

CASWELL MANOR APARTMENTS

1501 EAST 5TH STREET

KNOXVILLE, TN

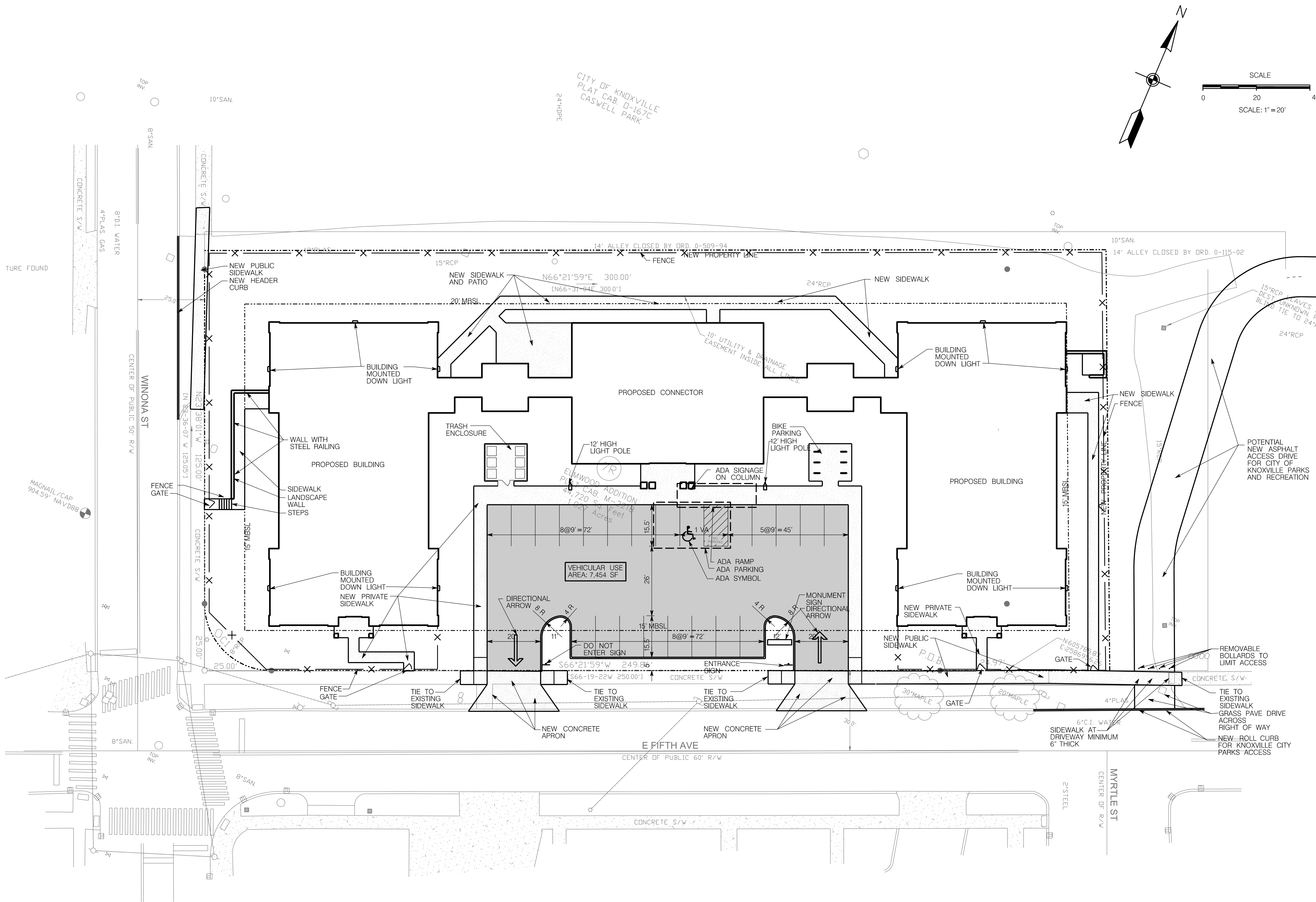


File No.: 11-A-20-PD

Date submitted: 10/27/2020

These plans have not been reviewed by
Planning Staff and may not be finalized.

DATE: 9-28-2020



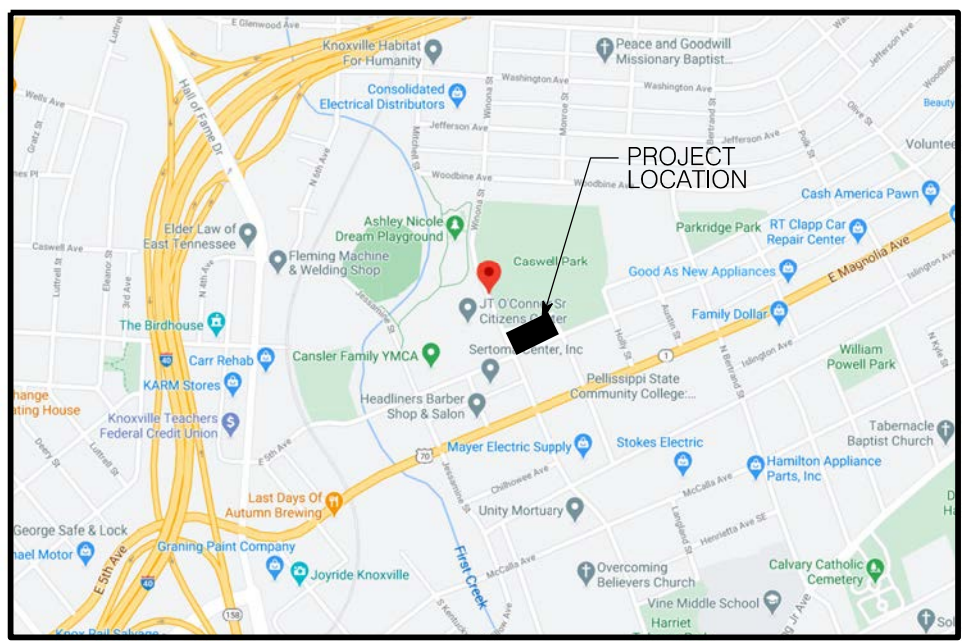
LEGEND:		
EXISTING	PROPOSED	
---	---	GROUND CONTOUR ELEVATION
535	535	SPOT ELEVATION
535.25'	535.25'	STRUCTURE
---	NA	PROPERTY LINE
---	NA	EASEMENT
---	---	EDGE OF PAVEMENT
SD	---	STORM DRAIN
SS	NA	SANITARY SEWER
W	PW	POTABLE WATER
NG	NG	NATURAL GAS
W	FW	FIRE PROTECTION
○	●	MANHOLE
⊙	⊙	WATER METER
○	○	FIRE HYDRANT
NA	X-X	SILT FENCING
NA	---	INLET PROTECTION
NA	---	CURB
NA	---	CONCRETE PAVEMENT
NA	---	ASPHALT PAVEMENT

- SITE LAYOUT NOTES**
- USE: GROUP RESIDENTIAL, ZONING: O, PARCEL 082PK039
 - TOTAL BUILDING AREA: PROPOSED 44,110 SF (3 STORY)
 - TOTAL SITE: 1.22 AC, TOTAL DIST AREA: 1.41 AC, TOTAL NEW IMPERV: 0.73 AC.
 - DEED REFERENCE: 20200817-0013350, CITY BLOCK: 15802, WARD: 15
 - THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA SEE MAP 0281G.
 - SITE BENCHMARK: CONTACT SURVEYOR FOR SITE BENCHMARK. DATUM NAVD 88.
 - SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM A SURVEY BY PLS SURVEYING DATED 07/18/2020. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
 - UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
 - PARKING SUMMARY:
TOTAL REQUIRED: 22 SPACES (WAIVER APPROVED IN PRELIMINARY PLANS, 4-A-20-PD)
TOTAL PROVIDED: 22 SPACES
 - SETBACKS:
FRONT: 15'
INTERIOR SIDE: 15'
CORNER SIDE: 15'
REAR: 20'
 - THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
 - CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
 - VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
 - TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALKS, DRAINAGE STRUCTURES, UTILITIES, OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
 - PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND/OR CONCRETE AND NEW PAVEMENT AND/OR CONCRETE. FIELD ADJUSTMENT OF FINAL GRADES MAY BE REQUIRED. INSTALL ALL STORM SYSTEMS PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE.
 - DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR TO THE FACE OF BUILDING UNLESS NOTED OTHERWISE.
 - MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION. INCLUDE ALL UTILITY LOCATIONS AND ALL NEW SIDEWALK RAMPS. ELEVATIONS FOR ALL SANITARY AND STORM SEWER STRUCTURES SHALL BE INCLUDED. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION.

OWNER:
CASWELL MANOR LP
511 N BROADWAY
KNOXVILLE, TN 37917
PHONE:
CONTACT:

ENGINEER:
WILL ROBINSON & ASSOCIATES
1248 N SHOREWOOD LN
CARYVILLE, TN 37714
PHONE: 386-4200
CONTACT: WILL ROBINSON

CONTRACTOR:
TO BE DETERMINED



File No.: 11-A-20-PD

Date submitted: 10/27/2020

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Planning Staff and may not be finalized.

CAD FILE:		C1.DGN
DRWN BY:	WNR	
CHKD BY:		
APPR BY:		
DATE:	09/28/20	
REVISIONS		
0.26.20 PLANNING COMM.		

Caswell Manor
1501 East 5th Avenue

Knoxville, TN

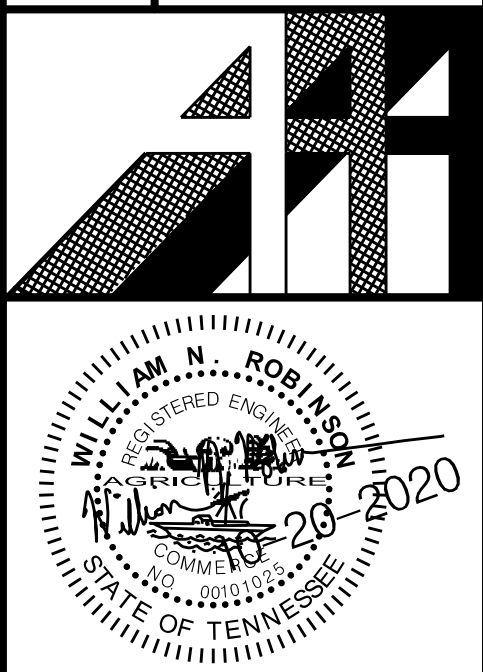
SITE LAYOUT PLAN

ALLAN ASSOCIATES ARCHITECTS, PLLC

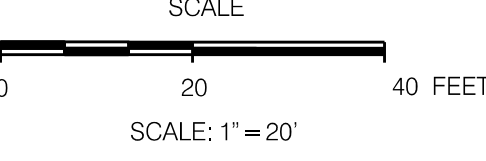
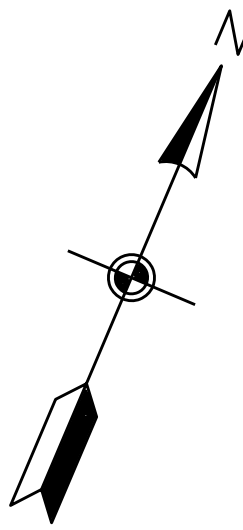
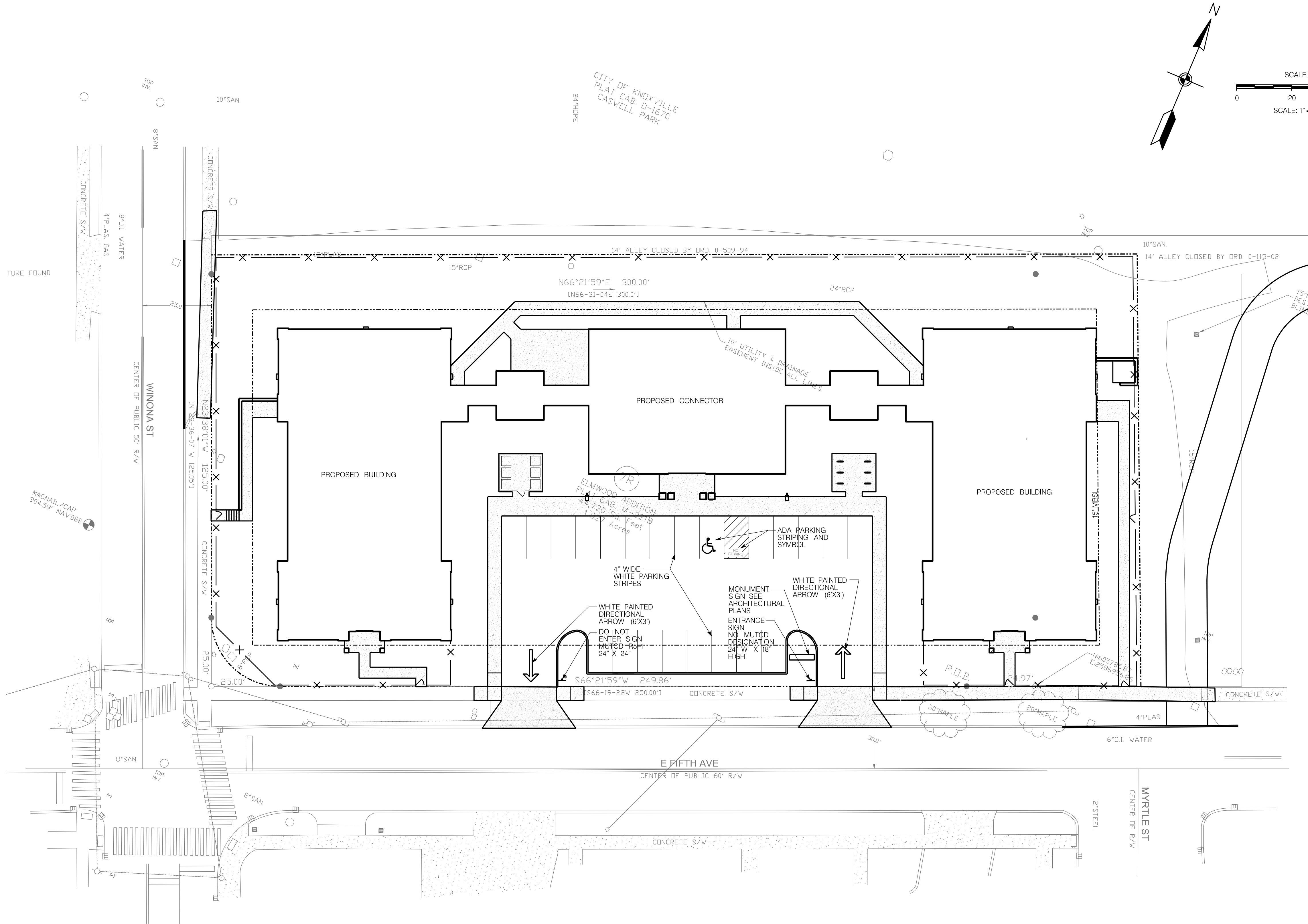
865 / 689-1302

5516 WALLWOOD ROAD

KNOXVILLE, TENNESSEE 37912



SHEET NUMBER
C1.1



LEGEND:		
EXISTING	PROPOSED	
---	---	GROUND CONTOUR ELEVATION
535	535	SPOT ELEVATION
535.25'	535.25'	STRUCTURE
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DRWN BY: WNR
CHKD BY:
APPR BY:
DATE: 09/28/20
REVISIONS
0.26.22 PLANNING COMM.

SITE SIGNAGE AND STRIPING PLAN

Knoxville, TN

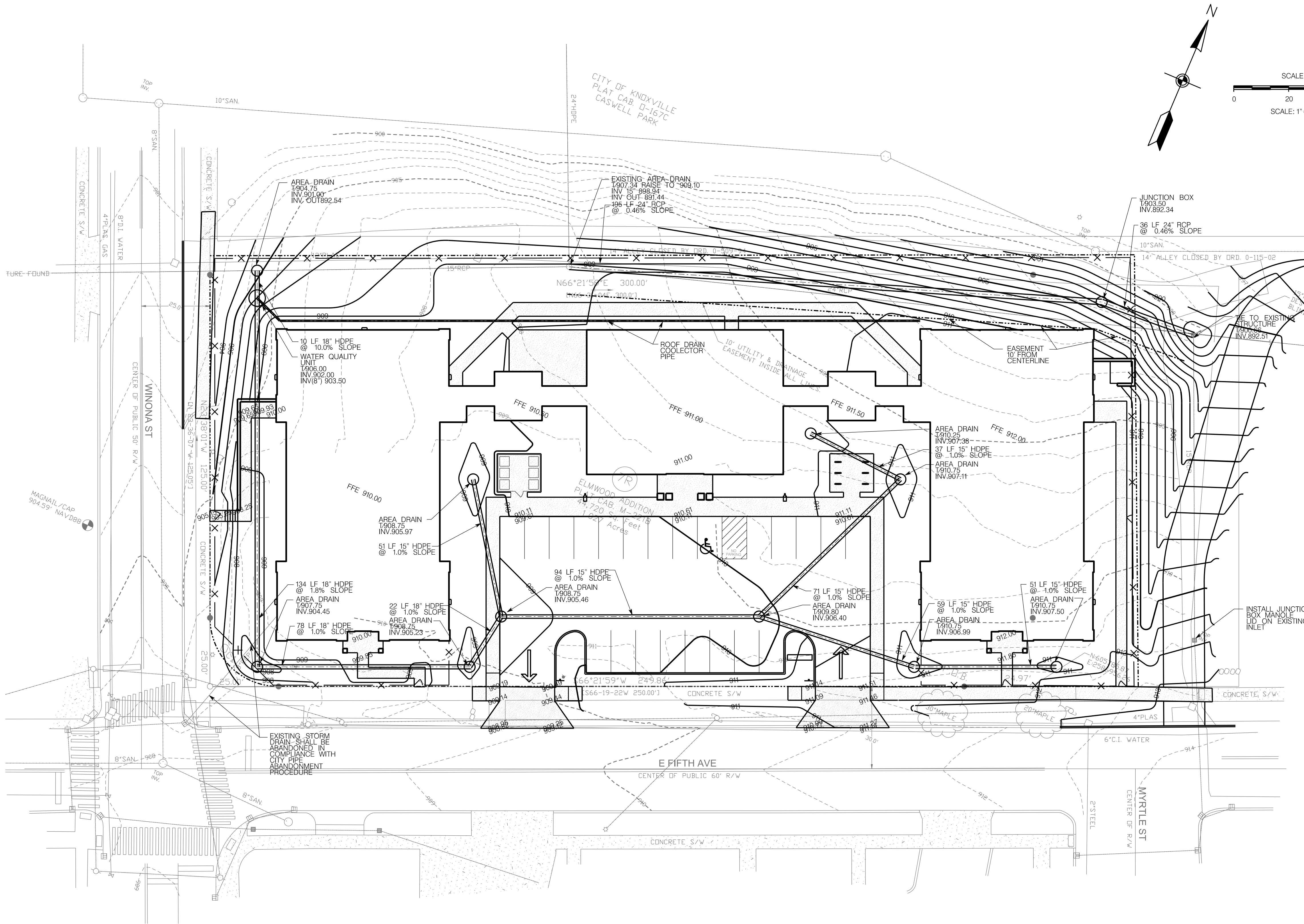
Caswell Manor
1501 East 5th Avenue

ALLAN ASSOCIATES ARCHITECTS, PLLC

865 / 689-1302

5516 WALLWOOD ROAD

SHEET NUMBER
C1.2



LEGEND:		
EXISTING	PROPOSED	
535	535	GROUND CONTOUR ELEVATION
535.25'	535.25'	SPOT ELEVATION
		STRUCTURE
	NA	PROPERTY LINE
	NA	EASEMENT
		EDGE OF PAVEMENT
SD		STORM DRAIN
SS	NA	SANITARY SEWER
W	PW	POTABLE WATER
NG	NG	NATURAL GAS
W	FW	FIRE PROTECTION
		MANHOLE
		WATER METER
		FIRE HYDRANT
		SILT FENCING
		INLET PROTECTION
		CURB
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT

SITE GRADING NOTES

- SITE BENCHMARK: CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK BASIS NGVD88.
- SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY PLS DATED 07/18/2020. THE GRADING CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ENGINEER OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, RIP RAP AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
- THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN +/- 3% OF OPTIMUM.
- THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY, AND INSPECT THE SITE ITSELF. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
- ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN S-71 EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
- NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL : 1 VERTICAL.
- APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
- APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
- EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TOPSOIL HAS BEEN INSTALLED TO ENCOURAGE 'LOCK IN' OF EROSION MAT.
- DETENTION POND WILL BE THE FIRST ORDER OF CONSTRUCTION IN ORDER TO ACT AS A SEDIMENT BASIN. IF THE POND CANNOT BE CONSTRUCTED FIRST, A SEDIMENT BASIN WILL HAVE TO BE CONSTRUCTED FIRST AT A DIFFERENT LOCATION UNTIL THE DETENTION POND CAN BE CONSTRUCTED.
- ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
- CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
- PLACEMENT OF PORTA-POTTIES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS, OR STORM DRAINS.
- NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ONSITE.
- CONSTRUCTION MATERIALS WILL BE STAGED IN THE PARKING AREA BETWEEN THE BUILDING AND MIDDLEBROOK PIKE. FOR TRASH ON THE PROJECT, PROVIDE A TRASH RECEPTACLE WITH A LID. MAINTAIN THE MATERIAL STAGING AREA IN AN NEAT AND ORDERLY MANNER.
- CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE CITY OF KNOXVILLE.
- LANDSCAPING WILL COMPLY WITH ALL ASPECTS OF THE CITY OF KNOXVILLE TREE PROTECTION ORDINANCE.

PERMANENT SEEDING RECOMMENDATIONS FOR HIGH MAINTENANCE AREAS (REGION III)
TDEC MANUAL TABLE 7.9-1 PREFERRED SEED MIXTURES USING NATIVES OR NATURALIZED PLANTS AND PLANTING DATES

ZONE		BEST	MARGINAL	RATEMIX (LB/ACRE)
REGION III	<2500 FT ELEV.: HIGH MAINTENANCE	AUG 15 - SEPT 1 MAR 1 - APR 1	SEPT 1 - SEPT 15 APR 1 - JUNE 10	15 BROWNTOP MILLET (NURSE CROP) 45 RED FESCUE 45 HARD FESCUE 25 CHEWING FESCUE

TDEC MANUAL TABLE 7.9-2 ALLOWABLE SEED MIXES AND PLANTING DATES

ZONE		BEST	MARGINAL	RATEMIX (LB/ACRE)
REGION III	<2500 FT ELEV.: HIGH MAINTENANCE	AUG 15 - SEPT 1 MAR 1 - APR 1	JULY 25 - AUG 15 SEPT 1 - SEPT 15 APR 1 - MAY 10	200 KY 31 FESCUE



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CAD FILE: C1.DGN

DRWN BY: WNR	CHKD BY:	DATE: 09/28/20	REVISIONS	PLANNING COMM.

SITE GRADING PLAN

Knoxville, TN

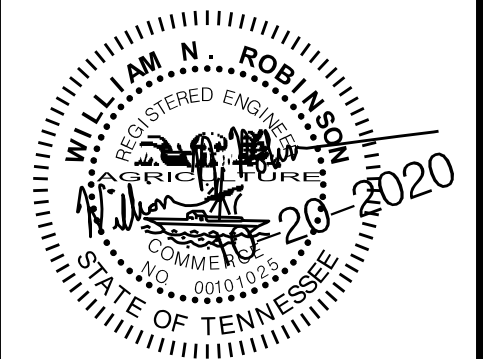
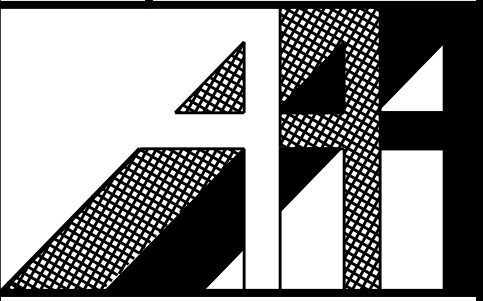
Caswell Manor

1501 East 5th Avenue

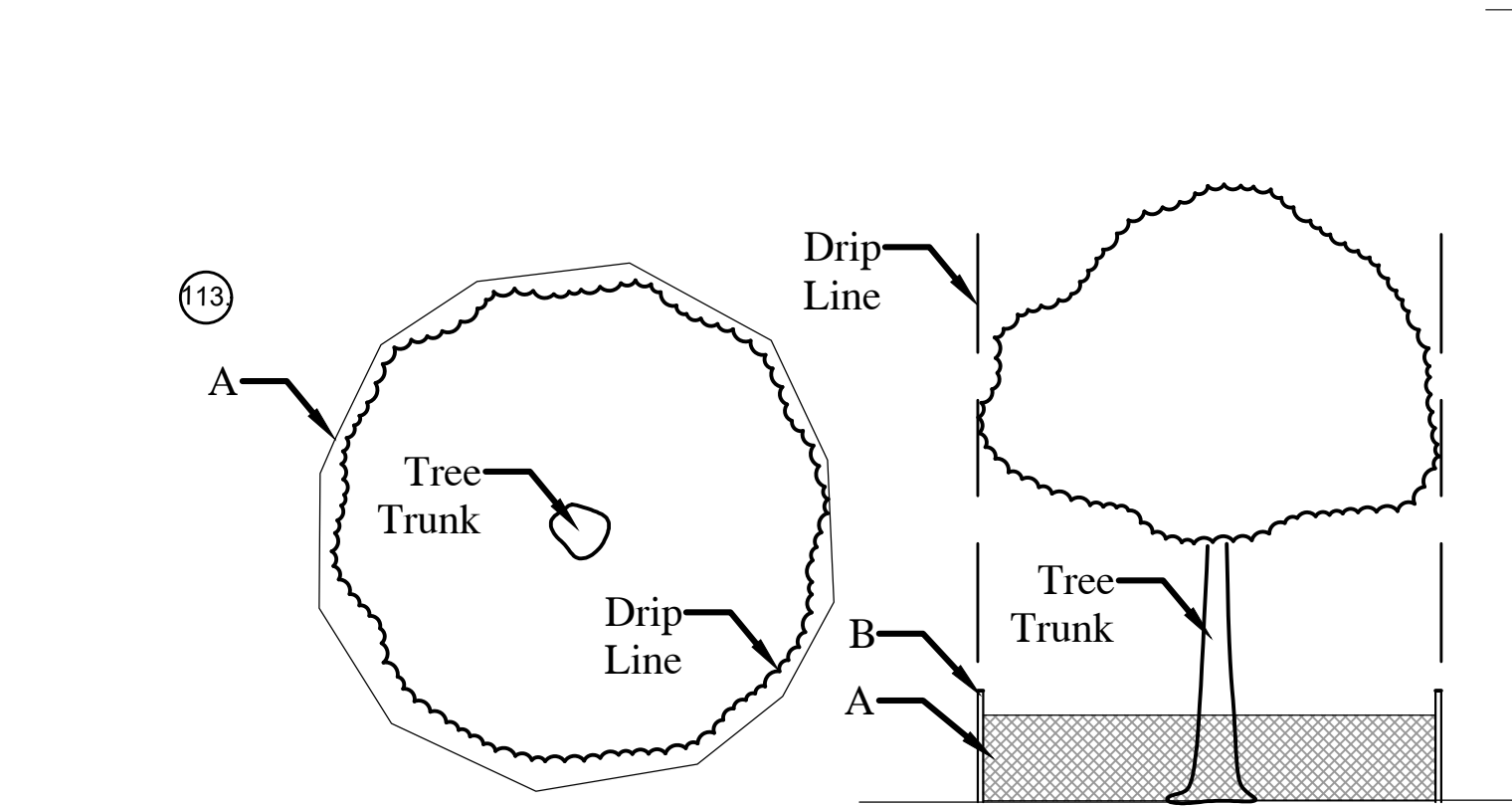
ALLAN ASSOCIATES ARCHITECTS, PLLC

865 / 689-1302

5516 WALLWOOD ROAD



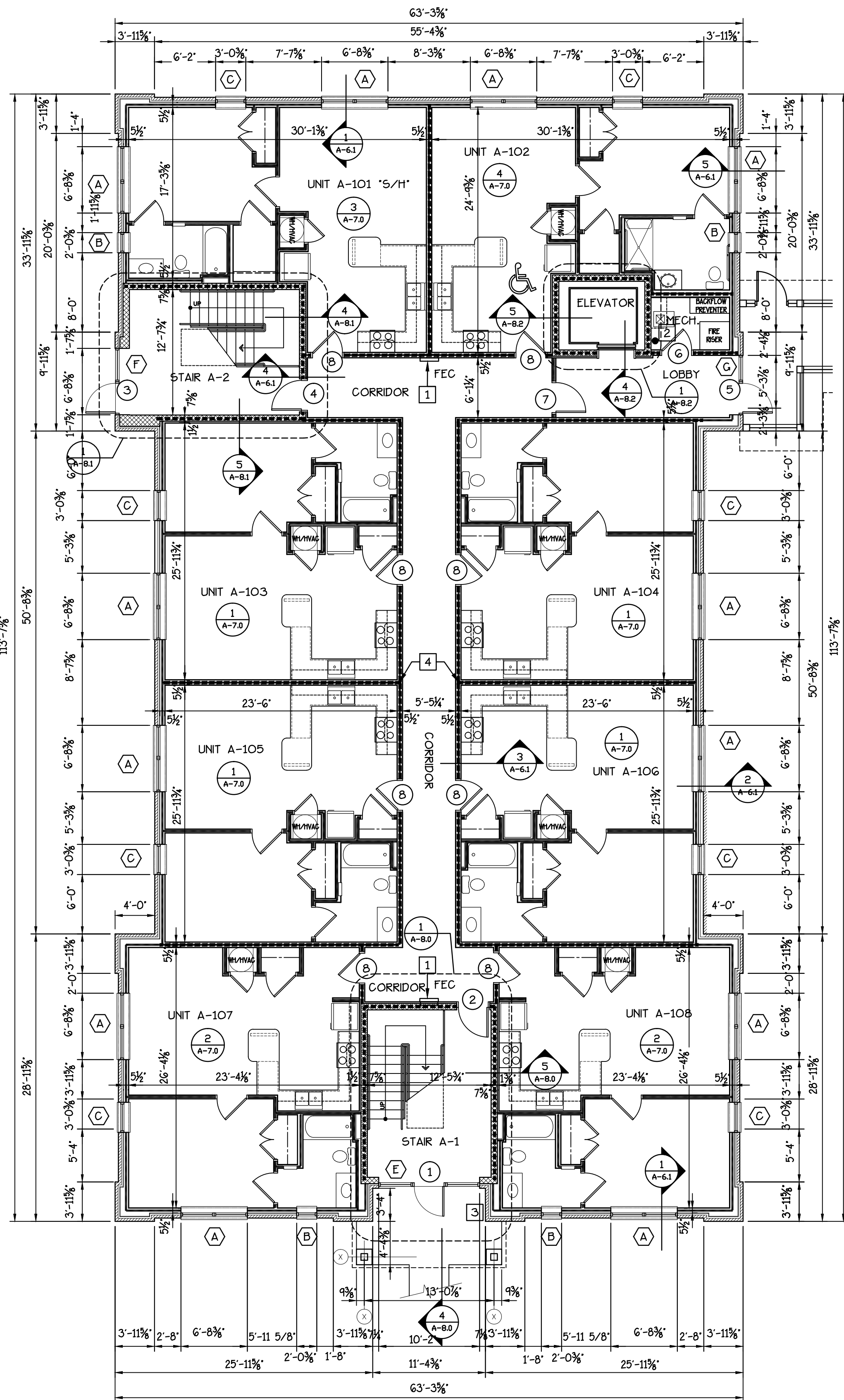
SHEET NUMBER C1.3



SHEET NUMBER
L1.1.

Shrubs	Qty	Botanical Name	Common Name	Size	Notes	Type
	20	Abelia grandiflora	Rose Creek Abelia	3 gallon	full and dense	evergreen
	1	Hydrangea paniculata	Limelight Hydrangea	3 gallon	full and dense	deciduous
	4	Hydrangea quercus	Oakleaf Hydrangea	3 gallon	full and dense	deciduous
	16	Azalea	Encore Azalea	3 gallon	full and dense	evergreen
	20	Prunus laurocerasus	Otto Luyken Laurel	3 gallon	full and dense	evergreen
	16	Amsonia hubrichtii	Bluestar amsonia	3 gallon	full and dense	deciduous/grass
	15	Ilex glabra	Inkberry Holly	3 gallon	full and dense	evergreen
	46	Taxus x media	Densiformis Yew	3 gallon	full and dense	evergreen
	20	Pennisetum alopecuroides	Cassian Pennisetum	3 gallon	full and dense	deciduous/grass
	6	Baptisia australis	False Indigo	3 gallon	full and dense	deciduous

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1
A-1.0
FIRST FLOOR PLAN - BLDG. 'A'
SCALE: 1/8" = 1'-0"

WALL LEGEND

1 HR WALL UL-U912-STC45
8" CMU MASONRY WALL WITH 5/8" GYP. BD. ON WOOD FURRING CHANNELS at 16" O.C.

1 HR WALL UL-U305-STC45
2x6 WD STUDS at 16" O.C. W/ MINERAL WOOL CAVITY FILL WALL BLOKKEE SOUND BARRIER CORRIDOR SIDE AND 5/8" TYPE 'X' BY. BD. EACH SIDE (MR. PER NOTES).

EXTERIOR WALL: 2x6 WD. STUDS at 16" O.C. w/ 5/8" GYP. BD., R-19 FIBERGLASS BATT INSULATION, EXT. SHEATHING (SEE STRUCT. DWGS), HOUSE WRAP, R5 INSULATION BOARD, AIR SPACE, AND FACE BRICK

EXTERIOR WALL ACCENT CORNERS: 2x10 WD. STUDS at 16" O.C. w/ 5/8" GYP. BD., R-19 FIBERGLASS BATT INSULATION, EXTERIOR SHEATHING (SEE STRUCT. DWGS), HOUSE WRAP, R5 INSULATION BOARD, AIR SPACE, AND FACE BRICK

EXTERIOR WALL: 8" CMU W/ INSULATING INSERTS, DAMP PROOFING, R5 INSULATION BOARD, AIR SPACE, AND FACE BRICK

INTERIOR PARTITION: 2x4 WOOD STUDS at 24" O.C. AND 5/8" SHEETROCK EACH SIDE (MR. PER NOTES)

SHEAR WALL - SEE STRUCT. DWGS.

BUILDING PLAN NOTES

- SEMI-RECESSED 1 HOUR RATED FIRE EXTINGUISHER CABINET 10LB-4A80BC EXTINGUISHERS.
- WALL MOUNTED 10 LB. - 4A80BC FIRE EXTINGUISHER.
- *KNOX BOX* - COORDINATE W/ FIRE INSPECTOR AND INSTALL AS DIRECTED.
- FIRE RATED CONTROL JOINT WW-D-0172

APARTMENT UNITS MATRIX

APARTMENT UNIT	BLDG.
A	B
1 BEDROOM	21 23
1 BEDROOM ACCESSIBLE	2 1
1 BEDROOM SIGHT/HEARING	1 --
TOTAL	24 24

ACCESSIBLE UNITS - 102A, 202A, 102B
SIGHT/HEARING UNITS - 101A

FINISH SCHEDULE

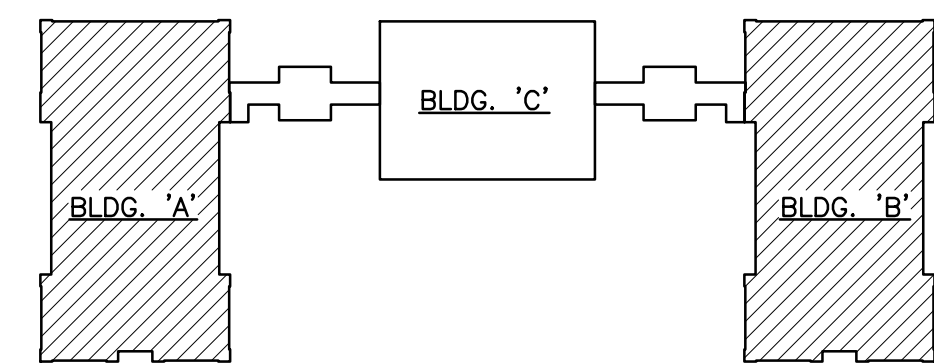
RM. NO.	FLOOR	FLOOR	BASE	WALLS	CEILING	CEILING	REMARKS/NOTES
COMMON AREAS							
CORRIDOR	V.P.	RB	PNT	A.C.T.	8'-0"		
STAIR	RF	RB	PNT	PNT	VARIES		
MECHANICAL	VCT	RB	PNT	PNT	8'-0"		
LOBBY	V.P.	RB	PNT	A.C.T.	8'-0"		

DOOR SCHEDULE - 1st FLOOR

#	SIZE	TYPE	FRAME	T. HOLD	HWDE	REMARKS
1	3'-0"x6'-8"x1 3/4"	A	ALUM	ADA	PANIC/LOCK	
2	3'-0"x6'-8"x1 3/4"	B	HM	---	PANIC/LOCK	60 MIN. W/ CLOSER
3	3'-0"x6'-8"x1 3/4"	A	ALUM	ADA	PANIC/LOCK	
4	3'-0"x6'-8"x1 3/4"	B	HM	---	PANIC/LEVER	60 MIN. W/ CLOSER
5	3'-0"x6'-8"x1 3/4"	A	ALUM	ADA	PANIC/LOCK	
6	3'-0"x6'-8"x1 3/4"	C	HM	---	LOCK	45 MIN. W/ CLOSER
7	3'-0"x6'-8"x1 3/4"	D	HM	---	PASS	45 MIN. W/ CLOSER
8 SEE DOOR SCHEDULE SHT. A-7.0						

ALUMINUM + GLASS	SOLID CORE WOOD	SOLID CORE WOOD	SOLID CORE WD FULL LITE
A	B	C	D

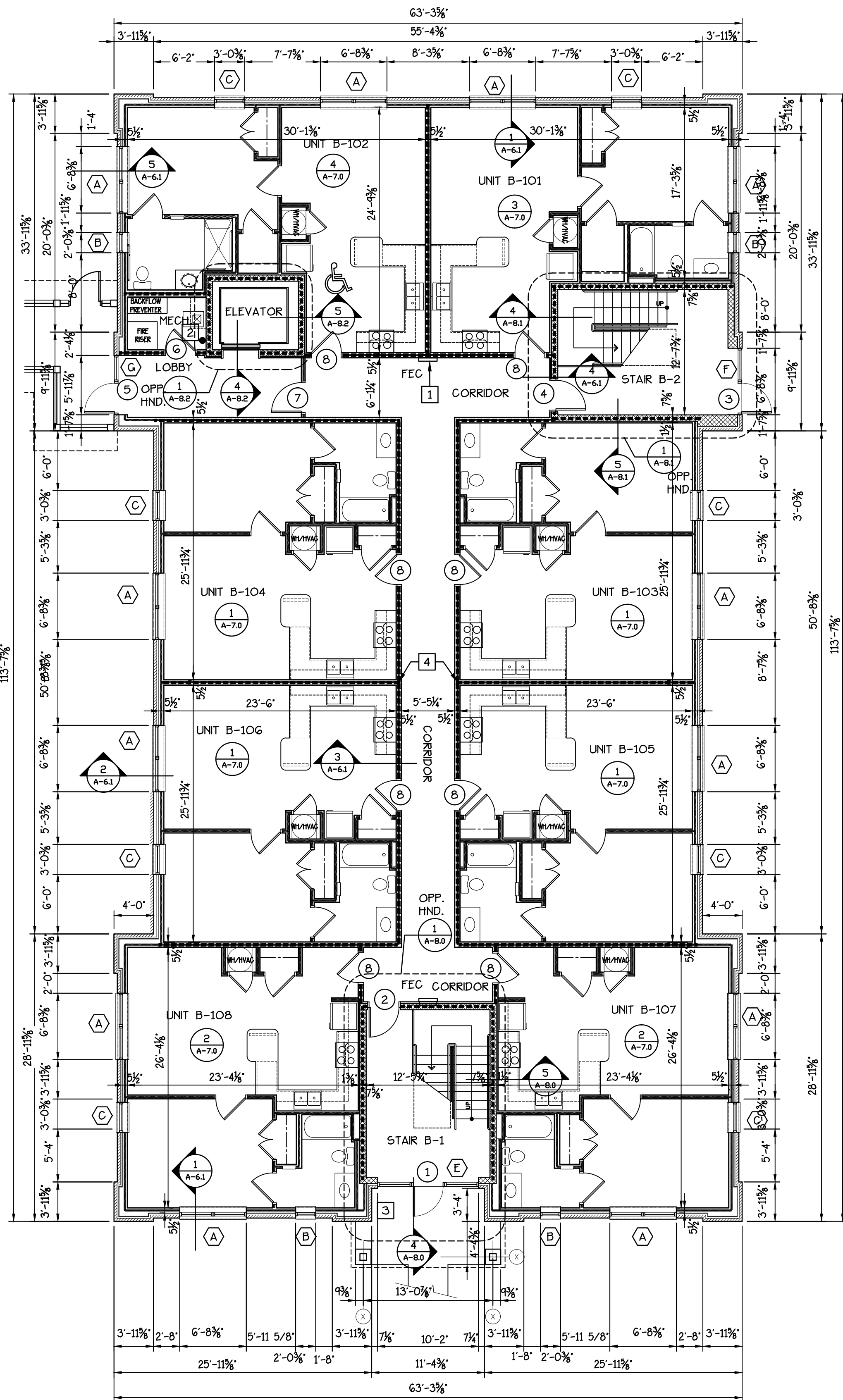
DOOR TYPES



KEY PLAN
NO SCALE

PLAN NORTH

BUILDING AREAS	GSF 5/4/20	GSF 9/22/20
APARTMENT BUILDING		
1ST FLOOR	6,855	6,726
2ND FLOOR	6,630	6,726
3RD FLOOR	6,630	6,726
TOTAL BUILDING	20,115	20,178
TOTAL (2) BUILDINGS	40,230	40,356
COMMUNITY BUILDING	2,453	3,772
COVERED WALKWAYS	1,234	1,170
TOTAL	43,917	45,298



2
A-1.0
FIRST FLOOR PLAN - BLDG. 'B'
SCALE: 1/8" = 1'-0"



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CAD FILE: VMC-A-1.0.DWG

DRWN BY: SHR

CHKD BY: MDA

APPR BY: MDA

DATE: 9-28-2020

REVISIONS

CASWELL MANOR APARTMENTS
1501 EAST 5TH STREET
Knoxville, TN

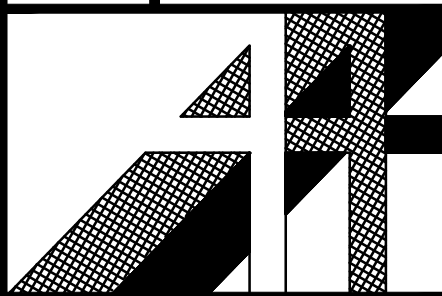
BUILDING 'A' AND BUILDING 'B'
FIRST FLOOR PLANS

ALLAN ASSOCIATES ARCHITECTS, PLLC

5516 WALLWOOD ROAD

865 / 689-1302

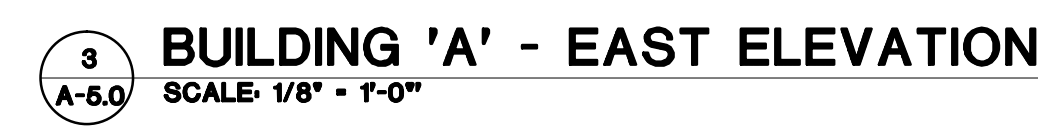
KNOXVILLE, TENNESSEE 37912



PRELIMINARY
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10-28-2020


SHEET NUMBER

A-1.0



- BUILDING ELEVATION NOTES:**

 - 1 ARCHITECTURAL PRECAST STONE
 - 2 METAL PARAPET COPING
 - 3 MODULAR BRICK VENEER
 - 4 SINGLE-HUNG WINDOW
 - 5 ALUMINUM STOREFRONT
 - 6 ARCHITECTURAL PRECAST OR DRYVIT MEDALLION
 - 7 FIBERGLASS ASPHALT SHINGLES
 - 8 HARDIE TRIM
 - 9 INSECT SCREEN BY FAST TRACK
 - 10 BRICK SLODGE COURSE
 - 11 BRICK ROWLOCK COURSE
 - 12 SINGLE-PLY MEMBRANE ROOF
 - 13 BUILDING MOUNTED DOWN LIGHT.
 - 14 LINE OF PERIMETER FENCE. SEE 7/A-5.0
 - 15 CONCRETE RETAINING WALL
 - 16 CONTROL JOINT WITH CAULK AND BACKER ROD.
 - 17 DRYVIT BRICK
 - 18 CONCRETE SLAB
 - 19 FIXED WINDOW
 - 20 CONTROL JOINT W/ BACKER ROD + CAULK
 - 21 GUTTER
 - 22 SCUPPER
 - 23 DOWNSPOUT
 - 24 OVERFLOW SCUPPER
 - 25 CONDUCTOR HEAD
 - 26 SPASH BLOCK
 - 27 TRANSFORMER



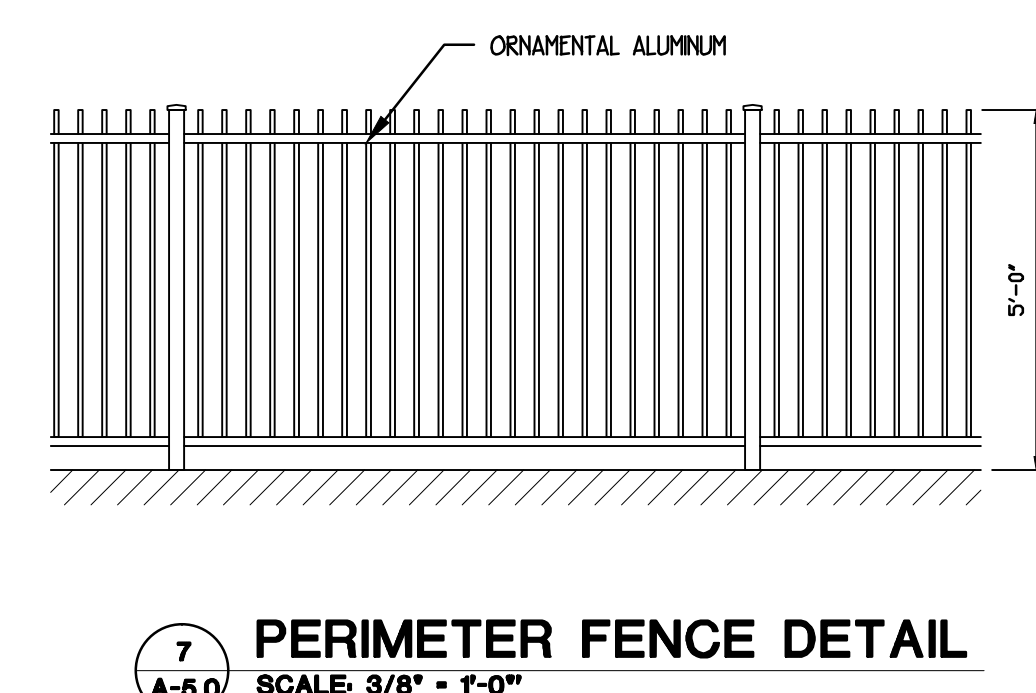
Planning

KNOXVILLE | KNOX COUNTY

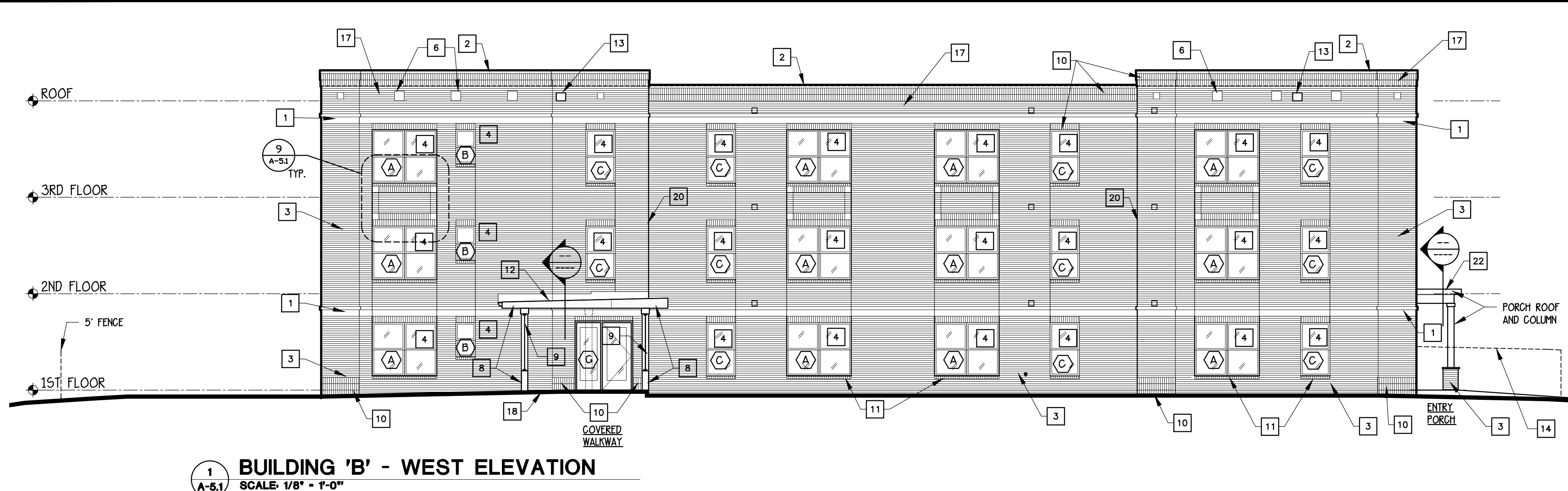
File No.: 11-A-20-PD

Date submitted: 10/27/2020

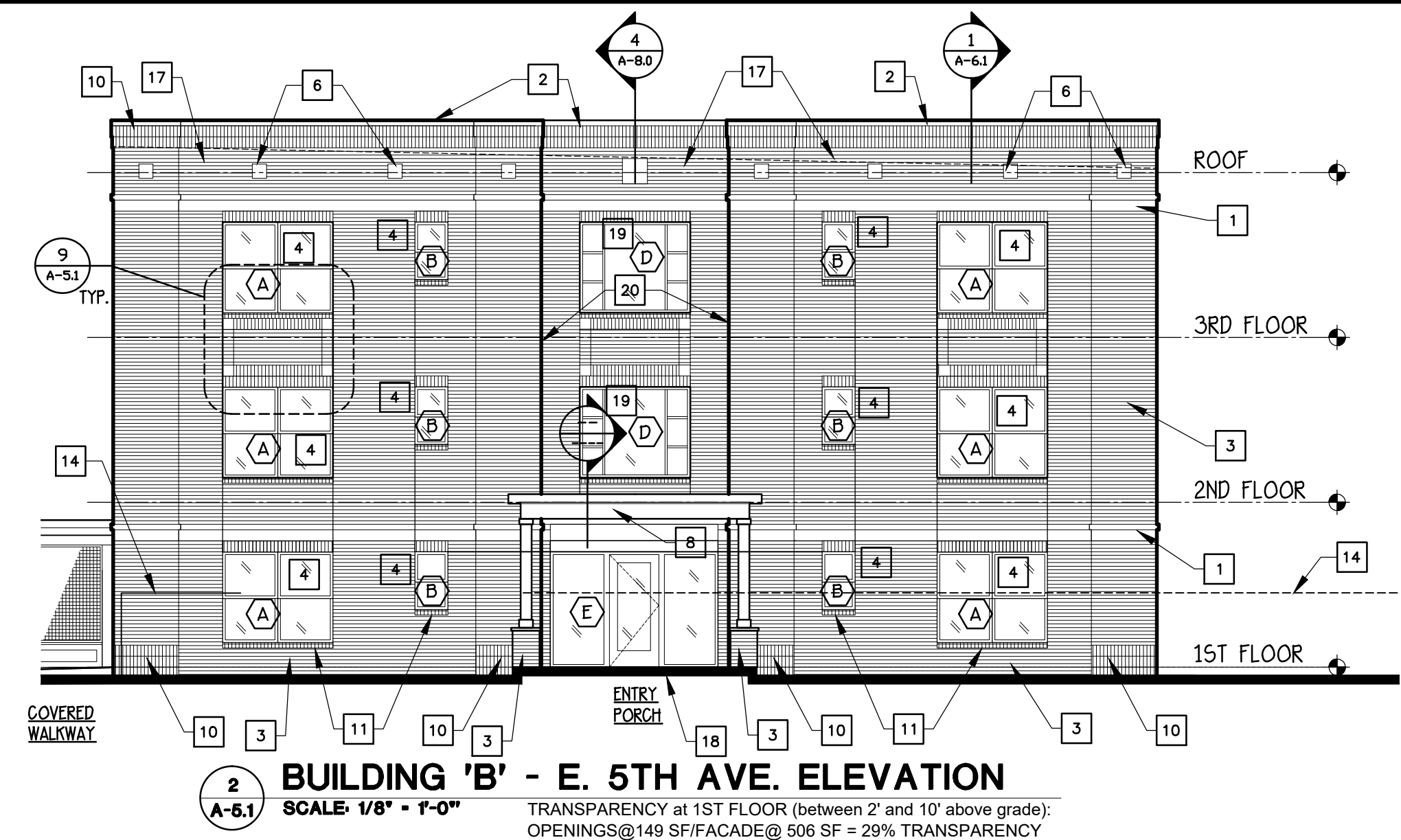
These plans have not been reviewed by Planning Staff and may not be finalized.



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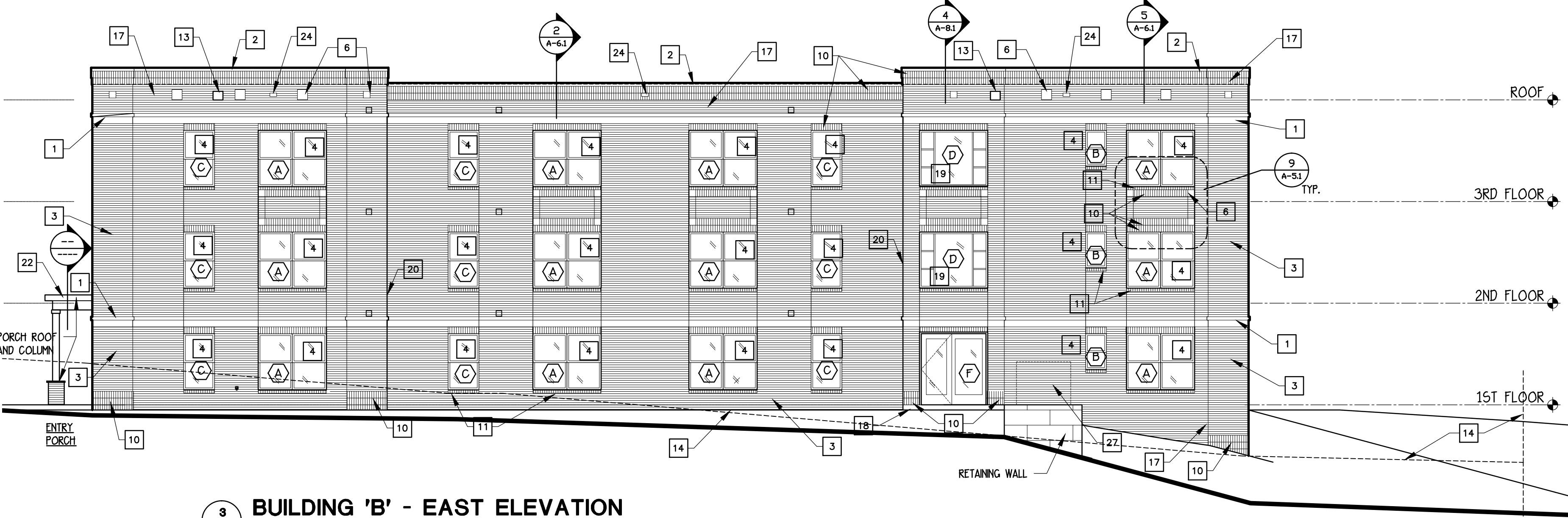


1 BUILDING 'B' - WEST ELEVATION
SCALE: 1/8" = 1'-0"

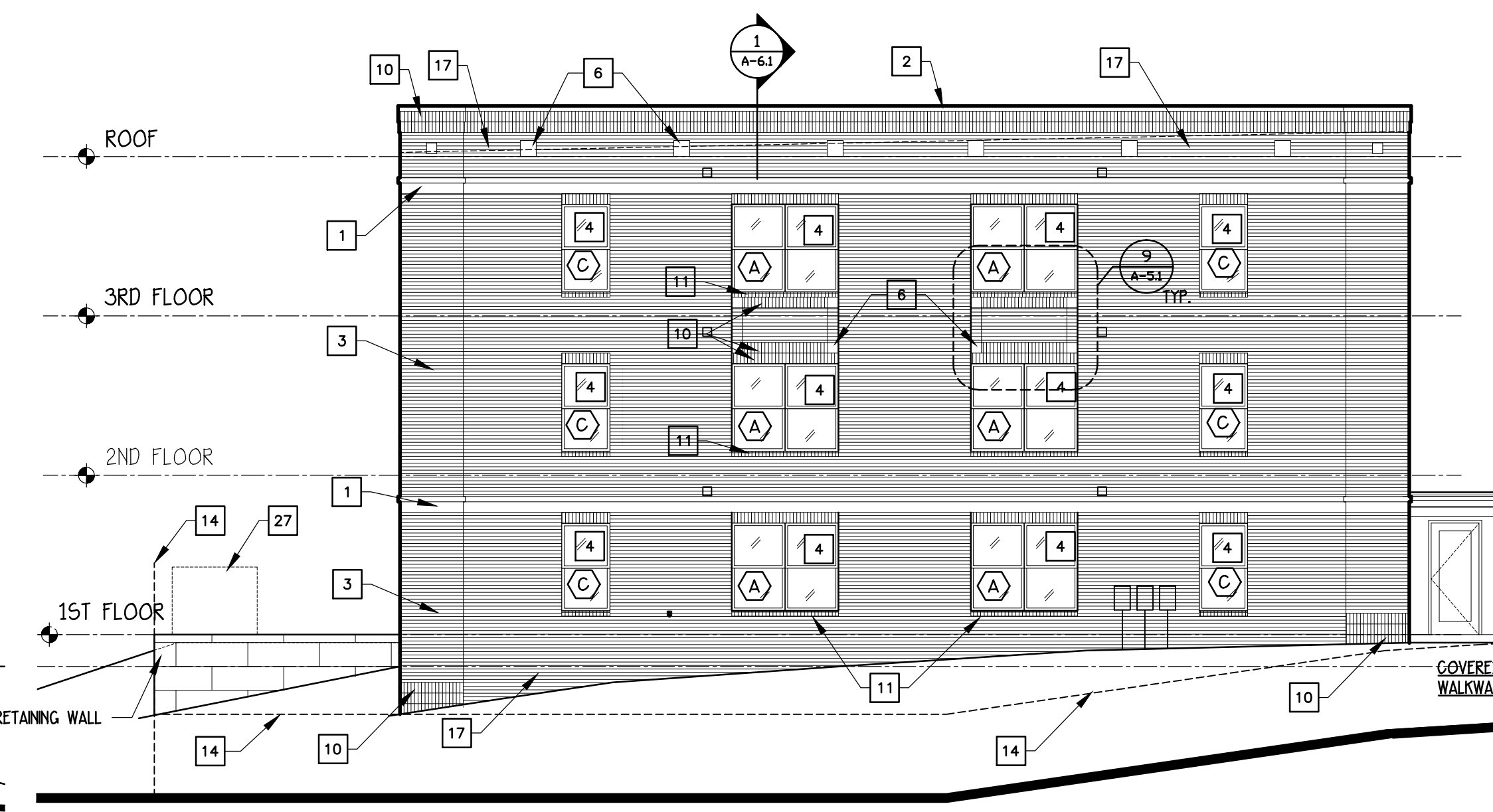


2 BUILDING 'B' - E. 5TH AVE. ELEVATION
SCALE: 1/8" = 1'-0"

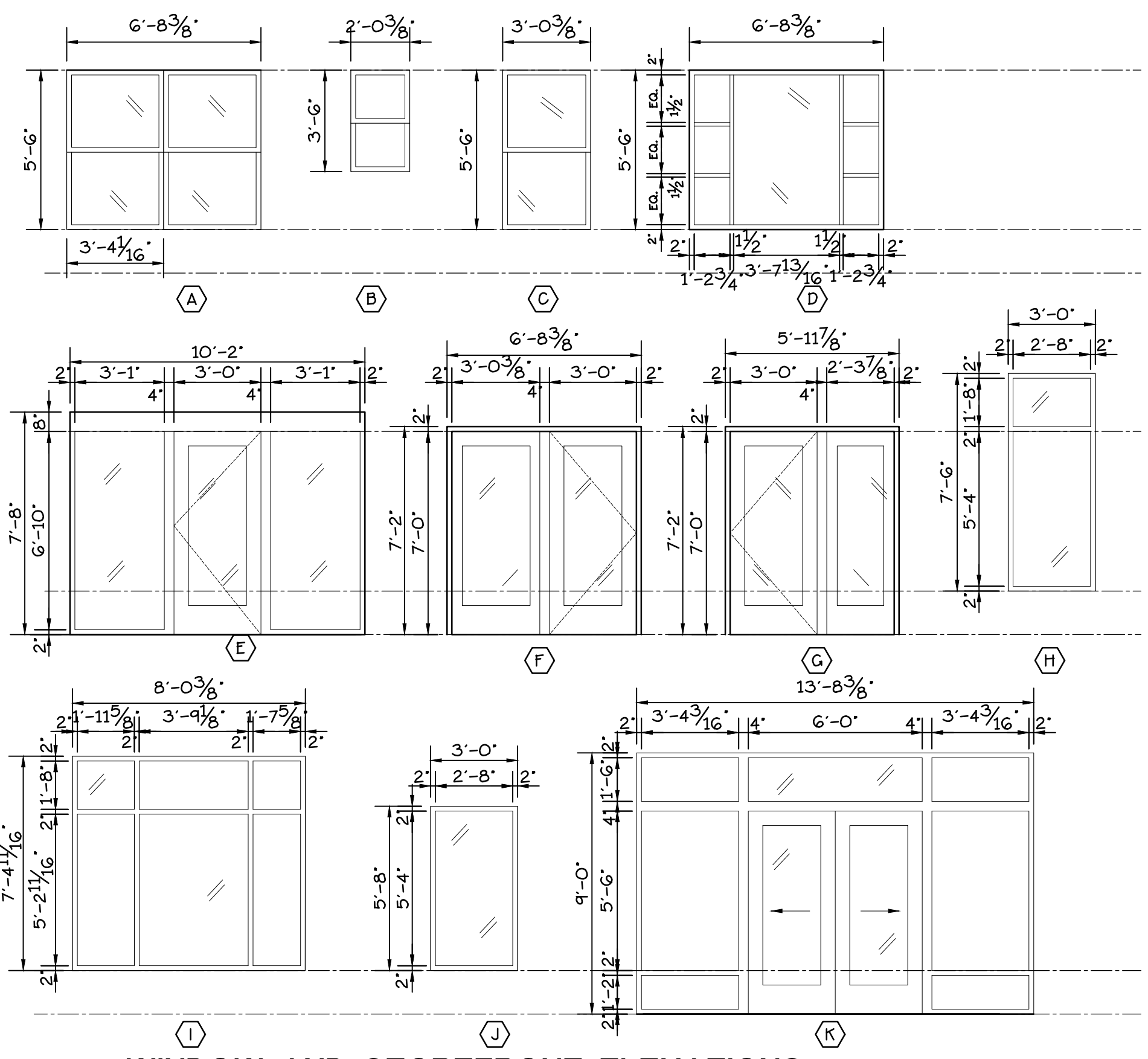
TRANSPARENCY at 1ST FLOOR (between 2' and 10' above grade)
OPENINGS@149 SF/FACADE@ 506 SF = 29% TRANSPARENCY



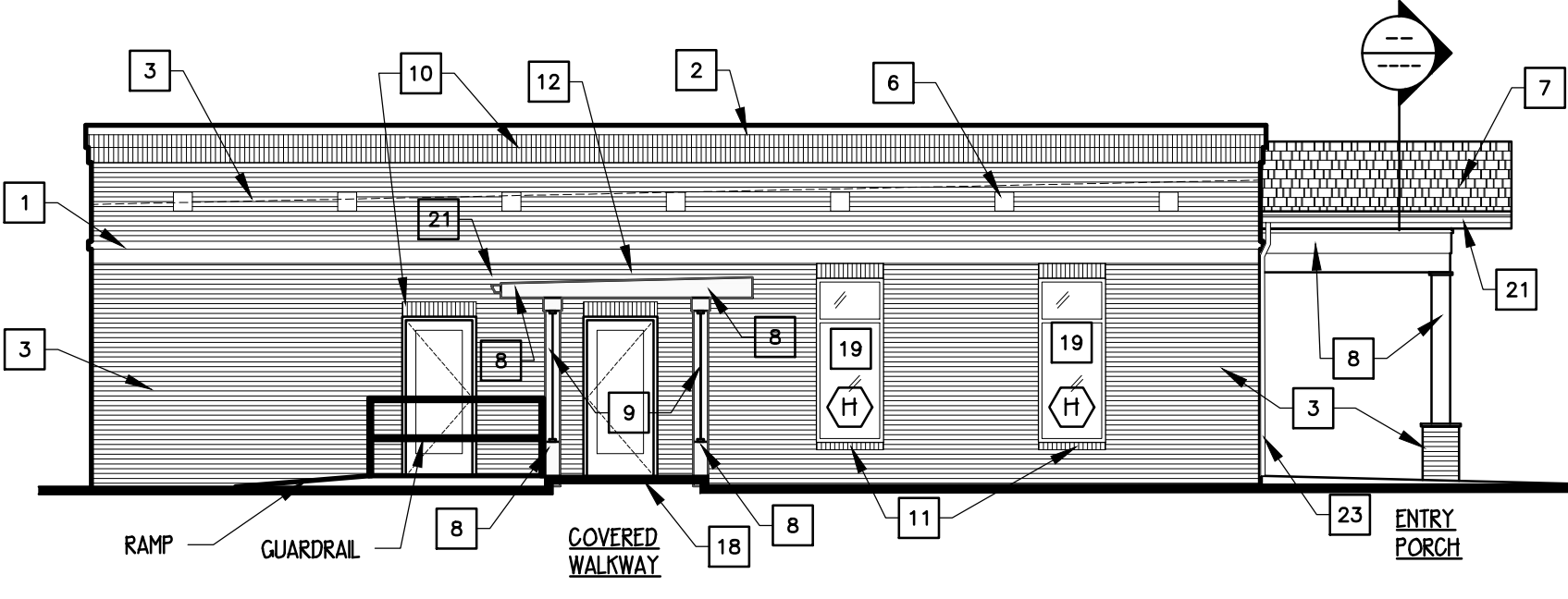
3 BUILDING 'B' - EAST ELEVATION
SCALE: 1/8" = 1'-0"



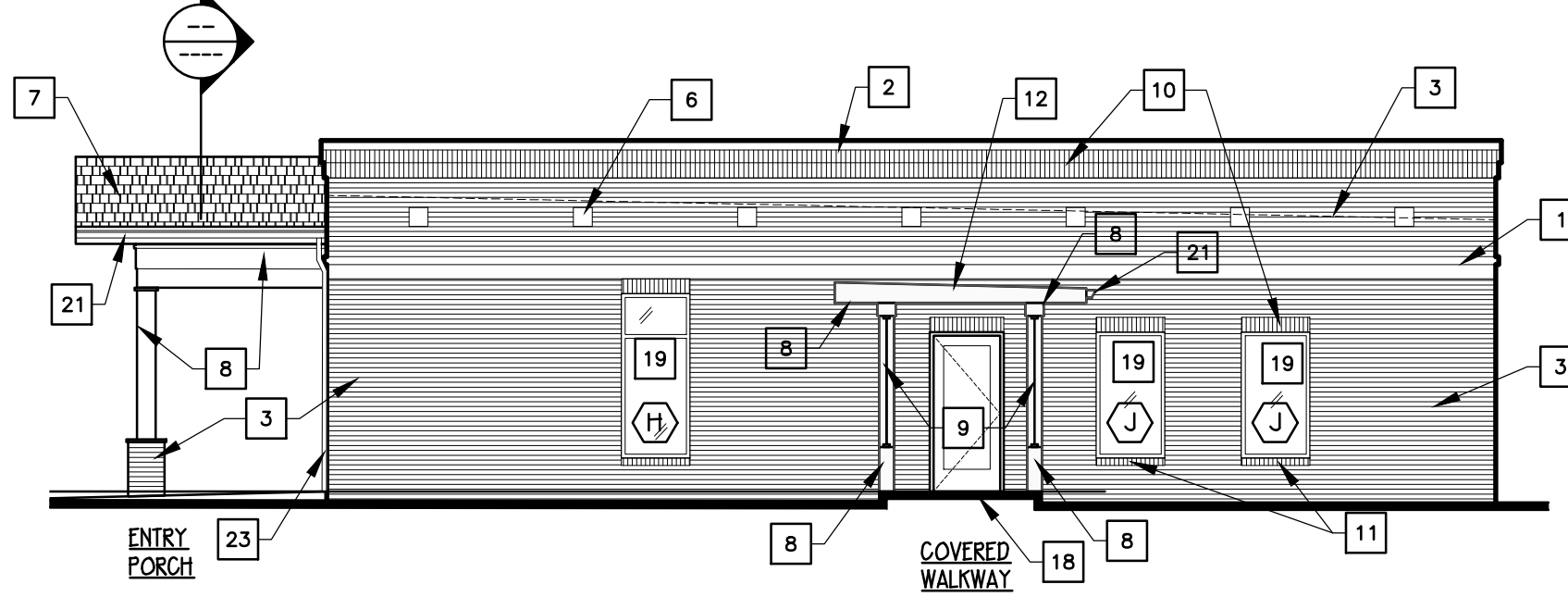
4 BUILDING 'B' - CASWELL PARK ELEVATION
SCALE: 1/8" = 1'-0"



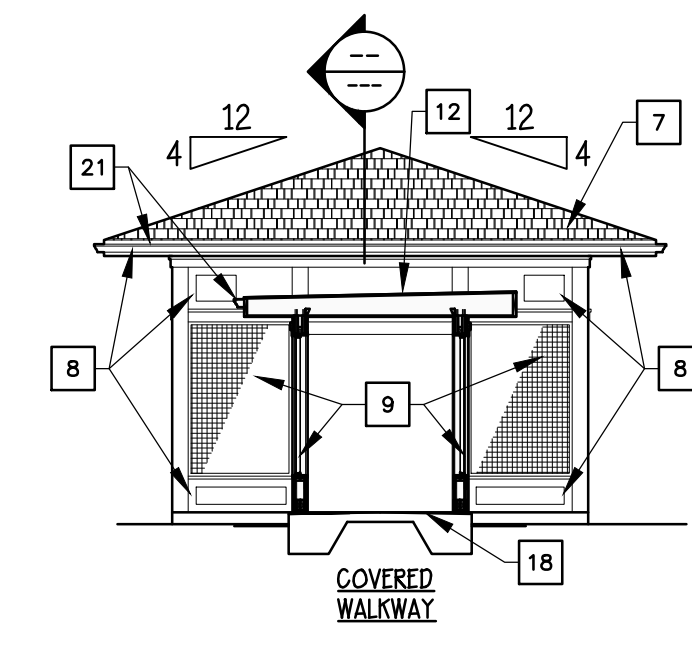
5 WINDOW AND STOREFRONT ELEVATIONS
SCALE: 1/4" = 1'-0"



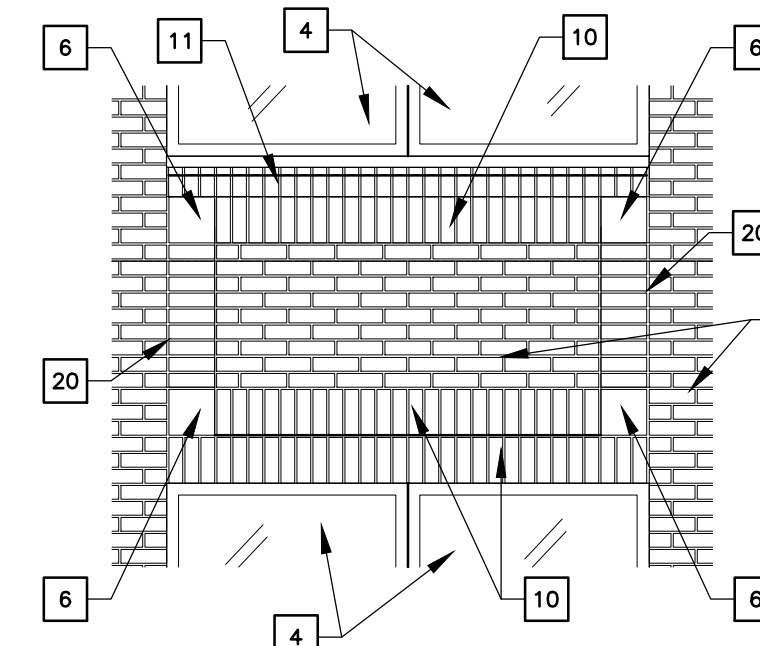
5 BUILDING 'C' - WEST ELEVATION
SCALE: 1/8" = 1'-0"



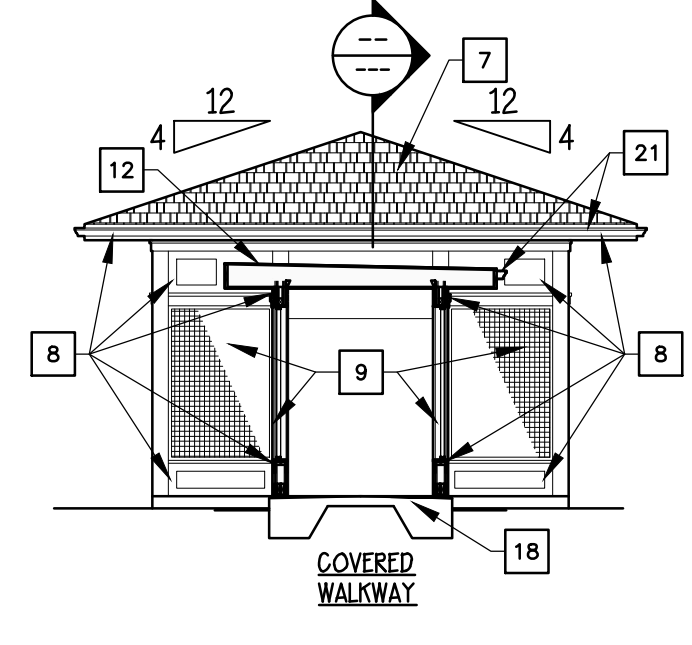
6 BUILDING 'C' - EAST ELEVATION
SCALE: 1/8" = 1'-0"



7 GAZEBO ELEVATION
SCALE: 1/8" = 1'-0"



9 ELEVATION DETAIL
SCALE: 3/8" = 1'-0"



8 GAZEBO ELEVATION
SCALE: 1/8" = 1'-0"

- BUILDING ELEVATION NOTES:
- 1 ARCHITECTURAL PRECAST STONE
 - 2 METAL PARAPET COPING
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 - 26 SPASH BLOCK
 - 27 TRANSFORMER



File No.: 11-A-20-PD

Date submitted: 10/27/2020

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Planning Staff and may not be finalized.

CAD FILE: VMC-A5.X.DWG

DRWN. BY: SHR	CHKD. BY: MDA	APPR. BY: MDA	DATE: 9-28-2020
REVISIONS			

CASWELL MANOR APARTMENTS
1501 EAST 5TH STREET
Knoxville, TN

BUILDING 'B' ELEVATIONS

ALLAN ASSOCIATES ARCHITECTS, PLLC

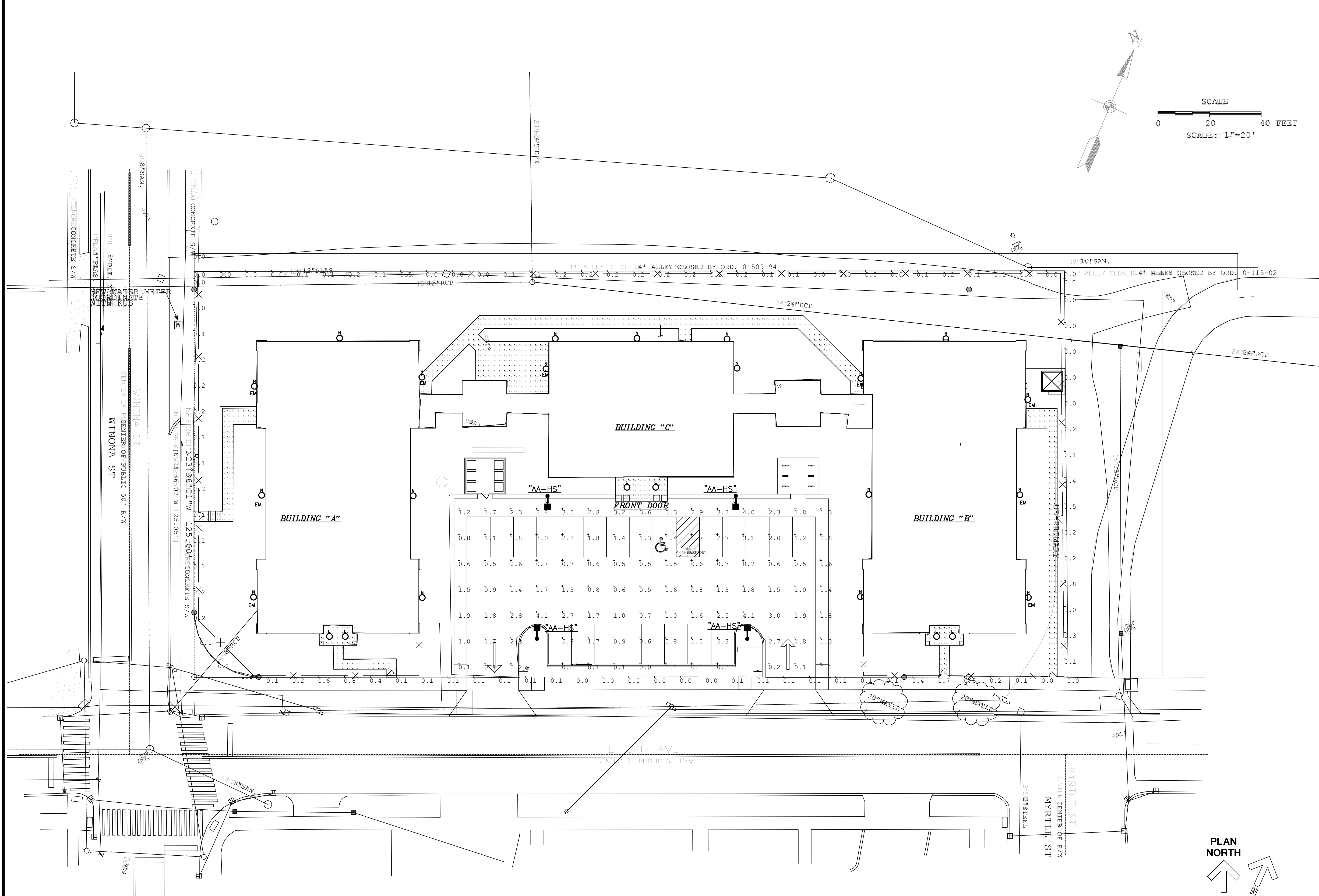
KNOXVILLE, TENNESSEE 37912

865 / 889-1302

5516 WALLWOOD ROAD

PRELIMINARY
NOT FOR
CONSTRUCTION
10-28-2020

SHEET NUMBER
A-5.1



Luminaire Schedule								
Symbol	Qty	Label	Arrangement	SLP	Description	lum. lumens	BUS Rating	Mounting Height
AA-HS	4	AA-HS	SINGLE	1.000	30X0 LED P1 40K T2W M9027 HS	3852	B1-00-G1	Pole Mnt Hgt ~ 12'-0" Maximum O.A. Height
1	19	1	SINGLE	0.900	M0822 LED P1 40K 80CRI VP	1257	B0-00-G0	Wall Mounted ~ 10'-0" to Bottom of Fixture
2	6	2	SINGLE	0.900	WFP LED 40K M9027 90CRI	1629	N.A.	Recessed Light in Soffit

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
01-Front Parking Lot	Illuminance	Fc	1.48	4.1	0.0	N.A.	N.A.
02-Building-A_FrontSidewalk	Illuminance	Fc	4.52	9.9	0.2	22.60	49.50
03-Building-A_Sidewalk	Illuminance	Fc	0.76	1.8	0.2	3.80	9.50
04-Building-B_FrontSidewalk	Illuminance	Fc	6.35	10.0	0.9	7.06	11.11
05-Building-B_Sidewalk	Illuminance	Fc	0.85	3.4	0.0	N.A.	N.A.
06-FrontDoors	Illuminance	Fc	6.31	7.3	4.7	1.34	1.55
07-RearSidewalk	Illuminance	Fc	1.64	4.8	0.1	16.40	48.00
08-Rear_Pt	Illuminance	Fc	0.12	0.2	0.0	N.A.	N.A.
09-South-Pl_1	Illuminance	Fc	0.09	0.2	0.0	N.A.	N.A.
10-East-Pl_1	Illuminance	Fc	0.24	1.0	0.0	N.A.	N.A.
11-South-Pl_1	Illuminance	Fc	0.17	0.8	0.0	N.A.	N.A.

1
E-0.1

SITE LIGHTING / PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"



File No.: 11-A-20-PD
Date submitted: 10/27/2020

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NORRIS & ASSOCIATES ENGINEERS INC.
5308 WALLWOOD ROAD
KNOXVILLE, TN 37912
PHONE: 865-584-3063
FAX: 865-584-3065
www.norrisengineers.com

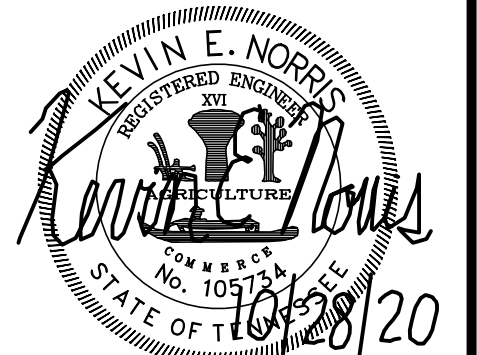
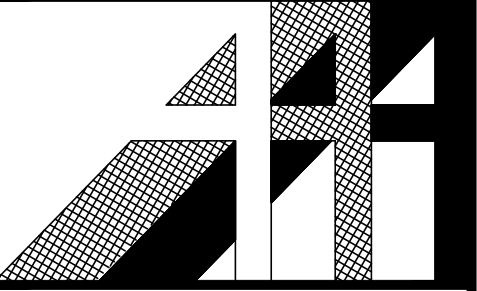
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CAD FILE: VMC-A-1.0.DWG

DRWN. BY: DD	CHKD. BY: KN	APPR. BY: KN	DATE: 10-28-2020	REVISIONS

CASWELL MANOR APARTMENTS
1501 EAST 5TH STREET
Knoxville, TN



SHEET NUMBER

E-0.1

ALLAN ASSOCIATES ARCHITECTS, PLLC

KNOXVILLE, TENNESSEE 37912

865 / 686-1302

5516 WALLWOOD ROAD



FEATURES & SPECIFICATIONS

INTENDED USE — The 6" Wafer™ LED Downlight with Switchable White provides high-quality light output and efficiency featuring a switch for easy color temperature adjustment — while eliminating the need for recessed housings. The innovative, slim design allows for easy retrofit, remodel or new construction installation from below the ceiling. The LED module maintains at least 70% light output for 50,000 hours. The Wafer LED Downlight is wet location listed — making it ideal for use in a breadth of outdoor residential, hospitality, commercial and multifamily applications.

CONSTRUCTION — Aluminum die-cast outer frame. Durable, powder coat paint to prevent rust. F14 plenum rated cable connector to connect from module to remote driver box. IC rated driver with convenience and value of two remote selectable color temperature options, each with a wiring choice to choose either 2700K, 3000K, and 5000K or 3000K, 4000K, and 5000K using the switch. The isolated driver integrated inside steel remote box with four 7/8" knockouts with slots for pryor. Suitable for pulling wires with the 12 cubic inch wiring compartment to accommodate up to (6) 14 gauge insulated conductors making the Wafer LED Downlights much easier to wire in 2in/2out (plus ground) daisy-chain applications and contractor friendly.

PATENT PENDING.

INSTALLATION — Ideal for shallow ceiling plenum; no housing required. Steel spring clip for easy installation. 6" cut out template is provided to ensure a correct sized hole is cut into ceiling for proper installation of the trim. Size of hole should not exceed 6 1/4 inches for this product. Suitable for installation in split and drop ceiling applications. 2" plenum space required for installation of the remote driver box.

OPTICS — Edge-lit LED technology uses light guided plate to distribute light. Polycarbonate lens provides even illumination throughout the space.

ELECTRICAL — Connect directly to 120V Class-2 (CAN ICES-005 (B) / NMB-005 (B)) LED driver. High efficient driver with power factor >0.9. Ambient operating temperature: -40°F/-40°C to +104°F/+40°C. Dimming down to 10% with most standard incandescent dimmers (see list of approved dimmers). Replaces 75W incandescent for 850L and 100W incandescent for 1150 lumens.

LISTINGS — CSA certified to US and Canadian safety standards. ENERGY STAR® certified product. Wet location. Air Tight certified in accordance with ASTM E283-2004. NEMA Certified. Can be used to comply with California Title 24 Part 6 High Efficiency LED Light Source Requirements.

WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Specifications

Aperture: 4.9 (12.4)

Ceiling opening: 6 (15.2)

Overlap trim: 6.7 (17)

Height: 1.1 (2.8)

All dimensions are inches (centimeters) unless otherwise indicated.

Example: WF6 LED 30K40K50K 90CRI MW

ORDERING INFORMATION

For shortest lead times, configure product using standard options (shown in bold).

Example: WF6 LED 30K40K50K 90CRI MW

Series

WF6 6" wafer-thin LED downlight

LL LED Low Lumen

27K30K35K 3000K/10W/830L 3500K/10W/900L 3000K/10W/860L 3000K/10W/850L 4000K/10W/900L 5000K/10W/880L

LED LED

27K30K35K 2700K/14W/1040L 3000K/14W/1150L 3500K/14W/1100L 3000K/14W/1090L 4000K/14W/1190L 5000K/14W/1120L

30K40K50K 3000K/14W/1040L 3000K/14W/1150L 3500K/14W/1100L 3000K/14W/1090L 4000K/14W/1190L 5000K/14W/1120L

CR 90CRI 90CRI

MW Matte White

MB Matte Black

BN Brush Nickel

OB Oil Rubbed Bronze

Notes

1. Total system delivered lumens.

See Accessories next page.

WF6 LED - Switchable White

DOWNLIGHTING

Catalog Number
Notes
Type TYPE "L"

Wafer LED Recessed Downlight

WF6

6" LED Switchable White

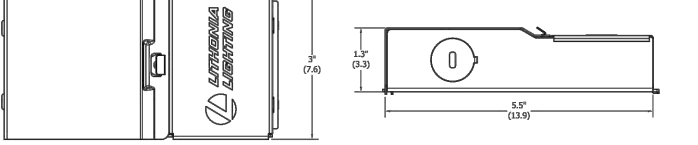
Color Temperature

IC/Non-IC

New Construction/Remodel



Matte black Brushed nickel Oil-rubbed bronze



WDGE2 LED Architectural Wall Sconce



Specifications

Depth (D1): 7"

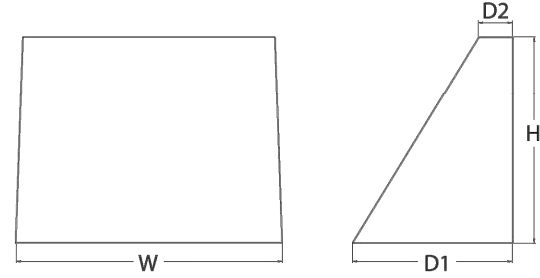
Depth (D2): 1.5"

Height: 9"

Width: 11.5"

Weight: 13.5 lbs

(without options)



WDGE LED Family Overview

Luminaire	Standard Efficacy, ft/c	Cold Efficacy, ft/c	Sensor	P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standalone / n/light	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standalone / n/light	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / n/light	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color temperature	CR	Description	Voltage	Mounting	Shipped separately
WDGE2 LED	P1 ¹ P2 ¹ P3 ¹ P4 ¹ P5 ¹	27K 30K 35K 40K 5000K	80CRI 90CRI	VF Visual comfort forward throw VW Visual comfort wide	MVOLT 347V 480V	ICW Indirect Ceiling/Wall Mounting SRM Surface mounting DDBXD Dark bronze	Shipped included SRM Surface mounting DDBXD Dark bronze

Options	Finish
E4WH Emergency battery backup, CE compliant (4W, 0°C min)	DDBXD Dark bronze
E1WH Emergency battery backup, CE compliant (10W, 5°C min)	DBLXD Black
E2WH Emergency battery backup, CE compliant (15W, -30°C min)	DNAXD Natural aluminum
PE ⁴ Photocell, Button type	DWIKD White
DS ⁵ Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DSXSD Sandstone
DMG ⁶ 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DOBXD Textured dark bronze
BCE Bottom conduit entry for back box (PBBV), Total of 4 entry points.	DNWDXD Textured natural aluminum
	DWHDGD Textured white
	DSXSD Textured sandstone

Options

Standalone Sensors/Controls (only available with P15W, P25W & P35W)

PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.

PIR Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.

PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.

PIR Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.

PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.

PIR Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.

Networked Sensors/Controls (only available with P15W, P25W & P35W)

NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights.

NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights.

See page 4 for out of box functionality

Notes

1. Total system delivered lumens.

See Accessories next page.

WDGE2 LED

Rev. 10/20/20

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One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

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