAL AS APPROPRIATE.

(X) = POTENTIAL PLANNED VARIATION IN BUILDING MATERIAL TYPE, SIZE, AND CONFIGURATION









East Jackson Street @ Stadium, looking east
Knoxville, Tennessee

11-A-21-PD

STREET SECTION



Entertainment zone	Sidewalk	Trees/ lights	Shared Travel Line	Shared Travel Line	Trees/ lights	Sidewalk	Entertainment zone
VARIES 4'0" min	6'0"	4'0"	11'0"	11'0"	4'0"	6'0"	VARIES 4'0" min

STREET PLAN

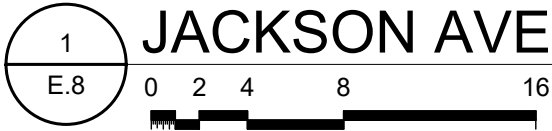


EXHIBIT F.1 – PROPOSED PUBLIC UTILITIES SITE PLAN

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

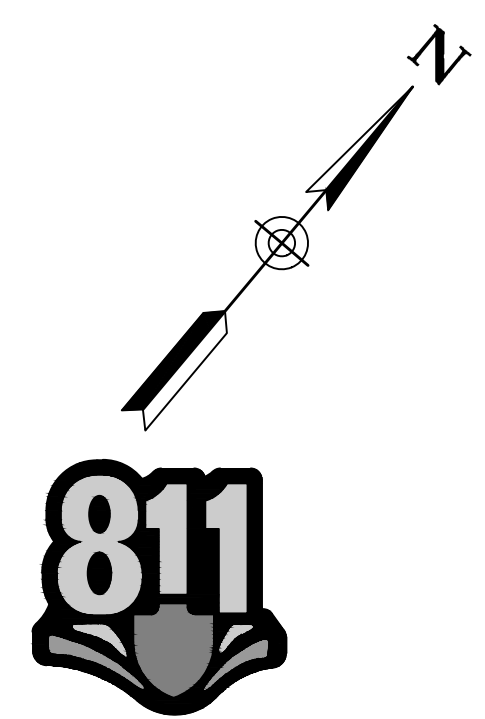
Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540

GEMMA
GEM Associated Architects: A Joint Venture
BarbettaMcNary Architects + Design Innovation Architects

NOT FOR CONSTRUCTION

Jackson Ave.
Knoxville, TN 37902

PROPOSED UTILITY PLAN



0 40 80 120
GRAPHIC SCALE (IN FEET)

EXHIBIT G.1 – PARKING STUDY

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540



February 24, 2020

RR Land, LLC
3540 Line Drive
Kodak, TN 37764

Attention: Mr. Doug Kirchhofer

Reference: **Downtown Parking Summary**
S&ME Project No. 514319009

Dear Mr. Kirchhofer:

S&ME, Inc. (S&ME) appreciates the opportunity to submit this letter report summarizing the results of a downtown parking evaluation. This evaluation was prepared in general accordance with our January 24, 2020 Proposal for Engineering Services.

RR Land, LLC has enlisted the help of several architecture and land planning firms for the master planning and visioning for the redevelopment of several parcels in and around the Old City District of downtown Knoxville. This Parking study was prepared to support these master planning efforts and for use in further discussion with downtown stakeholders as the redevelopment projects develop.

◆ Introduction

Interest in redevelopment of the Old City district east of James White Parkway and north of Summit Hill has increased as the private and public Downtown District redevelopment has neared completion. The question of parking for this area has routinely been asked and there are numerous and varied opinions on the correct or reasonable way to handle parking in the future for this area. An inventory of potential and available parking has not been made publicly available and S&ME staff were requested to evaluate the existing parking assets for use in future discussion on the redevelopment of the Old City District and adjacent areas. The block bounded by Jackson Street (north), Florida Street (east), Patton Street (west) and Willow Avenue (south) was used as the center of the study area and parking for use by the community was the focus of this study.

◆ Parking Summary

Methodology

S&ME staff have provided a summary of existing available parking in and around downtown Knoxville. The purpose of the study is to provide quantification of the available parking resources to be shared by current and future downtown entertainment, restaurant retail, commercial and residential users. Parking areas were counted by:

- Review of existing aerial photography (Google Earth and KGIS,
- Publicly available parking database from the City of Knoxville, and
- Site reconnaissance of the area to evaluate current uses and counts.

The collected data was compiled and sorted by distance, public vs private and type of parking asset (surface, garage, street, etc.). Aerial plans of the parking assets evaluated were developed and are attached with this letter. The parking was specifically sorted by distance as follows:

- **¼ mile radius**—Determined to be roughly a 5-minute walk from the area of interest. Most users would park and walk within this limit.
- **½ mile radius**—Determined to be a 10 to 15-minute walk from the area of interest. Users would most likely either walk or use publicly available transportation of either KAT bus, rental bicycles or scooters within this limit.
- **1 mile radius**—Determined to be a 30 min walk from the area of interest. Some users would walk if already downtown or reside in the downtown district. Publicly available transportation as previously defined would be relied on for site access.

Additionally, the parking was defined/describe by the asset's existing use, ownership and/or location. These use definitions can be described as:

- **Public**—Public spaces are those spaces located within open surface lots, public garages or on-street parking within the ROW of an existing street. These spaces are free to the public and generally available to the public for use.
- **Public/Paid**—These parking assets are located on private lots that require payment or tags for parking, within controlled garages or as metered spaces within the City street ROW. Parking is generally readily available to public, with the exception of special events, where it may be reserved.
- **Private**—Private lots are those shown and listed for residents, employees or patrons only. The availability for use by the public will vary depending on the date, time of day, etc.. for the requested use. Residential lots should not be considered available for any public use. Local businesses may use nearby lots as a revenue source during high intensity events in the District.

Results

The data collected was sorted and plotted. Aerial plans of the parking assets evaluated are attached. A table of the data collected and tabulated is attached with this letter for review. Below is a summary table of the findings:

Distance	Public	Public/Paid	Private	Total	Sum Total
¼ Mile	682	210	441	1,333	1,333
½ Mile	620	4,043	1,679	6,342	7,675
1 Mile	406	6,299	1,350	8,055	15,730
Totals	1,708	10,552	3,470	15,730	

¼ Mile

There are approximately 892 publicly available spaces within ¼ mile of the study area. Most of these are open spaces beneath James White Parkway and on-street parking on Willow Avenue, Jackson Avenue and adjacent streets.

Private spaces (approximately 441) within ¼ mile of the study area are generally surface lots for local businesses east of Randolph/Florida Streets.

½ Mile

There are approximately 4,663 publicly available spaces located between ¼ and ½ mile from the study area. These spaces include the Civil Coliseum A&B garages, State Street and Promenade garages and several on-street parking areas. Local KAT bus routes are available from the existing garages to the Old City and near the study area.

Private spaces (1,679) between ½ and ¾ mile of the study area are generally distributed to the east and west of the site. Private lots to the east are owned by local businesses and KUB. Private lots to the west are generally private downtown lots for owners and patrons.

1 Mile

There are approximately 6,705 publicly available parking spaces located between ½ and 1 mile from the study area. These are a mix of public garages, on-street parking and available surface lots. As stated before, public transportation, (KAT, scooter & bicycle rental) are readily available from these areas to the Old City and study area.

Private spaces (1,305) documented between ½ and 1 mile of the study area again are generally distributed to the east and west of the site. The private lots are generally large private surface lots which are gated and signed for private use only.

Summary

There are approximately 5,500 publicly available spaces within ½ mile of the study area comprised of a mix of free public and paid public parking. Additionally, there is the opportunity, with discussion with local business owners by either the development team or the City of Knoxville, for additional existing private spaces to be used as paid parking during special events.

The site is centralized to a large portion of the Knoxville area. Access from the west and east is available via James White Parkway, Summit Hill and the Magnolia Corridor. Access from north will generally be from Broadway to James White Parkway and the Magnolia Corridor and access from the south will be via James White Parkway and Riverside Drive. Locally much of this area is already designed to accommodate Coliseum and University of Tennessee event parking. Streets within the Old City and adjacent to the study are relatively narrow and designed for light to moderate local traffic. The quantity of available parking within the ¼ to ½ mile radius of the study area will be a benefit to prior and post event traffic movements as it will allow for a greater disbursement of patrons to and from the site.

The availability of KAT bus routes in the vicinity of the study area will also play a significant role in transportation to and from the site. Additionally, it may provide opportunities for additional patrons to this generally under-utilized resource.

◆ Closing

S&ME appreciates the opportunity to be of service to you on this very important project for RR Land and the City of Knoxville. If you have any questions regarding this letter, if you wish to discuss the data or its presentation, or if we may be of further assistance, please do not hesitate to contact us.

Sincerely,
S&ME, Inc.



Brad Salsbury, P.E.
Project Manager

DRAWING PATH: T:\BDD\Projects\2019\5143-19-005_New_Knoxville_Baseball_Stadium\Parking\Maps\Parking Maps.dwg



DOWNTOWN PARKING

KNOXVILLE, TENNESSEE
03.23.2020

Downtown Parking Summary Data

Description	Location	No			Distance	Type
E Jackson Lot	Barley	45	Private		0.25 Mile	Parking Lot
E Depot Lot	Knox Rail	14	Private		0.25 Mile	Parking Lot
Morgan St Lot	Knox Rail	23	Private		0.25 Mile	Parking Lot
S Kentucky Lot	KUB	80	Private		0.25 Mile	Parking Lot
E Jackson Lot Front	KUB	35	Private		0.25 Mile	Parking Lot
E Jackson Lot Back	KUB	180	Private		0.25 Mile	Parking Lot
Randolph St Lot	Marc Nelson	30	Private		0.25 Mile	Parking Lot
Randolph St Lot	Graning Paint Co	34	Private		0.25 Mile	Parking Lot
Platinum Pkg		80	Public	Cash/Credit	0.25 Mile	Parking Lot
Dewhurst (127 E Jack)		130	Public	Cash/Credit	0.25 Mile	Parking Lot
Old City Public Parking	COK 1	100	Public	Open	0.25 Mile	Parking Lot
Old City Public Parking	COK 2	150	Public	Open	0.25 Mile	Parking Lot
Georgia St Pkg		32	Public	Open	0.25 Mile	Street Parking
Randolph St Pkg		30	Public	Open	0.25 Mile	Street Parking
Willow Ave St Pkg	Patton	100	Public	Open	0.25 Mile	Street Parking
W Jackson Ave St Pkg	Old City	120	Public	Open	0.25 Mile	Street Parking
Willow Ave	Street	150	Public	Open	0.25 Mile	Street Parking
S Bell St Lot	Lit. Imper.	113	Private		0.5 Mile	Parking Lot
Harriet Tubman St Lot	Church	33	Private		0.5 Mile	Parking Lot
McCalla Ave Lot	Unity Mort.	60	Private		0.5 Mile	Parking Lot
Harriet Tubman St Lot	KCDC S 8 H.	125	Private		0.5 Mile	Parking Lot
E Magnolia Lot	KAT	24	Private		0.5 Mile	Parking Lot
Myrtle St Lot	PSCC	60	Private		0.5 Mile	Parking Lot
McCalla Ave Lot	Stokes	60	Private		0.5 Mile	Parking Lot
Winona St Lot	Sertoma Ctr	28	Private		0.5 Mile	Parking Lot
E 5th Ave Lot	Gibbons St	27	Private		0.5 Mile	Parking Lot
Jessamine St Lot	KAT	72	Private		0.5 Mile	Parking Lot
Jessamine St Lot	KAT	38	Private		0.5 Mile	Parking Lot
S Gay St Lot	Fire St	65	Private		0.5 Mile	Parking Lot
Fire St	Bacon	15	Private		0.5 Mile	Parking Lot
S Gay St	TVA	42	Private		0.5 Mile	Parking Lot
W Vine	Sterchi	72	Private		0.5 Mile	Parking Lot
W Vine	Sterchi	80	Private		0.5 Mile	Parking Lot
Union Ave Lot	State St	32	Private		0.5 Mile	Parking Lot
Charles Pl Lot	Vine Furn	30	Private		0.5 Mile	Parking Lot
Charles Pl Lot	Axiom	25	Private		0.5 Mile	Parking Lot
W Depot Ave Lot	N Central	70	Private		0.5 Mile	Parking Lot
Ogden St Lot	Depot	16	Private		0.5 Mile	Parking Lot
W Jackson Lot	Loft/Pour	150	Private		0.5 Mile	Parking Lot
N Central Lot	GreyHound	20	Private		0.5 Mile	Parking Lot
W Depot Ave Lot	S Station	140	Private		0.5 Mile	Parking Lot
W Depot Ave Lot	Whist Crt	90	Private		0.5 Mile	Parking Lot
Frazier Lot	KCS	42	Private		0.5 Mile	Parking Lot

Georgia Ave Lot	KCS	40	Private		0.5 Mile	Parking Lot
Georgia Ave Lot	KCS	70	Private		0.5 Mile	Parking Lot
Civic Coliseum	PG A	703	Public	Cash/Credit	0.5 Mile	Parking Garage
Civic Coliseum	PG B	754	Public	Cash/Credit	0.5 Mile	Parking Garage
State Street	PG	1497	Public	Cash/Credit	0.5 Mile	Parking Garage
Promenade	PG	277	Public	Cash/Credit	0.5 Mile	Parking Garage
Jackson Ave Lot		190	Public	Cash/Credit	0.5 Mile	Parking Lot
205 Union Ave Lot		23	Public	Cash/Credit	0.5 Mile	Parking Lot
Union Ave Lot	Marble Alley	120	Public	Cash/Credit	0.5 Mile	Parking Lot
S+P Jackson Ave		67	Public	Cash/Credit	0.5 Mile	Parking Lot
S+P Central/Willow		105	Public	Cash/Credit	0.5 Mile	Parking Lot
W Vine Ave	S Gay	40	Public	Meter	0.5 Mile	Parking Lot
N Gay St	Bridge	60	Public	Meter	0.5 Mile	Street Parking
S Gay St	Jackson/Vine	26	Public	Meter	0.5 Mile	Street Parking
W Vine Ave	Street	16	Public	Meter	0.5 Mile	Street Parking
State Street St Pkg		30	Public	Meter	0.5 Mile	Street Parking
S Central St Pkg	State St	70	Public	Meter	0.5 Mile	Street Parking
Commerce Ave St Pkg		6	Public	Meter	0.5 Mile	Street Parking
N Central St Pkg	W Depot	13	Public	Meter	0.5 Mile	Street Parking
W Depot Ave St Pkg		23	Public	Meter	0.5 Mile	Street Parking
N Gay St Pkg	W Magn	12	Public	Meter	0.5 Mile	Street Parking
S Central St Pkg	Old City	11	Public	Meter	0.5 Mile	Street Parking
Honor Our Troops	Police Station	234	Public	Open	0.5 Mile	Parking Lot
W Magnolia Pkg Lot	COK 2	100	Public	Open	0.5 Mile	Parking Lot
W Magnolia Pkg Lot	COK 3	115	Public	Open	0.5 Mile	Parking Lot
William St Lot		45	Public	Open	0.5 Mile	Parking Lot
Central and Depot	Front	6	Public	Open	0.5 Mile	Street Parking
W Magnolia St Pkg		30	Public	Open	0.5 Mile	Street Parking
W Depot Ave St Pkg		22	Public	Open	0.5 Mile	Street Parking
William St Pkg		8	Public	Open	0.5 Mile	Street Parking
Ogden St Pkg		12	Public	Open	0.5 Mile	Street Parking
W Jackson Ave St Pkg	Balter/Pour	48	Public	Open	0.5 Mile	Street Parking
E Depot Lot	Knox Rail	40	Private		0.5 Mile	Parking Lot
Myrtle St Lot	PSCC	200	Private		1 Mile	Parking Lot
Myrtle St Lot	E TN PBS	28	Private		1 Mile	Parking Lot
Myrtle St Lot	Midway	88	Private		1 Mile	Parking Lot
E 5th Ave Lot	Knox Ubn Lg	28	Private		1 Mile	Parking Lot
Winona St Lot	Regions Bk	34	Private		1 Mile	Parking Lot
Summer Place	Monthly	780	Private		1 Mile	Parking Garage
194 W Church Pkg		72	Private		1 Mile	Parking Lot
413 W Clinch Ave		54	Private		1 Mile	Parking Lot
Walnut St	W Clinch	66	Private		1 Mile	Parking Lot
Civic Coliseum	PG C	750	Public	Cash/Credit	1 Mile	Parking Garage
State St PG DK	Dwight Kessel	964	Public	Cash/Credit	1 Mile	Parking Garage
Main St W (S + P)	Riverview Tower	429	Public	Cash/Credit	1 Mile	Parking Garage
Main St W	Main Ave	475	Public	Cash/Credit	1 Mile	Parking Garage
First TN Plaza		424	Public	Cash/Credit	1 Mile	Parking Garage

Clinch Ave	Hilton PG	398	Public	Cash/Credit	1 Mile	Parking Garage
Locust St PG	W Clinch	649	Public	Cash/Credit	1 Mile	Parking Garage
Market Square	Walnut St	677	Public	Cash/Credit	1 Mile	Parking Garage
Locust St PG	Langley	944	Public	Cash/Credit	1 Mile	Parking Garage
Republic Pkg	Cumberland Ave	208	Public	Cash/Credit	1 Mile	Parking Lot
603 W Hill Ave		71	Public	Cash/Credit	1 Mile	Parking Lot
Main St W (S + P)	Clay Lot	51	Public	Cash/Credit	1 Mile	Parking Lot
Walnut St	Premier	133	Public	Cash/Credit	1 Mile	Parking Lot
W Church Ave (S + P)		66	Public	Cash/Credit	1 Mile	Parking Lot
S Gay St Pkg		60	Public	Meter	1 Mile	Street Parking
Jessamine St Lot	JT O'C /YMCA	216	Public	Open	1 Mile	Parking Lot
Jessamine St Lot	RH BB Field	85	Public	Open	1 Mile	Parking Lot
700 S Gay St Pkg		25	Public	Open	1 Mile	Parking Lot
W Magnolia Pkg Lot	COK 1	80	Public	Open	1 Mile	Parking Lot
Location		Count	Type	Payment	Range	Category

Summary

	Spots
Total	15730
Private	3470
Public	12260

	Spots
Parking Garage	9721
Street Parking	885
Parking Lot	5124

	Spots	Public	Public Free	Public Paid	Private
0.25 Mile	1333	892	682	210	441
0.5 Mile	6342	4663	620	4043	1679
1 Mile	8055	6705	406	6299	1350

EXHIBIT G.2 – PARKING UTILIZATION STUDY

GEM Associated Architects

BarberMcMurry Architects
505 Market Street, Suite 300
Knoxville, Tennessee 37902
865-934-1915

Design Innovation Architects
402 S. Gay Street
Knoxville, Tennessee 37902
865-637-8540



August 27, 2021

RR Land, LLC
3540 Line Drive
Kodak, TN 37764

Attention: Mr. Doug Kirchhofer

Reference: Downtown Parking Utilization Summary
S&ME Project No. 514319009

Dear Mr. Kirchhofer:

S&ME, Inc. (S&ME) appreciates the opportunity to submit this letter report summarizing the results of a downtown parking utilization evaluation. This evaluation was prepared in general accordance with our change order No. 514319009, dated August 11, 2021, Downtown Knoxville Parking Utilization Study.

The City of Knoxville has recognized that public parking capacity will be affected due to the proposed downtown multi-use stadium and other potential redevelopment in and around the Old City of Knoxville, Tennessee, and has requested that a study of available parking spaces be conducted during the time period of anticipated stadium events. The purpose of this report is to provide the methodology and results of this requested study.

◆ Introduction

Planned development within the Old City District east of James White Parkway will likely impact the availability of parking spaces over time. The GEMAA design team has proposed a multi-use stadium along with mixed-use buildings as part of the planned development. The proposed development would promote activity and provide outdoor entertainment events, as well as accommodate 7500 spectators during athletic events and up to 15,000 attendees within the stadium for occasional concert type activities. Based on current code guidance and parking demand calculated at 4 spaces/1000 GSF of floor area (Plazas and stadium), the parking needed to accommodate the demand of the proposed multi-use stadium is approximately 1,750 parking spaces. This study provides a summary of existing utilization and available capacity of existing parking during the anticipated peak demand of the development.

◆ Parking Utilization Summary

Methodology

The following methodology was used to collect and organize the data collected during the preparation of this study.

- S&ME staff observed the listed parking facilities at hourly intervals from 3PM to 7PM, representative of a typical PM peak traffic period and concurrent with future evening events held at the proposed stadium.
- The field survey for public parking occupancy was conducted during three typical weekdays and one high volume weekend day in August 2021.

- The previously submitted Downtown Parking Summary identified existing parking facility types (parking garage, on-street parking, and surface lot) as well as their locations within the one (1) mile study radius. The inventory collection phase of this previous study helped determine relevant facilities to be inventoried for this utilization study.
- Since the submission of the summary report, there have been changes to the existing parking inventory due to construction activity and changes in property ownership. Confirmation of current parking inventory was performed and analyzed as part of this utilization study. A representative map of parking facilities investigated is illustrated in Appendix A.
- Data was not collected for five (5) parking garages, 2,975 spaces, for the parking study and is in the process of being collected and will be included in a supplement. Within the current study, it was assumed 100% utilization for these garages as a conservative estimate of the Parking Garage Occupancy section.
- S&ME staff collected data for the existing parking facilities within a one (1) mile radius of the project site. Occupied vehicle parking stalls were listed as utilized during the study times.
- The utilization study involved collecting observed field data and reviewing provided garage usage data from the Knoxville/Knox County Public Building Authority (PBA).
- The total number of paid (cash/credit or metered), non-metered or timed spaces, and the total number of spaces dedicated to specific uses such as Handicap Parking were recorded. Additionally, available on-street spaces were recorded to support the parking capacity analysis.
- Parking data was collected and distributed to provide the percentage of utilization per hour.
- The data was compiled and sorted by distance, public vs private, and type of parking facility, see in Appendix C.

Results

Within a one (1) mile radius of the project site, there are a total 15,606 parking spaces. Of those, 12,508 spaces are publicly owned. For this study, parking facilities were categorized and analyzed to determine the average and peak utilization rate. Utilization rate was calculated by dividing the total number of vehicles observed over the study period by the total capacity for each parking facility. Parking survey data and further analysis of the utilization study can be found in Appendix C.

It should be noted that during the data collection period, three large events were held in downtown Knoxville. Two large events were held simultaneously on the weekend' the Knoxville Brewfest held at the Southern Railway Station and a social function at the Coliseum, and a graduation ceremony at the Coliseum held on a weekday. Conducting the utilization study during these events provided an opportunity to analyze the availability of parking spaces during a period of greater than typical peak usage.

Table 1 – Weekday Utilization Public Parking

Parking Facilities	Total Available Spots	Average Utilization	Average Utilization Rate	Peak Utilization	Peak Utilization Rate	Peak Utilization Time
Coliseum	2,207	233	11%	288	13%	6:00 PM
City Garages	4,756	1,659	35%	1,999	42%	3:00 PM
Surface Lots	2,435	663	27%	706	29%	3:00 PM
On-Street Parking	915	424	46%	452	49%	6:00 PM
TOTAL	10,313	2,979	29%			

Table 2 – Weekend Utilization Public Parking

Parking Facilities	Total Available Spots	Average Utilization	Average Utilization Rate	Peak Utilization	Peak Utilization Rate	Peak Utilization Time
Coliseum	2,207	419	19%	693	31%	7:00 PM
City Garages	4,756	2,386	50%	2,792	59%	7:00 PM
Surface Lots	2,435	1,049	43%	1,214	50%	6:00 PM
On-Street Parking	915	512	56%	637	70%	7:00 PM
TOTAL	10,313	4,366	42%			

Table 3 – Weekday Available Public Parking

Parking Facilities	Total Available Spots	Average % Available	Average % Available	Average % Available	Average % Available	Average % Available	Daily Average Available
		3:00:00 PM	4:00:00 PM	5:00:00 PM	6:00:00 PM	7:00:00 PM	
Coliseum	2,207	89%	87%	88%	91%	93%	89%
City Garages	4,756	57%	60%	67%	71%	71%	65%
Surface Lots	2,435	71%	75%	73%	73%	72%	73%
On-Street Parking	915	59%	55%	52%	51%	52%	54%

Table 4 – Weekend Available Public Parking

Parking Facilities	Total Available Spots	Average % Available	Average % Available	Average % Available	Average % Available	Average % Available	Daily Average Available
		3:00:00 PM	4:00:00 PM	5:00:00 PM	6:00:00 PM	7:00:00 PM	
Coliseum	2,207	88%	88%	85%	69%	76%	81%
City Garages	4,756	52%	53%	54%	41%	48%	50%
Surface Lots	2,435	62%	60%	58%	50%	54%	57%
On-Street Parking	915	49%	48%	49%	44%	30%	44%

- See Appendix B & C for further analysis.

Coliseum

The Coliseum Parking Garages A,B, & C hold a total of 2,207 publicly available parking spaces. These garages are located ½ mile from the project site. During the weekdays of the parking study, Garages B&C were closed during the study intervals. On the weekend, a social event was held at the Coliseum and all garages were open. The results show Garages A&B were utilized the most on the weekend, with an average utilization rate of 13% for Garage A, 30% for Garage B, and only 5% for Garage C (See Appendix C for data analysis). Overall, the Coliseum Garages have an average overall utilization of 11%, and a peak utilization of 13% at 6:00PM. With a social event being held on the weekend, the average utilization of spaces increased to 19% where peak utilization was 31% at 7:00PM.

Parking Garage Occupancy

There are 4,756 publicly available spaces located in parking garages that were observed and analyzed for this utilization study. All of these are located within a ½ to 1 mile radius of the project site. Most of these are located in downtown Knoxville, south of East Summit Hill Drive. Weekday parking exhibited availability of 65% of parking spaces. Peak utilization of parking garage spaces was at 42% during 3:00 PM for weekdays. By the weekend, utilization had increased with an average of 50% and 59% peak utilization occurring at 6:00PM.

Due to the previously mentioned data gap for public garages, a separate analysis was performed on the parking garage data, applying 100% capacity to the five garages. With maximum capacity analyzed in these parking garages, average availability of parking spaces remained within normal parameters and provided 45% of availability on weekdays and 48% on weekends.

Surface Lot Occupancy

There are approximately 2,435 publicly available spaces within surface lots ranging from ¼ to 1 mile from the project site. During the parking study, an average of 27% of spaces were occupied on weekdays, and occupancy was higher on the weekend with 43% of spaces occupied during the study period. Weekday utilization peaked at 3:00 PM with 29% of spaces occupied. Weekend utilization was had an average rate of 43% and peaked at 6:00 PM with 50% of spaces occupied.

On-Street Parking Occupancy

There are 915 publicly available spaces designated as on-street public parking. These spaces are scattered throughout a 1-mile radius of the project site, as illustrated in Appendix A. On-street parking utilization was consistently higher than any other street facilities inspected. The high demand for parking was evident during the inventory collection process. An average of 56% of on-street parking was consistently utilized during weekdays with peak utilization occurring at 6:00PM. The highest percentage of on-street utilization was during a weekend large event held downtown with 70% of on-street parking utilized.

The major thoroughfares through the Old City and Downtown Districts are South Gay Street and West Jackson Avenue. Street parking utilization was highest along South Gay Street and West Jackson Avenue, where average utilization was found to be 82% and 94%, respectively.

Private Surface Lots

In addition to publicly available parking, private parking facilities were analyzed within the study limits. This will provide opportunity by either the development team or the City of Knoxville to discuss with local business owners

whether additional existing private spaces could be used as paid parking during special events. Rather than designing additional parking facilities, the existing use of private lots would benefit local businesses and the residents of the community. There are 2,318 spaces within privately owned surface lots. On a typical PM weekday, results showed a 78% availability of private surface lots. On the weekends, 92% of spaces were available for use.

ADA Designated Parking Inventory

As part of the discussion between the City of Knoxville and TDOT, the number of currently available public ADA designated spaces within the study radius was incorporated within this parking study. ADA designated parking is located within parking facilities by identified marked signage or accessible symbols. There were approximately 158 designated ADA spaces observed and recorded within the study area in and around downtown Knoxville available for use. Of these, approximately 102 are publicly available ADA designated spaces.

Summary

Based on the utilization of available parking within the downtown and surrounding regions, there is sufficient parking capacity to accommodate the public during a stadium event at the Multi-use Stadium. The current parking availability during evening peak hours provides evidence of no disruption of traffic conflicts or parking overflows in surrounding areas. During peak hours, approximately 4,977 spaces would be available on a weekend to accommodate stadium events and growing development of the Old City District, which exceeds the minimum parking needed to support the proposed development. Additionally, high traffic volumes congruent with local events provides similar characteristics of parking trends and utilization results which the proposed multi-use stadium would encompass.

◆ **Closing**

S&ME appreciates the opportunity to be of service to you on this very important project for RR Land and the City of Knoxville. If you have any questions regarding this letter, if you wish to discuss the data or its presentation, or if we may be of further assistance, please do not hesitate to contact us.

Sincerely,

S&ME, Inc.



Brad Salsbury, P.E.
Project Manager

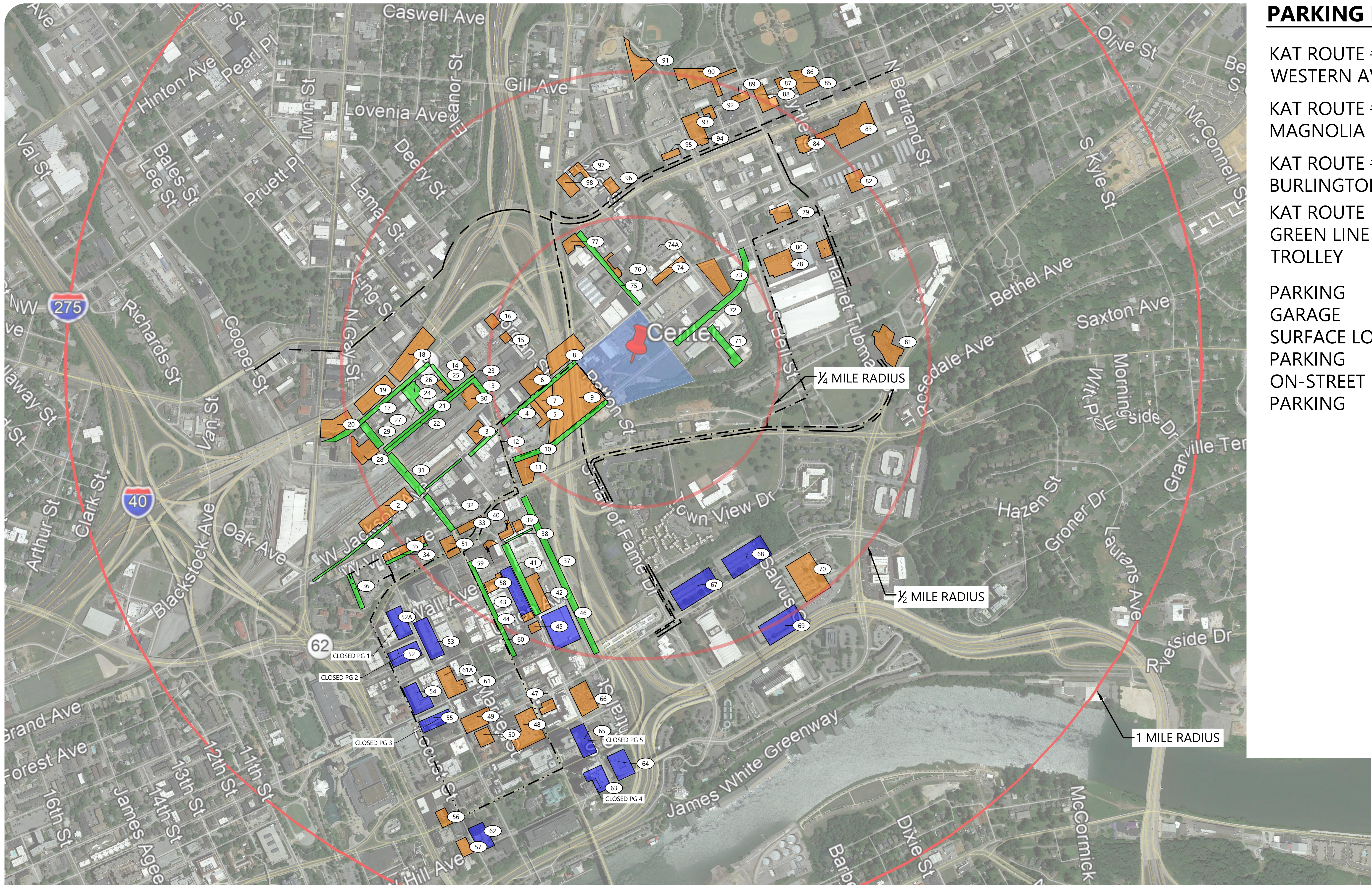


Jennifer R. Blanchard
Staff Professional I

Appendices

Appendix A – Parking Map

DRAWING PATH: T:\0820Projects\2019\5143-19-002_New_Knoxville_Baseball_Stadium\Parking\Utilization Study\Parking Utilization Map.dwg



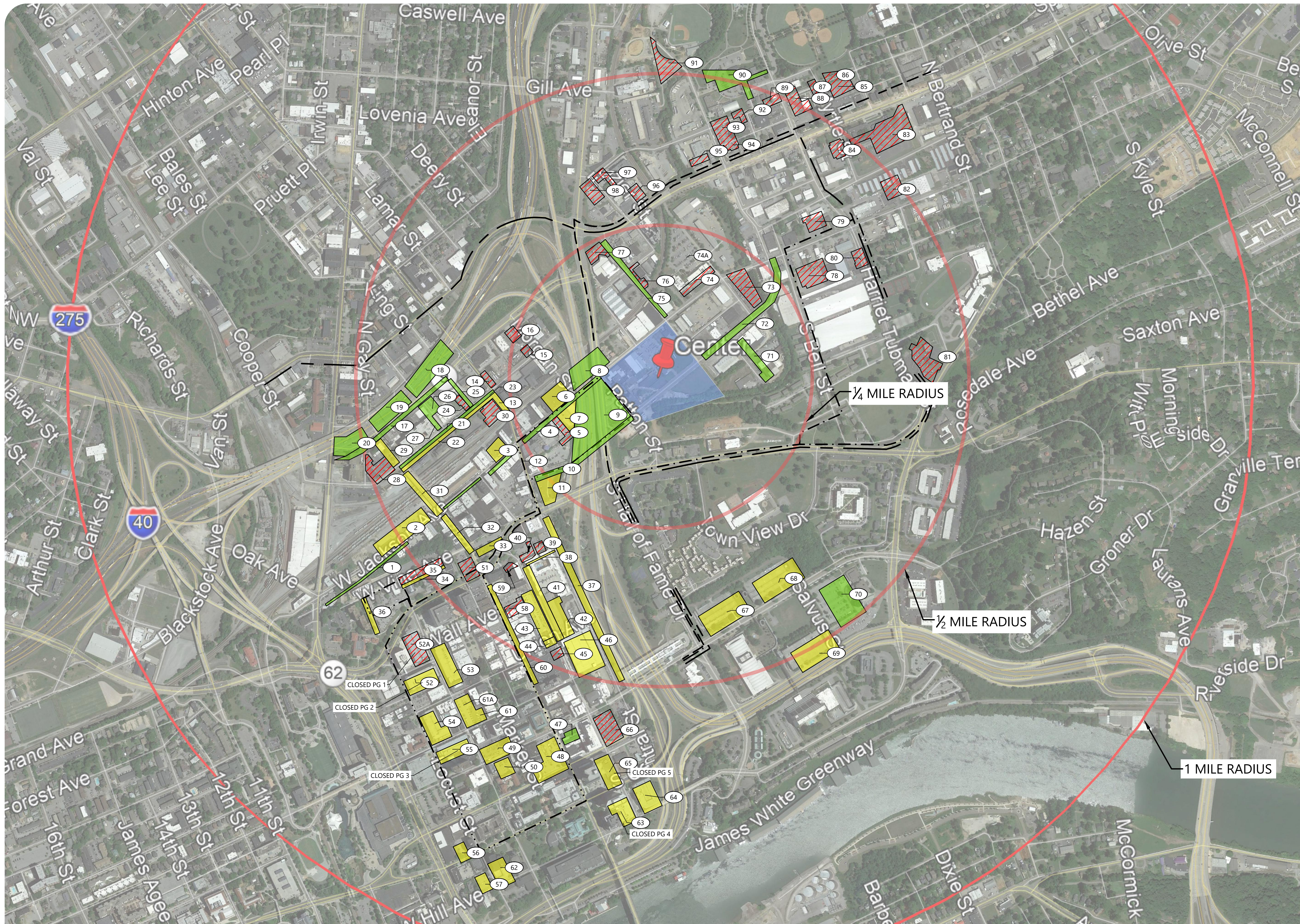
PARKING LEGEND

KAT ROUTE #12	— — —
WESTERN AVE	
KAT ROUTE #31	- - - - -
MAGNOLIA	
KAT ROUTE #34	- · - · - · -
BURLINGTON	
KAT ROUTE	- · - · - · -
GREEN LINE	
TROLLEY	
PARKING	
GARAGE	
SURFACE LOT	
PARKING	
ON-STREET	
PARKING	



DOWNTOWN PARKING

KNOXVILLE, TENNESSEE
08.27.2021



PARKING LEGEND

- KAT ROUTE #12 — — — —
- WESTERN AVE — — — —
- KAT ROUTE #31 — — — —
- MAGNOLIA — — — —
- KAT ROUTE #34 — — — —
- BURLINGTON — — — —
- KAT ROUTE — — — —
- GREEN LINE TROLLEY — — — —
- FREE PUBLIC PARKING
- PAID PUBLIC PARKING
- PRIVATE PARKING

Appendix B – Parking Study Analysis

Available Public Parking

Tuesday

Parking Facilities	Tot. Avbl. Spots	15:00		16:00		17:00		18:00		19:00		Daily Avg. Avbl.	Peak Avbl.
		Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.		
Coliseum	2207	1785	81%	1645	75%	1645	75%	1645	75%	1785	81%	77%	81%
City Garages	4756	2778	58%	2516	53%	2704	57%	2727	57%	2920	61%	57%	61%
Surface Lots	2435	1835	75%	1840	76%	1855	76%	1851	76%	1877	77%	76%	77%
On-Street Parking	915	565	62%	494	54%	473	52%	494	54%	503	55%	55%	62%

Wednesday

Parking Facilities	Tot. Avbl. Spots	15:00		16:00		17:00		18:00		19:00		Daily Avg. Avbl.	Peak Avbl.
		Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.		
Coliseum	2207	2031	92%	2031	92%	2031	92%	2172	98%	2172	98%	95%	98%
City Garages	4756	2729	57%	2992	63%	3373	71%	3691	78%	3658	77%	69%	78%
Surface Lots	2435	1653	68%	1804	74%	1777	73%	1808	74%	1786	73%	73%	74%
On-Street Parking	915	529	58%	467	51%	451	49%	412	45%	453	49%	51%	58%

Friday

Parking Facilities	Tot. Avbl. Spots	15:00		16:00		17:00		18:00		19:00		Daily Avg. Avbl.	Peak Avbl.
		Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.		
Coliseum	2207	2066	94%	2080	94%	2137	97%	2187	99%	2195	99%	97%	99%
City Garages	4756	2765	58%	3014	63%	3435	72%	3655	77%	3505	74%	69%	77%
Surface Lots	2435	1700	70%	1806	74%	1724	71%	1687	69%	1573	65%	70%	74%
On-Street Parking	915	513	56%	547	60%	516	56%	483	53%	464	51%	55%	60%

Weekday

Parking Facilities	Tot. Avbl. Spots	15:00		16:00		17:00		18:00		19:00		Daily Avg. Avbl.	Peak Avbl.
		Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.		
Coliseum	2207	1961	89%	1919	87%	1938	88%	2001	91%	2051	93%	89%	93%
City Garages	4756	2757	58%	2841	60%	3171	67%	3358	71%	3361	71%	65%	72%
Surface Lots	2435	1729	71%	1817	75%	1785	73%	1782	73%	1745	72%	73%	75%
On-Street Parking	915	535	59%	503	55%	480	52%	463	51%	473	52%	54%	60%

Weekend

Parking Facilities	Tot. Avbl. Spots	15:00		16:00		17:00		18:00		19:00		Daily Avg. Avbl.
		Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	Spots Avbl.	% Avbl.	
Coliseum	2207	1935	88%	1935	88%	1870	85%	1514	69%	1687	76%	81%
City Garages	4756	3245	68%	3258	69%	3187	67%	2476	52%	2805	59%	63%
Surface Lots	2435	1503	62%	1462	60%	1417	58%	1221	50%	1327	54%	57%
On-Street Parking	915	445	49%	442	48%	445	49%	407	44%	278	30%	44%

Utilized Public Parking

Tuesday

Parking Facilities	Tot. Avbl. Spots	Average Utilization Rate	Peak Utilization Rate	Peak Utilization Time
Coliseum	2207	23%	25%	4:00 PM & 6:00 PM
City Garages	4756	43%	47%	4:00 PM
Surface Lots	2435	24%	25%	3:00 PM
On-Street Parking	915	45%	48%	5:00 PM

Wednesday

Parking Facilities	Tot. Avbl. Spots	Average Utilization Rate	Peak Utilization Rate	Peak Utilization Time
Coliseum	2207	5%	8%	3:00 PM - 5:00 PM
City Garages	4756	31%	43%	3:00 PM
Surface Lots	2435	27%	32%	3:00 PM
On-Street Parking	915	49%	55%	6:00 PM

Friday

Parking Facilities	Tot. Avbl. Spots	Average Utilization Rate	Peak Utilization Rate	Peak Utilization Time
Coliseum	2207	3%	6%	3:00 PM
City Garages	4756	31%	42%	3:00 PM
Surface Lots	2435	30%	35%	7:00 PM
On-Street Parking	915	45%	49%	7:00 PM

Weekday

Parking Facilities	Tot. Avbl. Spots	Average Utilization	Average Utilization Rate	Peak Utilization	Peak Utilization Rate	Peak Utilization Time
Coliseum	2,207	233	11%	288	13%	6:00 PM
City Garages	4,756	1,659	35%	1,999	42%	3:00 PM
Surface Lots	2,435	663	27%	706	29%	3:00 PM
On-Street Parking	915	424	46%	452	49%	6:00 PM
TOTAL	10,313	2,979	29%	3,445	33%	

Weekend

Parking Facilities	Tot. Avbl. Spots	Average Utilization	Average Utilization Rate	Peak Utilization	Peak Utilization Rate	Peak Utilization Time
Coliseum	2,207	419	19%	693	31%	7:00 PM
City Garages	4,756	1,762	37%	2,280	48%	7:00 PM
Surface Lots	2,435	1,049	43%	1,214	50%	6:00 PM
On-Street Parking	915	512	56%	637	70%	7:00 PM
TOTAL	10,313	3,741	36%	4,824	47%	

Appendix C – Parking Survey Data

Downtown Parking Site Information

Location		Additional	Provided	Type	Distance	Type	Daily Average % Utilization				Category
Map Route	Location	Address	Count		Payment	Range	Tuesday	Wednesday	Friday	Saturday	
1	W Jackson Avenue Street Parking	516 W Jackson Ave	48	0 Public	Open	0.5 Mile	87%	92%	98%	99%	Street Parking
2	W Jackson Avenue Lot	401 W Jackson Ave	190	4 Public	Cash/Credit	0.5 Mile	31%	31%	64%	97%	Surface Lot
3	W Jackson Lot SP+	109 W Jackson Ave	67	3 Public	Cash/Credit	0.5 Mile	88%	78%	78%	90%	Surface Lot
4	E Jackson Avenue Street Parking	118 E Jackson Ave	120	1 Public	Open	0.25 Mile	21%	23%	19%	32%	Street Parking
5	E Jackson Lot	200 E Jackson Ave	45	1 Private		0.25 Mile	72%	75%	81%	91%	Surface Lot
6	Tonic Lot	207 E Jackson Ave.	130	3 Public	Cash/Credit	0.25 Mile	3%	1%	4%	7%	Surface Lot
7	Platinum Parking	210E W. Jackson Ave	80	0 Public	Cash/Credit	0.25 Mile	9%	8%	18%	15%	Surface Lot
8	Old City Public Parking	305 E Jackson Ave	101	0 Public	Open	0.25 Mile	17%	30%	28%	41%	Surface Lot
9	Old City Public Parking	300 E Jackson Ave	150	4 Public	Open	0.25 Mile	58%	67%	80%	90%	Surface Lot
10	Willow Avenue Street Parking	Patton	100	0 Public	Open	0.25 Mile	32%	36%	44%	44%	Street Parking
11	N Central Street & Willow SP+	130 S Central St	105	5 Public	Cash/Credit	0.5 Mile	35%	29%	39%	62%	Surface Lot
12	S Central Street Parking	Old City	11	0 Public	Meter	0.5 Mile	87%	69%	109%	100%	Street Parking
13	N Central Street & W Depot Parking	222 N Central St	13	0 Public	Meter	0.5 Mile	69%	91%	92%	100%	Street Parking
14	N Central Lot	300 N Central St	20	0 Private		0.5 Mile	50%	77%	86%	40%	Surface Lot
15	E Depot Lot	200 E Magnolia Ave	14	0 Private		0.25 Mile	36%	24%	41%	6%	Surface Lot
16	Morgan Street Lot	200 E Magnolia Ave	23	2 Private		0.25 Mile	16%	32%	31%	4%	Surface Lot
17	W Magnolia Street Parking	212 W Magnolia Ave	30	0 Public	Open	0.5 Mile	31%	64%	56%	78%	Street Parking
18	W Magnolia Surface Lot	202 State Hwy 9	115	4 Public	Open	0.5 Mile	6%	13%	22%	19%	Surface Lot
19	W Magnolia Surface Lot	316 W Magnolia Ave	100	4 Public	Open	0.5 Mile	6%	14%	6%	11%	Surface Lot
20	W Magnolia Surface Lot	511 N Gay St	80	4 Public	Open	1 Mile	34%	36%	8%	60%	Surface Lot
21	W Depot Avenue Street Parking	227 W Depot Ave	22	0 Public	Open	0.5 Mile	47%	69%	45%	86%	Street Parking
22	W Depot Avenue Street Parking	306 W Depot Ave	23	0 Public	Meter	0.5 Mile	18%	74%	43%	85%	Street Parking
23	N Central & W Depot Street Parking	103 W Depot Ave	6	0 Public	Open	0.5 Mile	100%	100%	100%	100%	Street Parking
24	Ogden Street & W Depot Avenue Lot	351 Ogden St	16	0 Private		0.5 Mile	46%	33%	79%	89%	Surface Lot
25	Ogden Street Parking	317 King St NW	12	0 Public	Open	0.5 Mile	52%	50%	2%	47%	Street Parking
26	W Magnolia Avenue Parking	218W W Magnolia Ave	45	0 Public	Open	0.5 Mile	44%	77%	76%	100%	Surface Lot
27	William Street Parking	235 W Depot Ave	8	0 Public	Open	0.5 Mile	83%	93%	65%	100%	Street Parking
28	W Depot Avenue Lot	413 W Depot Ave	90	1 Private		0.5 Mile	20%	26%	21%	11%	Surface Lot
29	N Gay Street Parking	318 N Gay St	12	2 Public	Meter	0.5 Mile	15%	38%	83%	103%	Street Parking
30	N Central Street & W Depot Avenue Lot	100 W Depot Ave	70	0 Private		0.5 Mile	60%	29%	60%	50%	Surface Lot
31	N Gay Street	205-201 N Gay St	60	3 Public	Meter	0.5 Mile	55%	73%	70%	84%	Street Parking
32	S Gay Street	121 S Gay St	26	2 Public	Meter	0.5 Mile	79%	75%	84%	91%	Street Parking
33	S Gay Street Lot	128 S Gay St	40	2 Public	Meter	0.5 Mile	67%	78%	79%	85%	Surface Lot
34	W Vine Avenue		16	0 Public	Meter	0.5 Mile	81%	61%	36%	99%	Street Parking
35	W Vine Avenue Lot	305 W Vine Ave	72	1 Private		0.5 Mile	43%	36%	62%	62%	Surface Lot
36	Locust Street Lot	111 Locust St	9	0 Public	Meter	1 Mile	93%	98%	91%	111%	Street Parking
37	S Central Street Parking	State St	91	2 Public	Meter	0.5 Mile	64%	62%	42%	65%	Street Parking
38	Commerce Avenue Street Parking		6	0 Public	Meter	0.5 Mile	40%	57%	67%	90%	Street Parking
39	Charles Place Lot Axiom	Vine Furn	30	0 Private		0.5 Mile	11%	15%	25%	38%	Surface Lot
40	Charles Place Lot Vine Furniture	Axiom	25	0 Private		0.5 Mile	11%	24%	10%	25%	Surface Lot
41	State Street Street Parking		30	1 Public	Meter	0.5 Mile	89%	86%	94%	108%	Street Parking
42	Union Avenue Lot	Marble Alley	120	0 Public	Cash/Credit	0.5 Mile	21%	43%	40%	90%	Surface Lot
43	Promenade	PG	277	9 Public	Cash/Credit	0.5 Mile	30%	20%	26%	52%	Parking Garage
44	205 Union Avenue Lot		23	1 Public	Cash/Credit	0.5 Mile	37%	31%	21%	3%	Surface Lot
45	Union Avenue Lot	State St	32	0 Private		0.5 Mile	32%	30%	24%	4%	Surface Lot
46	State Street Garage	520 State Street	1718	Public	Cash/Credit	0.5 Mile	17%	18%	17%	0%	Parking Garage
47	700 S Gay Street Parking		25	2 Public	Open	1 Mile	41%	51%	33%	90%	Surface Lot
48	Cumberland Avenue Parking	Cumberland Ave	208	4 Public	Cash/Credit	1 Mile	25%	29%	28%	60%	Surface Lot
49	Walnut Street	Premier	133	1 Public	Cash/Credit	1 Mile	28%	21%	34%	49%	Surface Lot

Map Route	Location	Address	Count	ADA	Type	Payment	Range	Tuesday	Wednesday	Friday	Saturday	Category
50	W Church Avenue (SP+)		66	1	Public	Cash/Credit	1 Mile	28%	24%	25%	18%	Surface Lot
51	W Vine & S Gay Street Lot	401 W Summit Hill Dr SW	80	0	Private		0.5 Mile	28%	54%	33%	39%	Surface Lot
53	Market Square - Walnut Street	406 Walnut Street	677		Public	Cash/Credit	1 Mile	58%	54%	61%	81%	Parking Garage
54	Locust Street PG	540 Locust Street	645		Public	Cash/Credit	1 Mile	20%	30%	32%	24%	Parking Garage
56	Main Street W (SP+)	Clay Lot	51	1	Public	Cash/Credit	1 Mile	23%	47%	36%	9%	Surface Lot
57	603 W Hill Avenue		71	0	Public	Cash/Credit	1 Mile	12%	17%	12%	19%	Surface Lot
58	S Gay Street Lot	Fire St	65	0	Private		0.5 Mile	25%	38%	34%	21%	Surface Lot
59	Fire Street	Bacon	15	0	Private		0.5 Mile	21%	28%	45%	1%	Surface Lot
60	S Gay Street Parking		60	0	Public	Meter	1 Mile	88%	91%	90%	96%	Street Parking
61	413 W Clinch Avenue		54	2	Private		1 Mile	13%	13%	11%	11%	Surface Lot
62	Main Street W	550 West Main Avenue	475		Public	Cash/Credit	1 Mile	0%	24%	22%	17%	Parking Garage
64	State Street PG DK	900 State Street	964		Public	Cash/Credit	1 Mile	13%	20%	25%	0%	Parking Garage
66	194 W Church Parking		72	0	Private		1 Mile	18%	13%	7%	4%	Surface Lot
67	Civic Coliseum	PG A	703	13	Public	Cash/Credit	0.5 Mile	72%	17%	11%	13%	Parking Garage
68	Civic Coliseum	PG B	754		Public	Cash/Credit	0.5 Mile	0%	0%	0%	38%	Parking Garage
69	Civic Coliseum	PG C	750		Public	Cash/Credit	1 Mile	0%	0%	0%	5%	Parking Garage
70	Honor Our Troops Lot	Police Station	234	6	Public	Open	0.5 Mile	8%	9%	7%	4%	Surface Lot
71	Georgia Street Parking	PP	32	0	Public	Open	0.25 Mile	21%	24%	11%	0%	Street Parking
72	Willow Avenue Street Parking	Street	150	0	Public	Open	0.25 Mile	14%	11%	6%	7%	Street Parking
73	S Kentucky Lot	1010 E Jackson Ave	80	0	Private		0.25 Mile	4%	3%	4%	0%	Surface Lot
74	E Jackson Lot Front	KUB	35	4	Private		0.25 Mile	11%	14%	13%	0%	Surface Lot
75	Randolph Street Parking	107 Randolph St	30	0	Public	Open	0.25 Mile	17%	15%	4%	0%	Street Parking
76	Randolph Street Lot	700 E Depot Ave	30	0	Private		0.25 Mile	12%	27%	14%	6%	Surface Lot
77	Randolph Street Lot	600 E Magnolia Ave	34	1	Private		0.25 Mile	8%	18%	12%	2%	Surface Lot
78	S Bell Street Lot	201 Harriet Tubman St	113	3	Private		0.5 Mile	7%	1%	0%	0%	Surface Lot
79	McCalla Avenue Lot	1425 McCalla Ave	60	0	Private		0.5 Mile	16%	4%	14%	0%	Surface Lot
80	Harriet Tubman Street Church	211 Harriet Tubman St	33	2	Private		0.5 Mile	13%	32%	29%	12%	Surface Lot
81	Harriet Tubman Street Housing Lot	400 Harriet Tubman St	125	5	Private		0.5 Mile	11%	13%	9%	0%	Surface Lot
82	McCalla Avenue Lot - Stokes	1701 McCalla Ave	60	1	Private		0.5 Mile	5%	16%	6%	9%	Surface Lot
83	Myrtle Street Lot	1610 E Magnolia Ave	200	7	Private		1 Mile	1%	2%	1%	0%	Surface Lot
84	Myrtle Street Lot	315 Myrtle St	60		Private		0.5 Mile	2%	0%	0%	0%	Surface Lot
85	Myrtle Street Lot	1611 E Magnolia Ave	28	1	Private		1 Mile	19%	24%	10%	3%	Surface Lot
86	Myrtle Street Lot	1515 E Magnolia Ave	88	4	Private		1 Mile	22%	34%	15%	5%	Surface Lot
87	E 5th Avenue Lot	1514 E 5th Ave	28	2	Private		1 Mile	11%	8%	1%	0%	Surface Lot
88	Winona Street Lot	1503 E Magnolia Ave	34	2	Private		1 Mile	12%	22%	17%	4%	Surface Lot
89	Winona Street Lot	1400 E 5th Ave	28	4	Private		0.5 Mile	86%	100%	100%	59%	Surface Lot
90	Jessamine Street Lot	616 Jessamine St.	216	17	Public	Open	1 Mile	18%	12%	12%	11%	Surface Lot
91	Jessamine Street Lot	658-698 Jessamine St	85	3	Public	Open	1 Mile	2%	6%	4%	0%	Surface Lot
92	E 5th Avenue Lot	1308 E 5th Ave	27	0	Private		0.5 Mile	17%	92%	27%	0%	Surface Lot
93	E Magnolia Lot	100 E Magnolia Ave	24	5	Private		0.5 Mile	34%	30%	28%	8%	Surface Lot
94	Jessamine Street Lot	1135 E Magnolia Ave	38	0	Private		0.5 Mile	36%	82%	54%	50%	Surface Lot
95	Jessamine Street Lot	1207 E Magnolia Ave	72	0	Private		0.5 Mile	36%	90%	56%	10%	Surface Lot
96	Frazier Lot	KCS	42	1	Private		0.5 Mile	28%	16%	34%	0%	Surface Lot
97	Georgia Avenue Lot South	KCS	40	0	Private		0.5 Mile	42%	42%	100%	8%	Surface Lot
98	Georgia Avenue Lot North	KCS	70	0	Private		0.5 Mile	57%	57%	100%	8%	Surface Lot
52/ EXCLUDED PG 2	EXCLUDED Locust Street PG	Langley	944		Public	Cash/Credit	1 Mile	0%	0%	0%	0%	Parking Garage
52A/ EXCLUDED PG 1	EXCLUDED Summer Place	Monthly	780		Private		1 Mile	0%	0%	0%	0%	Parking Garage
55/ EXCLUDED PG 3	EXCLUDED Clinch Avenue	Hilton PG	398		Public	Cash/Credit	1 Mile	0%	0%	0%	0%	Parking Garage
61A	Walnut Street	W Clinch	66	3	Private		1 Mile	40%	31%	42%	13%	Surface Lot
63/ EXCLUDED PG 4	EXCLUDED Main Street W (SP+)	Riverview Tower	429		Public	Cash/Credit	1 Mile	0%	0%	0%	0%	Parking Garage
65/ EXCLUDED PG 5	EXCLUDED First Street TN Plaza		424		Public	Cash/Credit	1 Mile	0%	0%	0%	0%	Parking Garage
74A	E Jackson Lot Back	KUB	180	4	Private		0.25 Mile	36%	40%	36%	0%	Surface Lot

Downtown Parking Site Information

Tuesday

Location			Additional	Weather	93°	Activity: Graduation near Coliseum			
Map Route	Location	Address		3:00 Tue	4:00 Tue	5:00 Tue	6:00 Tue	7:00 Tue	
1	W Jackson Avenue Street Parking	516 W Jackson Ave		94%	79%	83%	90%	90%	
2	W Jackson Avenue Lot	401 W Jackson Ave		22%	36%	32%	32%	33%	
3	W Jackson Lot SP+	109 W Jackson Ave		82%	88%	90%	90%	91%	
4	E Jackson Avenue Street Parking	118 E Jackson Ave		13%	13%	26%	25%	27%	
5	E Jackson Lot	200 E Jackson Ave		50%	49%	69%	100%	91%	
6	Tonic Lot	207 E Jackson Ave.		0%	3%	3%	3%	4%	
7	Platinum Parking	210E W. Jackson Ave		4%	5%	5%	18%	11%	
8	Old City Public Parking	305 E Jackson Ave		14%	22%	16%	17%	16%	
9	Old City Public Parking	300 E Jackson Ave		49%	45%	57%	66%	71%	
10	Willow Avenue Street Parking	Patton		13%	20%	35%	37%	53%	
11	N Central Street & Willow SP+	130 S Central St		22%	21%	33%	46%	51%	
12	S Central Street Parking	Old City		45%	109%	91%	91%	100%	
13	N Central Street & W Depot Parking	222 N Central St		69%	62%	62%	77%	77%	
14	N Central Lot	300 N Central St		50%	55%	50%	50%	45%	
15	E Depot Lot	200 E Magnolia Ave		50%	79%	21%	14%	14%	
16	Morgan Street Lot	200 E Magnolia Ave		30%	22%	9%	9%	9%	
17	W Magnolia Street Parking	212 W Magnolia Ave		33%	30%	43%	20%	30%	
18	W Magnolia Surface Lot	202 State Hwy 9		6%	6%	5%	5%	6%	
19	W Magnolia Surface Lot	316 W Magnolia Ave		6%	9%	5%	5%	3%	
20	W Magnolia Surface Lot	511 N Gay St		0%	49%	51%	38%	34%	
21	W Depot Avenue Street Parking	227 W Depot Ave		32%	32%	45%	59%	68%	
22	W Depot Avenue Street Parking	306 W Depot Ave		57%	35%	0%	0%	0%	
23	N Central & W Depot Street Parking	103 W Depot Ave		100%	100%	100%	100%	100%	
24	Ogden Street & W Depot Avenue Lot	351 Ogden St		63%	63%	25%	38%	44%	
25	Ogden Street Parking	317 King St NW		67%	50%	33%	50%	58%	
26	W Magnolia Avenue Parking	218W W Magnolia Ave		36%	44%	49%	44%	44%	
27	William Street Parking	235 W Depot Ave		88%	50%	88%	88%	100%	
28	W Depot Avenue Lot	413 W Depot Ave		30%	26%	17%	14%	14%	
29	N Gay Street Parking	318 N Gay St		8%	17%	25%	17%	8%	
30	N Central Street & W Depot Avenue Lot	100 W Depot Ave		30%	30%	40%	100%	100%	
31	N Gay Street	205-201 N Gay St		55%	68%	42%	60%	50%	
32	S Gay Street	121 S Gay St		35%	81%	100%	92%	88%	
33	S Gay Street Lot	128 S Gay St		43%	38%	65%	98%	90%	
34	W Vine Avenue			113%	144%	56%	44%	50%	
35	W Vine Avenue Lot	305 W Vine Ave		60%	32%	40%	40%	40%	
36	Locust Street Lot	111 Locust St		100%	100%	89%	89%	89%	
37	S Central Street Parking	State St		24%	70%	90%	88%	49%	
38	Commerce Avenue Street Parking			50%	17%	33%	17%	83%	
39	Charles Place Lot Axiom	Vine Furn		7%	17%	13%	10%	7%	
40	Charles Place Lot Vine Furniture	Axiom		12%	8%	12%	12%	12%	
41	State Street Street Parking			83%	83%	100%	93%	83%	
42	Union Avenue Lot	Marble Alley		19%	19%	22%	21%	23%	
43	Promenade	PG		40%	40%	30%	20%	20%	
44	205 Union Avenue Lot			83%	61%	26%	9%	9%	
45	Union Avenue Lot	State St		53%	53%	25%	13%	16%	
46	State Street Garage	520 State Street		17%	17%	17%	17%	17%	
47	700 S Gay Street Parking			56%	44%	36%	36%	32%	
48	Cumberland Avenue Parking	Cumberland Ave		52%	29%	15%	14%	13%	
49	Walnut Street	Premier		36%	33%	33%	25%	14%	

Map Route	Location	Address	3:00 Tue	4:00 Tue	5:00 Tue	6:00 Tue	7:00 Tue
50	W Church Avenue (SP+)		48%	24%	24%	15%	26%
51	W Vine & S Gay Street Lot	401 W Summit Hill Dr SW	23%	20%	31%	31%	33%
53	Market Square - Walnut Street	406 Walnut Street	58%	56%	52%	54%	68%
54	Locust Street PG	540 Locust Street	20%	20%	20%	20%	20%
56	Main Street W (SP+)	Clay Lot	37%	25%	25%	22%	6%
57	603 W Hill Avenue		18%	15%	13%	13%	3%
58	S Gay Street Lot	Fire St	52%	35%	15%	15%	8%
59	Fire Street	Bacon	53%	53%	0%	0%	0%
60	S Gay Street Parking		75%	87%	88%	88%	100%
61	413 W Clinch Avenue		26%	15%	15%	6%	4%
62	Main Street W	550 West Main Avenue	1%	0%	0%	0%	0%
64	State Street PG DK	900 State Street	21%	21%	8%	6%	6%
66	194 W Church Parking		38%	22%	22%	7%	1%
67	Civic Coliseum	PG A	60%	80%	80%	80%	60%
68	Civic Coliseum	PG B	0%	0%	0%	0%	0%
69	Civic Coliseum	PG C	0%	0%	0%	0%	0%
70	Honor Our Troops Lot	Police Station	17%	7%	7%	6%	2%
71	Georgia Street Parking	PP	44%	44%	9%	3%	3%
72	Willow Avenue Street Parking	Street	15%	18%	19%	9%	8%
73	S Kentucky Lot	1010 E Jackson Ave	4%	4%	9%	4%	0%
74	E Jackson Lot Front	KUB	43%	9%	3%	3%	0%
75	Randolph Street Parking	107 Randolph St	30%	30%	27%	0%	0%
76	Randolph Street Lot	700 E Depot Ave	10%	10%	10%	13%	17%
77	Randolph Street Lot	600 E Magnolia Ave	26%	6%	3%	3%	3%
78	S Bell Street Lot	201 Harriet Tubman St	1%	4%	13%	13%	5%
79	McCalla Avenue Lot	1425 McCalla Ave	50%	28%	3%	0%	0%
80	Harriet Tubman Street Church	211 Harriet Tubman St	9%	21%	21%	15%	0%
81	Harriet Tubman Street Housing Lot	400 Harriet Tubman St	26%	14%	10%	6%	0%
82	McCalla Avenue Lot - Stokes	1701 McCalla Ave	5%	5%	5%	5%	5%
83	Myrtle Street Lot	1610 E Magnolia Ave	1%	1%	1%	1%	1%
84	Myrtle Street Lot	315 Myrtle St	5%	3%	2%	2%	0%
85	Myrtle Street Lot	1611 E Magnolia Ave	46%	21%	11%	11%	7%
86	Myrtle Street Lot	1515 E Magnolia Ave	39%	23%	23%	15%	11%
87	E 5th Avenue Lot	1514 E 5th Ave	29%	14%	7%	7%	0%
88	Winona Street Lot	1503 E Magnolia Ave	21%	15%	9%	9%	9%
89	Winona Street Lot	1400 E 5th Ave	100%	93%	86%	79%	75%
90	Jessamine Street Lot	616 Jessamine St.	12%	22%	20%	17%	19%
91	Jessamine Street Lot	658-698 Jessamine St	6%	2%	0%	0%	0%
92	E 5th Avenue Lot	1308 E 5th Ave	52%	19%	7%	7%	0%
93	E Magnolia Lot	100 E Magnolia Ave	75%	33%	21%	21%	21%
94	Jessamine Street Lot	1135 E Magnolia Ave	50%	40%	40%	30%	20%
95	Jessamine Street Lot	1207 E Magnolia Ave	50%	40%	40%	30%	20%
96	Frazier Lot	KCS	100%	17%	10%	7%	7%
97	Georgia Avenue Lot South	KCS	60%	60%	30%	30%	30%
98	Georgia Avenue Lot North	KCS	100%	100%	29%	29%	29%
52/ EXCLUDED PG 2	EXCLUDED Locust Street PG	Langley	0%	0%	0%	0%	0%
52A/ EXCLUDED PG 1	EXCLUDED Summer Place	Monthly	0%	0%	0%	0%	0%
55/ EXCLUDED PG 3	EXCLUDED Clinch Avenue	Hilton PG	0%	0%	0%	0%	0%
61A	Walnut Street	W Clinch	82%	32%	32%	29%	26%
63/ EXCLUDED PG 4	EXCLUDED Main Street W (SP+)	Riverview Tower	0%	0%	0%	0%	0%
65/ EXCLUDED PG 5	EXCLUDED First Street TN Plaza		0%	0%	0%	0%	0%
74A	E Jackson Lot Back	KUB	60%	60%	20%	20%	20%

Downtown Parking Site Information

Thursday

Location			Weather 82° Activity: None				
Map Route	Location	Address	3:00 Thu	4:00 Thu	5:00 Thu	6:00 Thu	7:00 Thu
1	W Jackson Avenue Street Parking	516 W Jackson Ave	100%	96%	85%	85%	92%
2	W Jackson Avenue Lot	401 W Jackson Ave	36%	32%	26%	25%	35%
3	W Jackson Lot SP+	109 W Jackson Ave	36%	82%	90%	93%	91%
4	E Jackson Avenue Street Parking	118 E Jackson Ave	28%	18%	20%	23%	25%
5	E Jackson Lot	200 E Jackson Ave	33%	49%	93%	98%	100%
6	Tonic Lot	207 E Jackson Ave.	0%	0%	1%	1%	5%
7	Platinum Parking	210E W. Jackson Ave	9%	6%	6%	6%	14%
8	Old City Public Parking	305 E Jackson Ave	33%	32%	28%	28%	33%
9	Old City Public Parking	300 E Jackson Ave	85%	11%	72%	77%	88%
10	Willow Avenue Street Parking	Patton	29%	30%	39%	38%	46%
11	N Central Street & Willow SP+	130 S Central St	27%	21%	24%	29%	46%
12	S Central Street Parking	Old City	36%	55%	73%	91%	91%
13	N Central Street & W Depot Parking	222 N Central St	100%	85%	77%	92%	100%
14	N Central Lot	300 N Central St	70%	65%	50%	100%	100%
15	E Depot Lot	200 E Magnolia Ave	36%	64%	21%	0%	0%
16	Morgan Street Lot	200 E Magnolia Ave	52%	43%	39%	13%	13%
17	W Magnolia Street Parking	212 W Magnolia Ave	67%	90%	53%	53%	57%
18	W Magnolia Surface Lot	202 State Hwy 9	7%	8%	14%	17%	19%
19	W Magnolia Surface Lot	316 W Magnolia Ave	24%	22%	12%	6%	4%
20	W Magnolia Surface Lot	511 N Gay St	40%	40%	30%	50%	20%
21	W Depot Avenue Street Parking	227 W Depot Ave	45%	55%	68%	100%	77%
22	W Depot Avenue Street Parking	306 W Depot Ave	52%	57%	70%	100%	91%
23	N Central & W Depot Street Parking	103 W Depot Ave	100%	100%	100%	100%	100%
24	Ogden Street & W Depot Avenue Lot	351 Ogden St	13%	25%	38%	44%	44%
25	Ogden Street Parking	317 King St NW	58%	50%	50%	58%	33%
26	W Magnolia Avenue Parking	218W W Magnolia Ave	44%	64%	78%	100%	100%
27	William Street Parking	235 W Depot Ave	88%	100%	100%	100%	75%
28	W Depot Avenue Lot	413 W Depot Ave	41%	22%	22%	22%	22%
29	N Gay Street Parking	318 N Gay St	8%	25%	42%	92%	25%
30	N Central Street & W Depot Avenue Lot	100 W Depot Ave	30%	30%	40%	23%	23%
31	N Gay Street	205-201 N Gay St	55%	60%	80%	95%	77%
32	S Gay Street	121 S Gay St	58%	58%	77%	92%	92%
33	S Gay Street Lot	128 S Gay St	60%	68%	65%	100%	95%
34	W Vine Avenue		100%	75%	38%	50%	44%
35	W Vine Avenue Lot	305 W Vine Ave	40%	40%	40%	30%	28%
36	Locust Street Lot	111 Locust St	100%	100%	100%	78%	111%
37	S Central Street Parking	State St	20%	67%	88%	85%	50%
38	Commerce Avenue Street Parking		17%	33%	33%	100%	100%
39	Charles Place Lot Axiom	Vine Furn	23%	17%	7%	13%	13%
40	Charles Place Lot Vine Furniture	Axiom	36%	32%	28%	12%	12%
41	State Street Street Parking		30%	100%	100%	100%	100%
42	Union Avenue Lot	Marble Alley	28%	27%	33%	52%	75%
43	Promenade	PG	30%	30%	15%	15%	10%
44	205 Union Avenue Lot		52%	61%	22%	13%	9%
45	Union Avenue Lot	State St	44%	53%	31%	9%	13%
46	State Street Garage	520 State Street	19%	18%	18%	17%	17%
47	700 S Gay Street Parking		68%	56%	56%	44%	32%
48	Cumberland Avenue Parking	Cumberland Ave	58%	38%	31%	11%	8%
49	Walnut Street	Premier	38%	32%	27%	7%	2%

Map Route	Location	Address	3:00 Thu	4:00 Thu	5:00 Thu	6:00 Thu	7:00 Thu
50	W Church Avenue (SP+)		41%	30%	21%	18%	8%
51	W Vine & S Gay Street Lot	401 W Summit Hill Dr SW	70%	60%	50%	40%	50%
53	Market Square - Walnut Street	406 Walnut Street	53%	52%	47%	51%	68%
54	Locust Street PG	540 Locust Street	47%	33%	22%	26%	25%
56	Main Street W (SP+)	Clay Lot	63%	84%	49%	31%	8%
57	603 W Hill Avenue		24%	21%	17%	14%	10%
58	S Gay Street Lot	Fire St	60%	42%	37%	31%	23%
59	Fire Street	Bacon	60%	60%	7%	7%	7%
60	S Gay Street Parking		75%	87%	92%	100%	100%
61	413 W Clinch Avenue		26%	22%	11%	4%	4%
62	Main Street W	550 West Main Avenue	46%	39%	19%	11%	2%
64	State Street PG DK	900 State Street	40%	28%	14%	9%	8%
66	194 W Church Parking		28%	24%	7%	4%	1%
67	Civic Coliseum	PG A	25%	25%	25%	5%	5%
68	Civic Coliseum	PG B	0%	0%	0%	0%	0%
69	Civic Coliseum	PG C	0%	0%	0%	0%	0%
70	Honor Our Troops Lot	Police Station	18%	13%	6%	6%	2%
71	Georgia Street Parking	PP	53%	47%	6%	6%	6%
72	Willow Avenue Street Parking	Street	16%	13%	7%	7%	10%
73	S Kentucky Lot	1010 E Jackson Ave	10%	1%	1%	0%	0%
74	E Jackson Lot Front	KUB	51%	11%	6%	0%	0%
75	Randolph Street Parking	107 Randolph St	30%	20%	23%	0%	0%
76	Randolph Street Lot	700 E Depot Ave	27%	33%	23%	27%	27%
77	Randolph Street Lot	600 E Magnolia Ave	24%	38%	15%	6%	6%
78	S Bell Street Lot	201 Harriet Tubman St	1%	1%	2%	1%	1%
79	McCalla Avenue Lot	1425 McCalla Ave	5%	5%	2%	3%	3%
80	Harriet Tubman Street Church	211 Harriet Tubman St	48%	73%	30%	0%	6%
81	Harriet Tubman Street Housing Lot	400 Harriet Tubman St	38%	19%	8%	0%	0%
82	McCalla Avenue Lot - Stokes	1701 McCalla Ave	43%	32%	3%	0%	0%
83	Myrtle Street Lot	1610 E Magnolia Ave	5%	3%	0%	0%	0%
84	Myrtle Street Lot	315 Myrtle St	2%	0%	0%	0%	0%
85	Myrtle Street Lot	1611 E Magnolia Ave	50%	36%	11%	11%	11%
86	Myrtle Street Lot	1515 E Magnolia Ave	50%	40%	30%	30%	23%
87	E 5th Avenue Lot	1514 E 5th Ave	25%	11%	4%	0%	0%
88	Winona Street Lot	1503 E Magnolia Ave	41%	18%	21%	18%	15%
89	Winona Street Lot	1400 E 5th Ave	100%	100%	100%	100%	100%
90	Jessamine Street Lot	616 Jessamine St.	11%	9%	18%	12%	12%
91	Jessamine Street Lot	658-698 Jessamine St	14%	12%	5%	0%	0%
92	E 5th Avenue Lot	1308 E 5th Ave	59%	100%	100%	100%	100%
93	E Magnolia Lot	100 E Magnolia Ave	67%	21%	21%	21%	21%
94	Jessamine Street Lot	1135 E Magnolia Ave	82%	82%	82%	82%	82%
95	Jessamine Street Lot	1207 E Magnolia Ave	100%	100%	90%	80%	80%
96	Frazier Lot	KCS	76%	5%	0%	0%	0%
97	Georgia Avenue Lot South	KCS	60%	60%	30%	30%	30%
98	Georgia Avenue Lot North	KCS	100%	100%	29%	29%	29%
52/ EXCLUDED PG 2	EXCLUDED Locust Street PG	Langley	0%	0%	0%	0%	0%
52A/ EXCLUDED PG 1	EXCLUDED Summer Place	Monthly	0%	0%	0%	0%	0%
55/ EXCLUDED PG 3	EXCLUDED Clinch Avenue	Hilton PG	0%	0%	0%	0%	0%
61A	Walnut Street	W Clinch	40%	40%	25%	29%	23%
63/ EXCLUDED PG 4	EXCLUDED Main Street W (SP+)	Riverview Tower	0%	0%	0%	0%	0%
65/ EXCLUDED PG 5	EXCLUDED First Street TN Plaza		0%	0%	0%	0%	0%
74A	E Jackson Lot Back	KUB	80%	60%	20%	20%	20%

Downtown Parking Site Information

Friday

Location		Additional	Weather	90°	Activity: None		
Map Route	Location	Address	3:00 Fri	4:00 Fri	5:00 Fri	6:00 Fri	7:00 Fri
1	W Jackson Avenue Street Parking	516 W Jackson Ave	96%	96%	100%	98%	100%
2	W Jackson Avenue Lot	401 W Jackson Ave	36%	33%	70%	80%	100%
3	W Jackson Lot SP+	109 W Jackson Ave	43%	55%	93%	100%	100%
4	E Jackson Avenue Street Parking	118 E Jackson Ave	20%	18%	18%	20%	18%
5	E Jackson Lot	200 E Jackson Ave	49%	58%	100%	100%	100%
6	Tonic Lot	207 E Jackson Ave.	0%	2%	3%	6%	8%
7	Platinum Parking	210E W. Jackson Ave	14%	13%	14%	18%	34%
8	Old City Public Parking	305 E Jackson Ave	24%	20%	22%	31%	43%
9	Old City Public Parking	300 E Jackson Ave	71%	61%	78%	94%	96%
10	Willow Avenue Street Parking	Patton	44%	36%	42%	48%	49%
11	N Central Street & Willow SP+	130 S Central St	29%	23%	34%	40%	71%
12	S Central Street Parking	Old City	82%	109%	127%	100%	127%
13	N Central Street & W Depot Parking	222 N Central St	100%	100%	54%	108%	100%
14	N Central Lot	300 N Central St	70%	75%	100%	90%	95%
15	E Depot Lot	200 E Magnolia Ave	86%	71%	50%	0%	0%
16	Morgan Street Lot	200 E Magnolia Ave	39%	39%	43%	17%	17%
17	W Magnolia Street Parking	212 W Magnolia Ave	80%	67%	47%	40%	47%
18	W Magnolia Surface Lot	202 State Hwy 9	30%	23%	26%	17%	13%
19	W Magnolia Surface Lot	316 W Magnolia Ave	7%	6%	5%	5%	5%
20	W Magnolia Surface Lot	511 N Gay St	4%	8%	6%	6%	15%
21	W Depot Avenue Street Parking	227 W Depot Ave	32%	36%	36%	59%	64%
22	W Depot Avenue Street Parking	306 W Depot Ave	17%	22%	30%	61%	87%
23	N Central & W Depot Street Parking	103 W Depot Ave	100%	100%	100%	100%	100%
24	Ogden Street & W Depot Avenue Lot	351 Ogden St	75%	94%	63%	75%	88%
25	Ogden Street Parking	317 King St NW	8%	0%	0%	0%	0%
26	W Magnolia Avenue Parking	218W W Magnolia Ave	31%	49%	100%	100%	100%
27	William Street Parking	235 W Depot Ave	25%	75%	63%	63%	100%
28	W Depot Avenue Lot	413 W Depot Ave	40%	40%	11%	8%	7%
29	N Gay Street Parking	318 N Gay St	67%	58%	100%	92%	100%
30	N Central Street & W Depot Avenue Lot	100 W Depot Ave	30%	30%	40%	100%	100%
31	N Gay Street	205-201 N Gay St	63%	50%	58%	80%	98%
32	S Gay Street	121 S Gay St	81%	77%	92%	81%	88%
33	S Gay Street Lot	128 S Gay St	55%	58%	93%	95%	93%
34	W Vine Avenue		25%	13%	44%	50%	50%
35	W Vine Avenue Lot	305 W Vine Ave	70%	70%	70%	50%	50%
36	Locust Street Lot	111 Locust St	78%	100%	78%	100%	100%
37	S Central Street Parking	State St	50%	40%	38%	40%	40%
38	Commerce Avenue Street Parking		17%	50%	83%	83%	100%
39	Charles Place Lot Axiom	Vine Furn	30%	30%	20%	17%	27%
40	Charles Place Lot Vine Furniture	Axiom	12%	8%	12%	12%	8%
41	State Street Street Parking		80%	97%	97%	100%	97%
42	Union Avenue Lot	Marble Alley	27%	33%	39%	50%	52%
43	Promenade	PG	33%	33%	25%	20%	20%
44	205 Union Avenue Lot		43%	26%	13%	13%	9%
45	Union Avenue Lot	State St	47%	34%	16%	16%	9%
46	State Street Garage	520 State Street	18%	17%	17%	17%	17%
47	700 S Gay Street Parking		44%	40%	40%	20%	20%
48	Cumberland Avenue Parking	Cumberland Ave	54%	38%	18%	12%	18%
49	Walnut Street	Premier	53%	46%	27%	22%	20%

Map Route	Location	Address	3:00 Fri	4:00 Fri	5:00 Fri	6:00 Fri	7:00 Fri
50	W Church Avenue (SP+)		55%	38%	15%	8%	11%
51	W Vine & S Gay Street Lot	401 W Summit Hill Dr SW	40%	40%	30%	25%	28%
53	Market Square - Walnut Street	406 Walnut Street	53%	53%	55%	63%	78%
54	Locust Street PG	540 Locust Street	41%	36%	28%	27%	30%
56	Main Street W (SP+)	Clay Lot	41%	35%	39%	33%	29%
57	603 W Hill Avenue		20%	15%	8%	8%	8%
58	S Gay Street Lot	Fire St	54%	45%	29%	20%	22%
59	Fire Street	Bacon	87%	80%	27%	20%	13%
60	S Gay Street Parking		80%	82%	97%	100%	92%
61	413 W Clinch Avenue		17%	15%	7%	7%	9%
62	Main Street W	550 West Main Avenue	49%	37%	15%	7%	4%
64	State Street PG DK	900 State Street	46%	35%	20%	9%	14%
66	194 W Church Parking		17%	11%	6%	0%	0%
67	Civic Coliseum	PG A	20%	18%	10%	3%	2%
68	Civic Coliseum	PG B	0%	0%	0%	0%	0%
69	Civic Coliseum	PG C	0%	0%	0%	0%	0%
70	Honor Our Troops Lot	Police Station	18%	7%	3%	3%	3%
71	Georgia Street Parking	PP	31%	16%	6%	0%	0%
72	Willow Avenue Street Parking	Street	8%	3%	7%	7%	5%
73	S Kentucky Lot	1010 E Jackson Ave	6%	6%	5%	0%	0%
74	E Jackson Lot Front	KUB	14%	9%	11%	11%	17%
75	Randolph Street Parking	107 Randolph St	13%	0%	7%	0%	0%
76	Randolph Street Lot	700 E Depot Ave	27%	20%	7%	7%	10%
77	Randolph Street Lot	600 E Magnolia Ave	24%	12%	12%	6%	6%
78	S Bell Street Lot	201 Harriet Tubman St	1%	0%	0%	0%	0%
79	McCalla Avenue Lot	1425 McCalla Ave	42%	27%	0%	0%	0%
80	Harriet Tubman Street Church	211 Harriet Tubman St	33%	27%	21%	27%	36%
81	Harriet Tubman Street Housing Lot	400 Harriet Tubman St	29%	10%	4%	2%	0%
82	McCalla Avenue Lot - Stokes	1701 McCalla Ave	8%	5%	7%	8%	0%
83	Myrtle Street Lot	1610 E Magnolia Ave	3%	1%	0%	0%	0%
84	Myrtle Street Lot	315 Myrtle St	0%	0%	0%	0%	0%
85	Myrtle Street Lot	1611 E Magnolia Ave	11%	11%	11%	11%	7%
86	Myrtle Street Lot	1515 E Magnolia Ave	17%	13%	11%	16%	16%
87	E 5th Avenue Lot	1514 E 5th Ave	0%	4%	0%	4%	0%
88	Winona Street Lot	1503 E Magnolia Ave	35%	21%	12%	9%	9%
89	Winona Street Lot	1400 E 5th Ave	100%	100%	100%	100%	100%
90	Jessamine Street Lot	616 Jessamine St.	14%	12%	12%	11%	11%
91	Jessamine Street Lot	658-698 Jessamine St	9%	9%	0%	0%	0%
92	E 5th Avenue Lot	1308 E 5th Ave	56%	56%	11%	7%	7%
93	E Magnolia Lot	100 E Magnolia Ave	42%	29%	29%	17%	25%
94	Jessamine Street Lot	1135 E Magnolia Ave	60%	60%	60%	50%	40%
95	Jessamine Street Lot	1207 E Magnolia Ave	80%	60%	60%	40%	40%
96	Frazier Lot	KCS	100%	19%	17%	17%	17%
97	Georgia Avenue Lot South	KCS	100%	100%	100%	100%	100%
98	Georgia Avenue Lot North	KCS	100%	100%	100%	100%	100%
52/ EXCLUDED PG 2	EXCLUDED Locust Street PG	Langley	0%	0%	0%	0%	0%
52A/ EXCLUDED PG 1	EXCLUDED Summer Place	Monthly	0%	0%	0%	0%	0%
55/ EXCLUDED PG 3	EXCLUDED Clinch Avenue	Hilton PG	0%	0%	0%	0%	0%
61A	Walnut Street	W Clinch	66%	50%	40%	33%	23%
63/ EXCLUDED PG 4	EXCLUDED Main Street W (SP+)	Riverview Tower	0%	0%	0%	0%	0%
65/ EXCLUDED PG 5	EXCLUDED First Street TN Plaza		0%	0%	0%	0%	0%
74A	E Jackson Lot Back	KUB	100%	20%	20%	20%	20%

Downtown Parking Site Information

Saturday

Location		Additional	Weather	94°	Activity	Beerfest & Coliseum Event	
Map Route	Location	Address	3:00 Sat	4:00 Sat	5:00 Sat	6:00 Sat	7:00 Sat
1	W Jackson Avenue Street Parking	516 W Jackson Ave	98%	100%	100%	100%	98%
2	W Jackson Avenue Lot	401 W Jackson Ave	94%	90%	100%	100%	100%
3	W Jackson Lot SP+	109 W Jackson Ave	81%	82%	87%	100%	100%
4	E Jackson Avenue Street Parking	118 E Jackson Ave	13%	15%	15%	15%	99%
5	E Jackson Lot	200 E Jackson Ave	67%	91%	98%	100%	100%
6	Tonic Lot	207 E Jackson Ave.	3%	3%	5%	11%	12%
7	Platinum Parking	210E W. Jackson Ave	3%	6%	16%	28%	21%
8	Old City Public Parking	305 E Jackson Ave	25%	18%	24%	60%	80%
9	Old City Public Parking	300 E Jackson Ave	78%	83%	87%	100%	100%
10	Willow Avenue Street Parking	Patton	43%	41%	43%	46%	46%
11	N Central Street & Willow SP+	130 S Central St	28%	48%	45%	93%	96%
12	S Central Street Parking	Old City	100%	100%	100%	100%	100%
13	N Central Street & W Depot Parking	222 N Central St	100%	100%	100%	100%	100%
14	N Central Lot	300 N Central St	30%	45%	35%	45%	45%
15	E Depot Lot	200 E Magnolia Ave	14%	14%	0%	0%	0%
16	Morgan Street Lot	200 E Magnolia Ave	4%	4%	4%	4%	4%
17	W Magnolia Street Parking	212 W Magnolia Ave	87%	57%	47%	100%	100%
18	W Magnolia Surface Lot	202 State Hwy 9	17%	26%	20%	20%	11%
19	W Magnolia Surface Lot	316 W Magnolia Ave	5%	7%	8%	12%	23%
20	W Magnolia Surface Lot	511 N Gay St	50%	40%	40%	90%	80%
21	W Depot Avenue Street Parking	227 W Depot Ave	36%	95%	100%	100%	100%
22	W Depot Avenue Street Parking	306 W Depot Ave	26%	100%	100%	100%	100%
23	N Central & W Depot Street Parking	103 W Depot Ave	100%	100%	100%	100%	100%
24	Ogden Street & W Depot Avenue Lot	351 Ogden St	69%	75%	100%	100%	100%
25	Ogden Street Parking	317 King St NW	42%	33%	25%	33%	100%
26	W Magnolia Avenue Parking	218W W Magnolia Ave	98%	100%	100%	100%	100%
27	William Street Parking	235 W Depot Ave	100%	100%	100%	100%	100%
28	W Depot Avenue Lot	413 W Depot Ave	11%	10%	10%	11%	11%
29	N Gay Street Parking	318 N Gay St	117%	100%	100%	100%	100%
30	N Central Street & W Depot Avenue Lot	100 W Depot Ave	50%	50%	50%	50%	50%
31	N Gay Street	205-201 N Gay St	82%	60%	85%	98%	97%
32	S Gay Street	121 S Gay St	81%	88%	92%	92%	100%
33	S Gay Street Lot	128 S Gay St	58%	83%	90%	95%	100%
34	W Vine Avenue		100%	94%	100%	100%	100%
35	W Vine Avenue Lot	305 W Vine Ave	70%	63%	60%	60%	60%
36	Locust Street Lot	111 Locust St	111%	111%	111%	111%	111%
37	S Central Street Parking	State St	67%	66%	45%	65%	84%
38	Commerce Avenue Street Parking		83%	83%	100%	83%	100%
39	Charles Place Lot Axiom	Vine Furn	50%	60%	37%	20%	23%
40	Charles Place Lot Vine Furniture	Axiom	60%	10%	16%	20%	20%
41	State Street Street Parking		130%	130%	97%	83%	100%
42	Union Avenue Lot	Marble Alley	90%	90%	90%	90%	90%
43	Promenade	PG	52%	60%	60%	50%	40%
44	205 Union Avenue Lot		4%	4%	4%	0%	0%
45	Union Avenue Lot	State St	0%	10%	9%	0%	0%
46	State Street Garage	520 State Street	0%	0%	0%	0%	0%
47	700 S Gay Street Parking		90%	90%	90%	90%	90%
48	Cumberland Avenue Parking	Cumberland Ave	60%	60%	70%	70%	40%
49	Walnut Street	Premier	40%	40%	60%	77%	26%

Map Route	Location	Address	3:00 Sat	4:00 Sat	5:00 Sat	6:00 Sat	7:00 Sat
50	W Church Avenue (SP+)		30%	30%	5%	11%	15%
51	W Vine & S Gay Street Lot	401 W Summit Hill Dr SW	25%	25%	60%	60%	25%
53	Market Square - Walnut Street	406 Walnut Street	73%	75%	80%	85%	91%
54	Locust Street PG	540 Locust Street	23%	23%	22%	23%	27%
56	Main Street W (SP+)	Clay Lot	10%	10%	6%	6%	16%
57	603 W Hill Avenue		27%	30%	14%	13%	13%
58	S Gay Street Lot	Fire St	22%	15%	22%	23%	23%
59	Fire Street	Bacon	0%	0%	0%	7%	0%
60	S Gay Street Parking		90%	90%	100%	98%	100%
61	413 W Clinch Avenue		11%	10%	7%	11%	13%
62	Main Street W	550 West Main Avenue	38%	28%	10%	5%	2%
64	State Street PG DK	900 State Street	0%	0%	0%	0%	0%
66	194 W Church Parking		8%	4%	3%	1%	1%
67	Civic Coliseum	PG A	2%	2%	1%	30%	31%
68	Civic Coliseum	PG B	30%	30%	40%	60%	31%
69	Civic Coliseum	PG C	4%	4%	3%	4%	10%
70	Honor Our Troops Lot	Police Station	6%	5%	4%	1%	3%
71	Georgia Street Parking	PP	0%	0%	0%	0%	0%
72	Willow Avenue Street Parking	Street	8%	6%	8%	7%	4%
73	S Kentucky Lot	1010 E Jackson Ave	0%	0%	0%	0%	0%
74	E Jackson Lot Front	KUB	0%	0%	0%	0%	0%
75	Randolph Street Parking	107 Randolph St	0%	0%	0%	0%	0%
76	Randolph Street Lot	700 E Depot Ave	17%	13%	0%	0%	0%
77	Randolph Street Lot	600 E Magnolia Ave	6%	6%	0%	0%	0%
78	S Bell Street Lot	201 Harriet Tubman St	1%	0%	0%	0%	0%
79	McCalla Avenue Lot	1425 McCalla Ave	0%	0%	0%	0%	0%
80	Harriet Tubman Street Church	211 Harriet Tubman St	36%	21%	0%	0%	0%
81	Harriet Tubman Street Housing Lot	400 Harriet Tubman St	0%	0%	0%	0%	0%
82	McCalla Avenue Lot - Stokes	1701 McCalla Ave	38%	8%	0%	0%	0%
83	Myrtle Street Lot	1610 E Magnolia Ave	1%	1%	0%	0%	0%
84	Myrtle Street Lot	315 Myrtle St	0%	0%	0%	0%	0%
85	Myrtle Street Lot	1611 E Magnolia Ave	7%	7%	0%	0%	0%
86	Myrtle Street Lot	1515 E Magnolia Ave	13%	14%	0%	0%	0%
87	E 5th Avenue Lot	1514 E 5th Ave	0%	0%	0%	0%	0%
88	Winona Street Lot	1503 E Magnolia Ave	12%	9%	0%	0%	0%
89	Winona Street Lot	1400 E 5th Ave	96%	100%	0%	0%	100%
90	Jessamine Street Lot	616 Jessamine St.	11%	14%	11%	10%	9%
91	Jessamine Street Lot	658-698 Jessamine St	0%	0%	0%	0%	0%
92	E 5th Avenue Lot	1308 E 5th Ave	0%	0%	0%	0%	0%
93	E Magnolia Lot	100 E Magnolia Ave	25%	17%	0%	0%	0%
94	Jessamine Street Lot	1135 E Magnolia Ave	50%	50%	50%	50%	50%
95	Jessamine Street Lot	1207 E Magnolia Ave	50%	0%	0%	0%	0%
96	Frazier Lot	KCS	0%	0%	0%	0%	0%
97	Georgia Avenue Lot South	KCS	20%	20%	0%	0%	0%
98	Georgia Avenue Lot North	KCS	20%	20%	0%	0%	0%
52/ EXCLUDED PG 2	EXCLUDED Locust Street PG	Langley	0%	0%	0%	0%	0%
52A/ EXCLUDED PG 1	EXCLUDED Summer Place	Monthly	0%	0%	0%	0%	0%
55/ EXCLUDED PG 3	EXCLUDED Clinch Avenue	Hilton PG	0%	0%	0%	0%	0%
61A	Walnut Street	W Clinch	15%	10%	12%	12%	15%
63/ EXCLUDED PG 4	EXCLUDED Main Street W (SP+)	Riverview Tower	0%	0%	0%	0%	0%
65/ EXCLUDED PG 5	EXCLUDED First Street TN Plaza		0%	0%	0%	0%	0%
74A	E Jackson Lot Back	KUB	0%	0%	0%	0%	0%