

**UTILITY OWNERS:**

**WATER & SEWER**  
 KNOXVILLE UTILITIES BOARD (KUB)  
 4505 MIDDLEBROOK PIKE  
 KNOXVILLE, TN 37921  
 CONTACT: TIM BRANSON  
 OFFICE PHONE: 865.558.2552

**GAS**  
 KNOXVILLE UTILITIES BOARD (KUB)  
 4505 MIDDLEBROOK PIKE  
 KNOXVILLE, TN 37921  
 CONTACT: TIM BRANSON  
 OFFICE PHONE: 865.558.2552

**ELECTRIC**  
 KNOXVILLE UTILITIES BOARD (KUB)  
 4505 MIDDLEBROOK PIKE  
 KNOXVILLE, TN 37921  
 CONTACT: TIM BRANSON  
 OFFICE PHONE: 865.558.2552

**ENGINEERING CERTIFICATION:**  
 I HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER, LICENSED TO PRACTICE ENGINEERING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THE PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED AND DESCRIBED IN A REPORT FILED WITH THE METROPOLITAN PLANNING COMMISSION.

REGISTERED ENGINEER CHRISTOPHER H. GOLLIER, P.E.  
 TENNESSEE CERTIFICATE NO. 119773

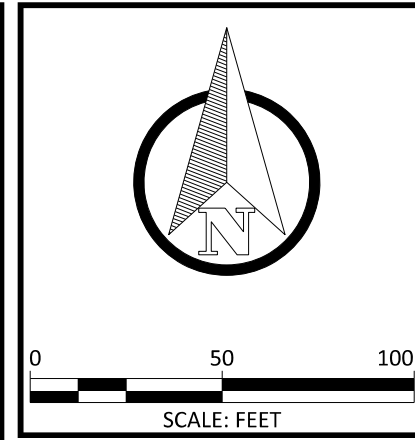


**NOTES:**

- THE BOUNDARY DATA WAS TAKEN BY SMOKEY MOUNTAIN LAND SURVEYING CO., INC DATED JANUARY 12, 2021.
- PROPERTY CONCERNED REFLECTS PARCELS 062 166 AND 062 166.01 AS SHOWN IN KNOX COUNTY CLT MAP 062. ZONING FOR THE PROPERTY IS PR, PLANNED RESIDENTIAL ZONING DISTRICT. TOTAL AREA = 16.74± AC.
- BUILDING SETBACKS ARE 20'-FT. IN FRONT, MIN. 5'-FT. ON SIDE, MIN. AND MIN. 15'-FT IN REAR, PERIPHERAL SETBACK IS 35'-FT
- ACCESS TO LOTS IS RESTRICTED TO INTERNAL STREETS.
- 10' UTILITY & DRAINAGE EASEMENT INSIDE ROAD FRONTAGE AND S/D PERIMETER LOT LINES. 5' EACH SIDE OF ALL INTERIOR LOT LINES.
- PROPOSED IMPROVEMENTS INCLUDE: 26' WIDE PUBLIC ROAD, EXTRUDED CURB, STORM SEWER, SANITARY SEWER, WATER, ELECTRIC, TELEPHONE, AND CABLE TV.
- MPC FILE NUMBERS: 10-SD-23-C / 10-D-23-DP

**PROPOSED DENSITY**

PARCEL ZONED PR ALLOWED DENSITY	4.5 DU/AC
PROPERTY ZONED PR AREA	16.74 AC
DUPLEX DEWELLING UNITS	74 UNITS
PROPOSED DENSITY	4.42 DU/AC



**KNOXVILLE HABITAT FOR HUMANITY, INC**  
 1501 WASHINGTON AVE  
 KNOXVILLE, TN 37917

BILL TERRY  
 BTERRY@KHFI.COM  
 865.523.3539

NO.	DATE	REVISION	BY
B	09/15/23	REVISED PER MPC COMMENTS	PRA

**ASHEVILLE HIGHWAY SUBDIVISION**  
 0 TRIBUTE LN KNOXVILLE, TN 37924

**LAYOUT AND PAVING PLAN**

**PRELIMINARY NOT FOR CONSTRUCTION**

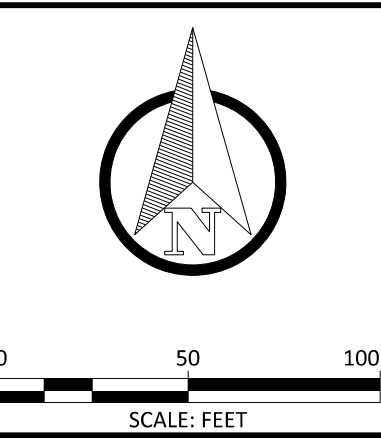
JOB NO: 620.002  
 DATE: 08/18/2023

**C1**  
 CONCEPT PLAN  
 08/18/23

File Name: s:\6370\630\002\03-Prop\05-Dwg\02002.dwg  
 Plot Date: 8/15/2023



**HILLSIDE PROTECTION**  
 HILLSIDE PROTECTION AREA: 3.64 AC  
 DISTURBED HILLSIDE PROTECTION AREA: 3.48 AC  
 % DISTURBED HILLSIDE PROTECTION AREA: 95.60%



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NO.	DATE	REVISION PER MPC COMMENTS	PRA	BY
B	09/15/23	REVISED PER MPC COMMENTS		

**ASHEVILLE HIGHWAY SUBDIVISION  
 0 TRIBUTE LN KNOXVILLE, TN 37924**

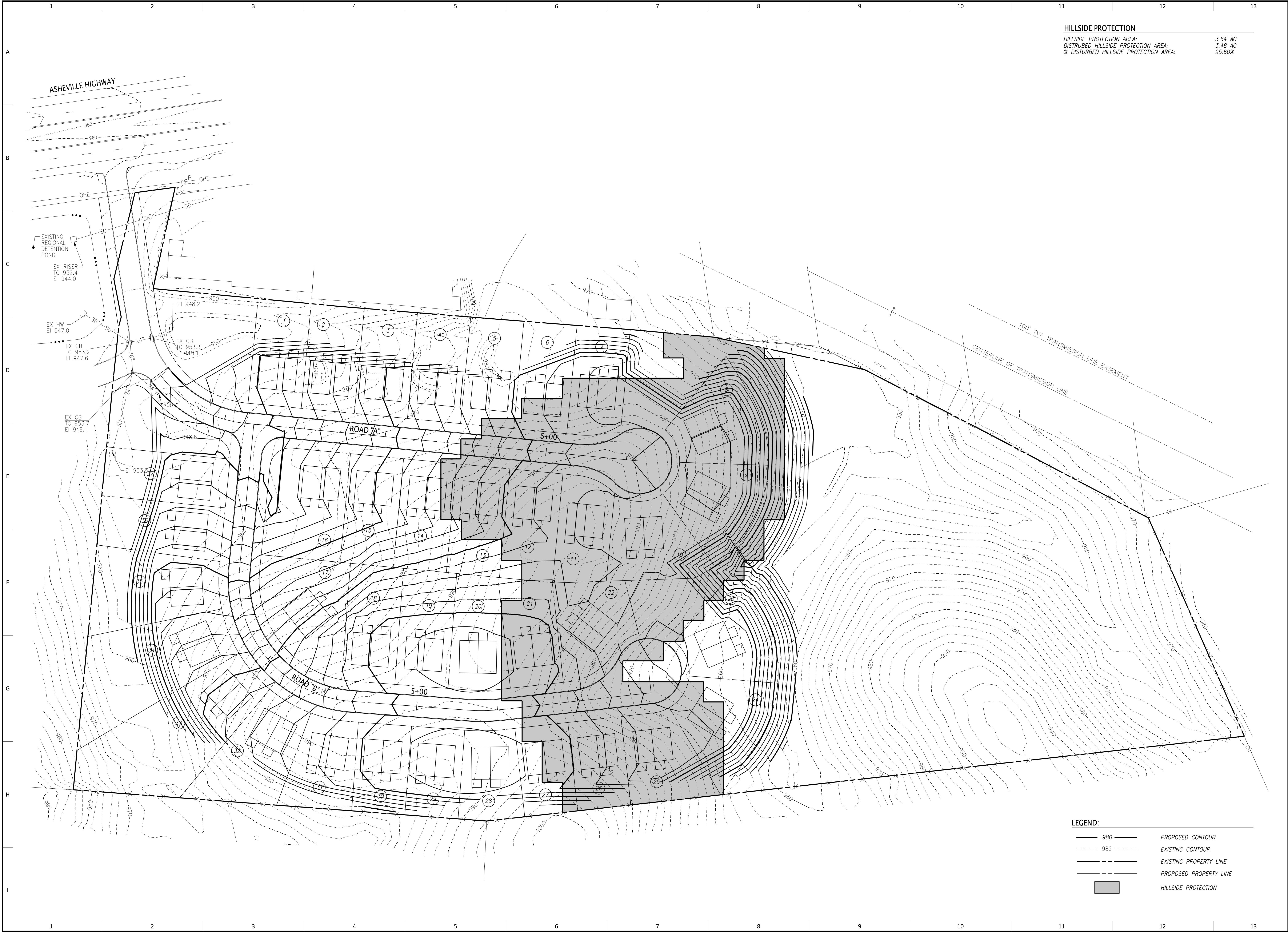
**GRADING PLAN**

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

JOB NO: 620.002  
 DATE: 08/18/2023

**C2**

CONCEPT PLAN  
 08/18/23

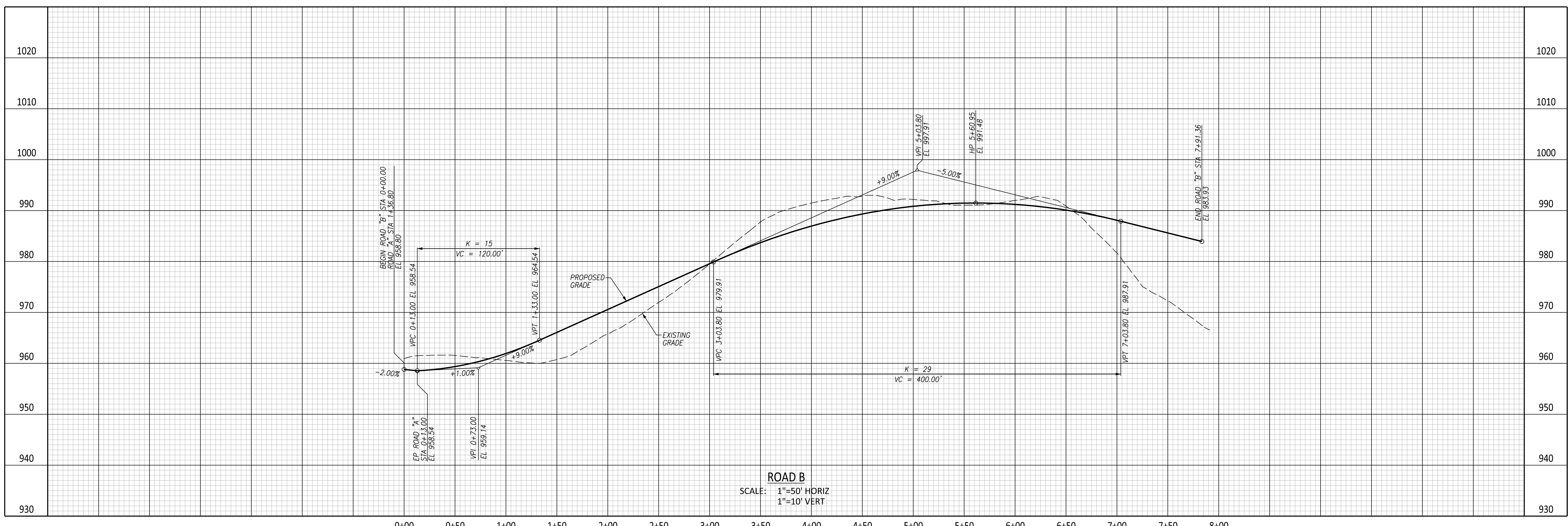
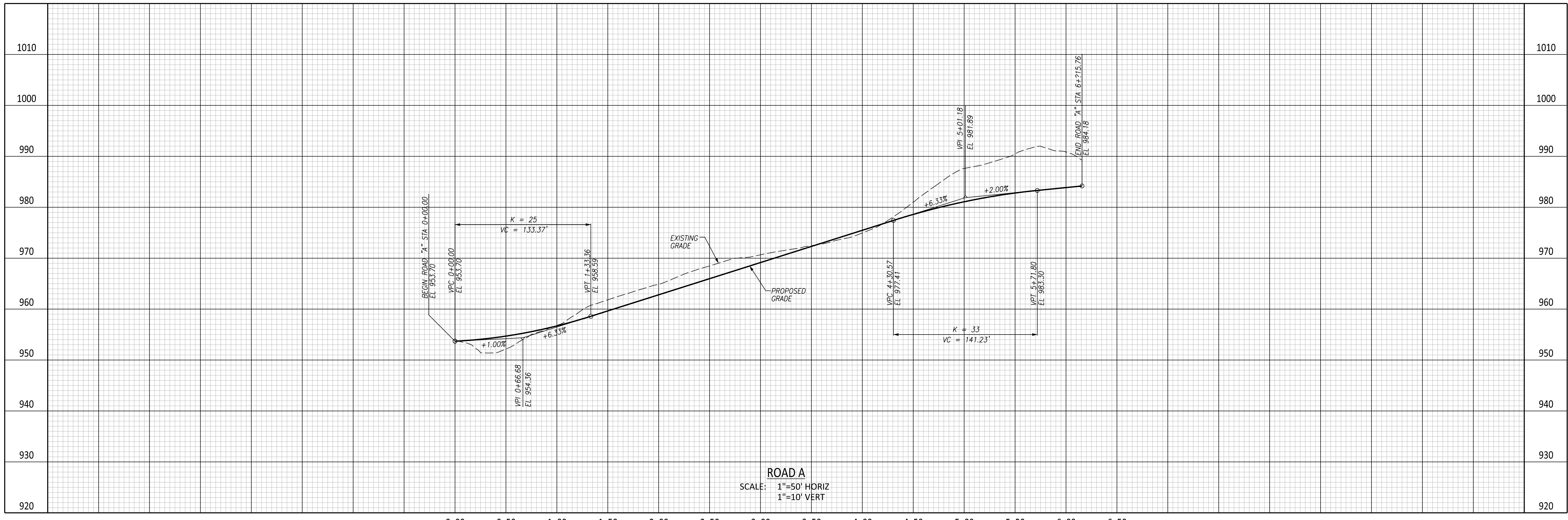


**LEGEND:**

	980	PROPOSED CONTOUR
	982	EXISTING CONTOUR
		EXISTING PROPERTY LINE
		PROPOSED PROPERTY LINE
		HILLSIDE PROTECTION

File Name: \\16301\620\002\02\03-Prop\05-Dwg\162002-02.dwg  
 Plot Date: 9/14/2023

File Name: A:\6200\6200\02\03-Prop\03-Prop.dwg  
 Plot Date: 9/14/2023



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NO.	DATE	BY	REVISION

**ASHEVILLE HIGHWAY SUBDIVISION  
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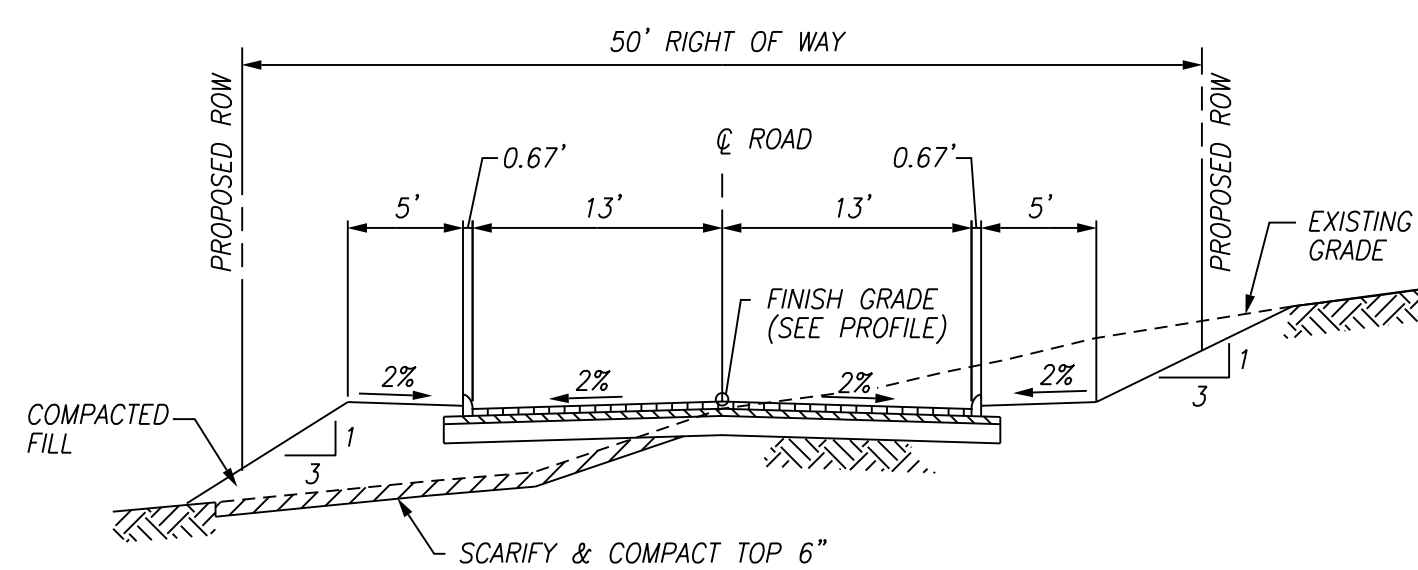
**ROAD PROFILES**

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

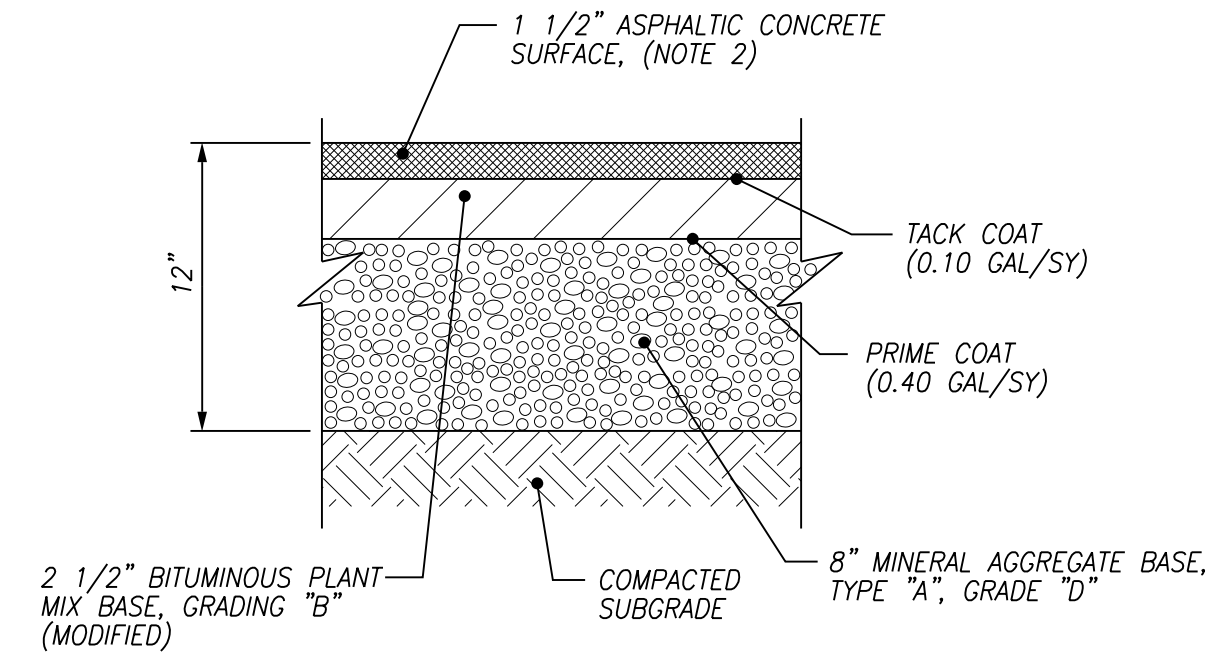
JOB NO: 620.002  
 DATE: 08/18/2023

**C3**

CONCEPT PLAN  
 08/18/23

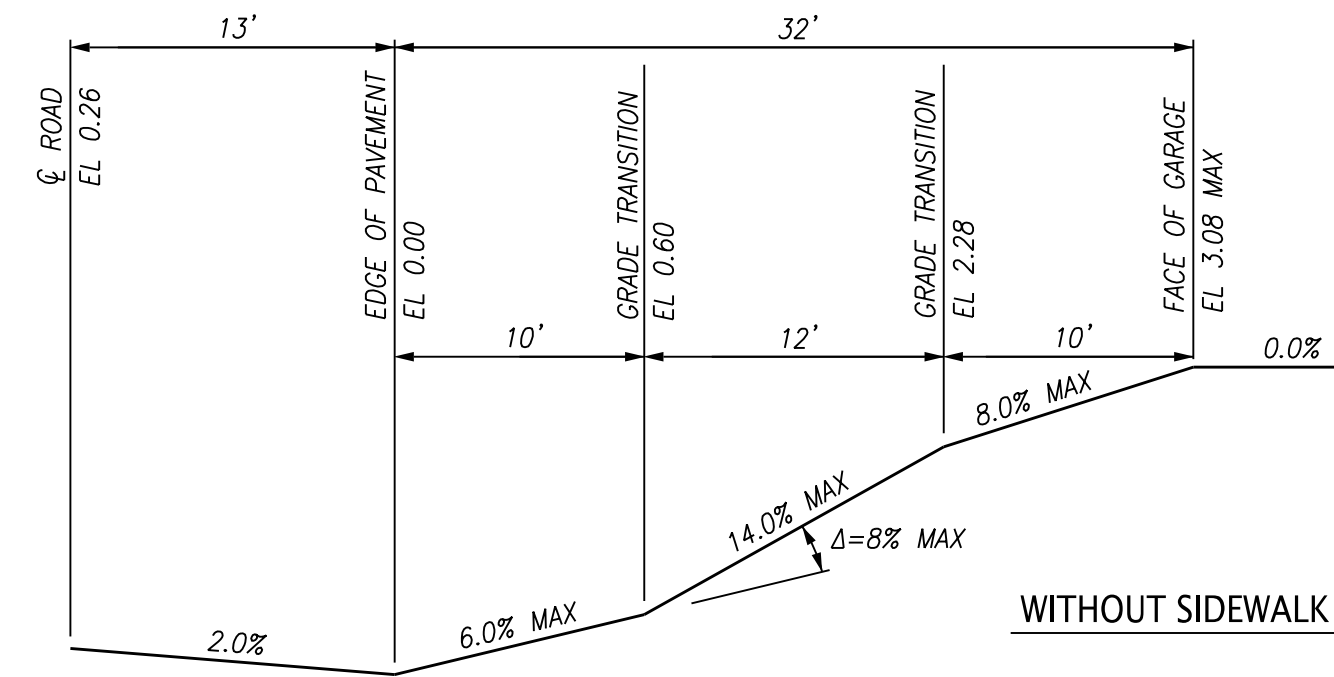


1  
C4  
TYPICAL 26' ROAD SECTION  
NTS

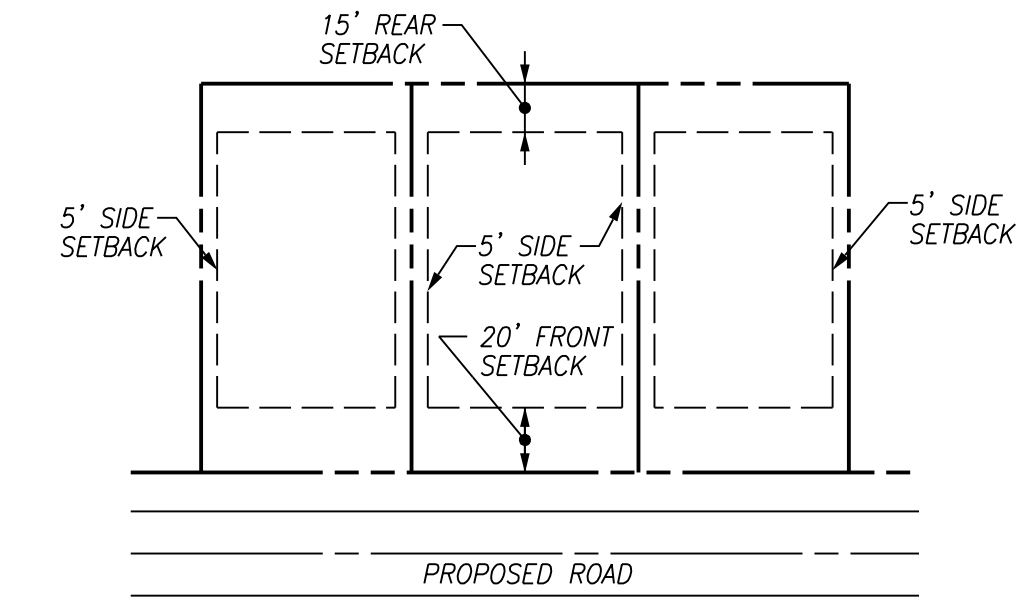


- NOTES:
- PAVEMENT HAS NOT BEEN DESIGNED FOR CONSTRUCTION TRAFFIC/ACTIVITIES. USE OF THESE SURFACES FOR CONSTRUCTION ACTIVITIES SHALL BE DONE AT THE CONTRACTOR'S CONVENIENCE AND RISK. DAMAGE TO PAVEMENT RESULTING FROM THESE ACTIVITIES SHALL BE REPAIRED IN CONFORMANCE WITH THE INITIAL PAVEMENT SPECIFICATIONS.
  - ASPHALTIC CONCRETE SURFACE COURSE SHALL BE GRADE "E" MIX FOR ROADS WITH A SLOPE LESS THAN OR EQUAL TO 10%; FOR SLOPES GREATER, USE GRADE "D" MIX.

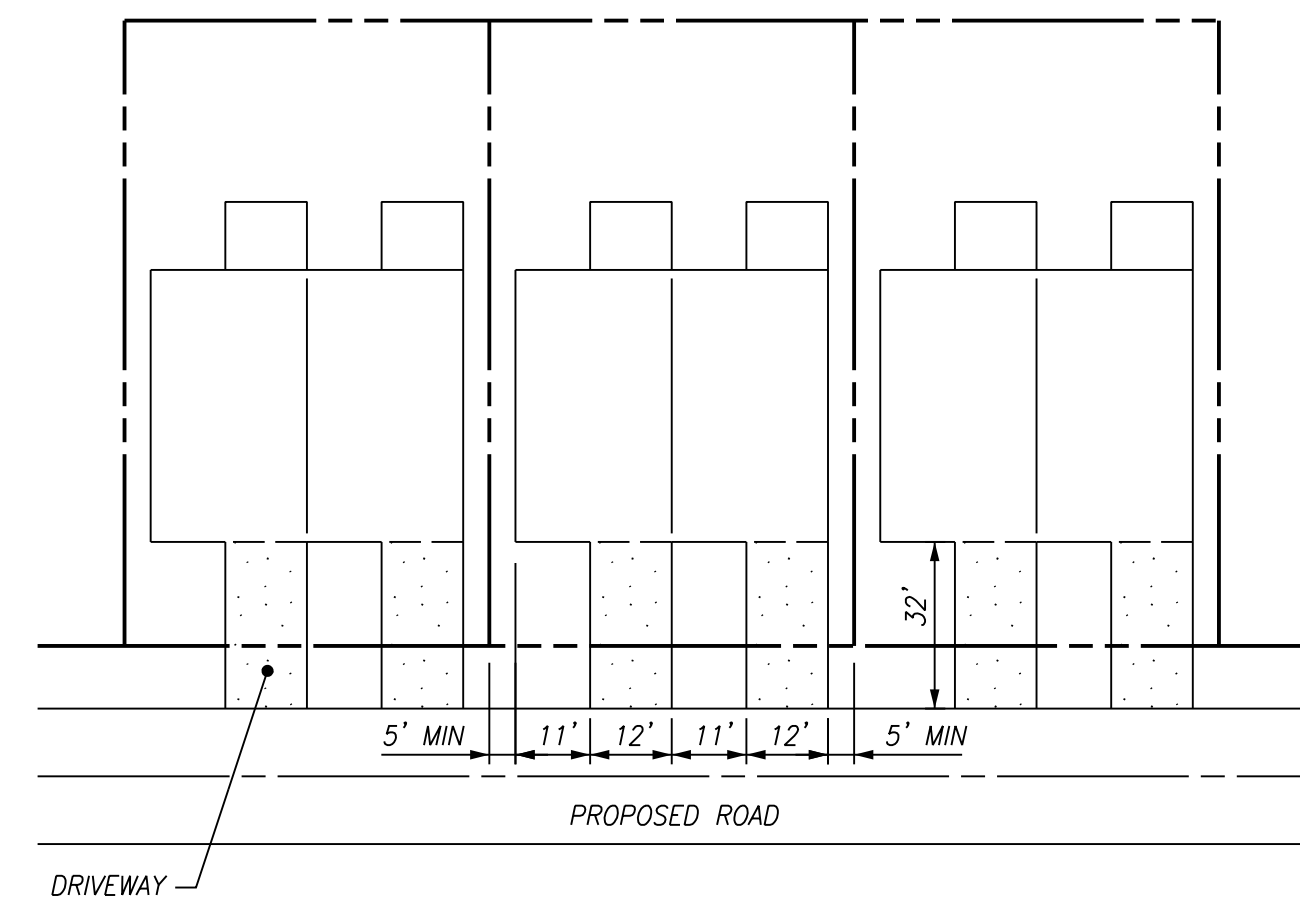
2  
C4  
ASPHALT PAVEMENT SECTION  
NTS



3  
C4  
TYPICAL DRIVEWAY PROFILE  
NTS



4  
C4  
TYPICAL INTERIOR LOT  
NTS



5  
C4  
TYPICAL DRIVEWAY LOCATION  
NTS



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B	09/15/23	REVISED PER MPFC COMMENTS	PRA

**ASHEVILLE HIGHWAY SUBDIVISION**  
**0 TRIBUTE LN KNOXVILLE, TN 37924**

**PRELIMINARY NOT FOR CONSTRUCTION**

JOB NO: 620.002  
DATE: 08/18/2023

**C4**

CONCEPT PLAN  
08/18/23



# GENERAL NOTES

This plan was designed and drafted BY Advanced House Plans to meet average conditions and codes in the State of Nebraska at the time it was designed. Because codes and requirements can change and may vary from jurisdiction to jurisdiction, AHP cannot warrant compliance with any specific code or regulation. Consult your local building official to determine the suitability of these plans for your specific site and application. This plan can be adapted to your local building codes and requirements, however, it is the responsibility of the purchaser and/or builder of this plan to see that the structure is built in strict compliance with all governing municipal codes (city, county, state and federal). The purchaser and/or builder of this plan releases the designer from any claims or lawsuits that may arise during the construction of this structure or anytime thereafter.

If the contractor or sub-contractor, in the course of their work finds any discrepancies between the plan and the physical conditions of the site or structure, or any errors in the plans or specifications, it shall be their responsibility to immediately inform AHP, who will promptly verify and if necessary correct the working drawings. Any work done after such discovery will be done at the contractor's expense.

Only the purchaser of this plan has permission to build this plan. The purchaser is given permission to reproduce the drawings only as required for such construction. The purchaser also has permission to modify this plan. No permission is given to any party to claim copyright on the original or modified plan. The modified plans shall remain subject to the license and may not be sold, distributed or otherwise transferred without the express written consent of Advanced House Plans. Infringing upon Advanced House Plans copyright through reproduction, distribution, construction or resale of a design is punishable by law with fine up to \$150,000 as defined by architectural copyright laws.

### DESIGN LOADS:

Ultimate design wind speed: 115 mph, Exposure Category: B  
Seismic Design Category A

Floor: 40 psf. live, 15 psf. dead  
Roof: 30 psf. live, 10 psf. dead  
Ceiling: 10 psf. live, 5 psf. dead

Soil bearing Capacity - 1500 psf.

Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

### CONCRETE AND FOUNDATIONS:

- All foundation walls and slabs on grade shall be 3000 PSI (28-day compressive strength concrete), unless noted otherwise.
- All interior slabs on grade shall bear on 4" compacted granular fill with 6 mil. polyethylene vapor barrier underneath.
- Provide proper expansion and control joints as per local requirements.
- All 36" x 36" x 18" concrete pads to have (3) #5 rods each way.
- All 48" x 48" x 24" concrete pads to have (4) #5 rods each way.
- Foundation walls are not to be backfilled until properly braced.
- Verify depth of frost footings with your local codes.
- Provide termite protection as required by HUD minimum property standards.
- Foundation bolts must be anchored to sill plate with 5/8" bolts embedded 15" in concrete walls.
- For window openings in conc. wall, provide #5 bars #4" o.c. (two total) w/2" clearance from top & sides of opp. for joint & lintel reinforcing. Extend reinforcing a minimum of 2 post. opening edges.

### STEEL:

- All structural steel for beams and plates shall comply with ASTM specification A-36.
- All structural steel for steel columns shall comply with ASTM specification A-53 Grade B or A-501.
- All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.
- Provide steel shims in all beam pockets.
- Steel columns are to be 3" I.D. (inside diameter) unless noted otherwise.

### FRAMING MEMBERS:

- Unless noted otherwise, all framing lumber shall have the following characteristics:  
F<sub>b</sub> = 1000 psi F<sub>v</sub> = 75 psi E = 1,400,000 psi
- Contractor to confirm the size, spacing and stress characteristics of all framing and structural members to meet your local code requirements.
- Wall bracing method assumed as C3-W5P. Since braced wall line spacing and braced wall panel calculations vary by location, purchaser will need to consult a local professional for specific wall bracing calculations and diagrams.
- Hole sizes and locations in Glulam or Laminated Veneer Lumber (L.V.L.) members are to be confirmed by a professional engineer.
- Any structural or framing members not indicated on the plan are to be sized by contractor.
- Double floor joists under all partition walls, unless noted otherwise.
- All subflooring is assumed to be 3/4" thick, glued & nailed.
- All exterior walls are dimensioned to outside of 1/2" sheathing.
- Calculated dimensions take precedence over scaled dimensions.
- All angled walls on floor plans are at 45 degree angle, unless otherwise noted.
- Laterally unsupported walls 12'-0" high or higher shall be 2x6 and balloon framed unless noted otherwise.
- Unless noted otherwise, above all openings that are:  
(1) Load bearing and less than or equal to 3 ft. .... use 2x12 with 1/2" Plywood between.  
(2) Load bearing and more than 3 ft. .... use (2) 2x12 with 1/2" Plywood between.  
(3) Non-load bearing and less than or equal to 6 ft. .... use 4x6.  
(4) Non-load bearing and more than 6 ft. .... use (2) 2x12 with 1/2" Plywood between.  
(5) All exterior openings use (2) 2x12 with 1/2" Plywood between.
- All trusses to be engineered by truss manufacturer according to the loading indicated on this plan.
- All exterior corners shall be braced in each direction with let-in diagonal bracing or plywood.
- Place (1) row of 1" x 3" cross-bridging on all spans over 8'-0" and (2) row of 1" x 3" cross-bridging on all spans over 16'-0".  
Collar ties are to be spaced 4'-0" o.c.  
All purlins and kickers are to be 2x6, unless noted otherwise.
- Any hip or valley rafters over a 28'-0" span are to be Laminated Veneer Lumber (L.V.L.).

### MISC. NOTES:

- Prefabricated fireplaces and flues are to be U.L. approved and installed as per manufacturer's specifications.
- All materials, supplies and equipment to be installed as per manufacturer's specifications and per local codes and requirements.
- Provide proper insulation for all plumbing.
- 1/2" water-resistant drywall around showers, tubs and whirlpools.
- 1/2" drywall on interior walls and ceilings.
- 5/8" type "X" fire code drywall on garage walls and ceilings.
- When no brand is specified Windows are called out by glass size only.
- In dwelling units, where the top of the sill of an operable window opening unit is located less than 24 inches above the finished floor and greater than 12 inches above the finished grade, full protection must comply with R312.2.
- Window opening control devices on windows serving as a required emergency escape and rescue shall comply with ASTM F2082. Windows, if not noted, are assumed to be casements.
- Header heights are labeled to bottom of arched transoms, confirm window openings for your local egress requirements and minimum light and ventilation requirements.
- Headroom at stairs shall have a minimum clearance of 6'-8" high.
- Provide proper handrails at stairs per local codes.
- The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractors for exact specifications, locations and sizes.
- Provide proper wiring for all electrical appliances, mechanical equipment and whirlpools per manufacturer's specifications.
- All conditional locations may vary depending on restrictive covenants and codes.

# Whitley

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REVISION

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10-SD-23-C / 10-D-23-DP  
RECEIVED 9-15-2023



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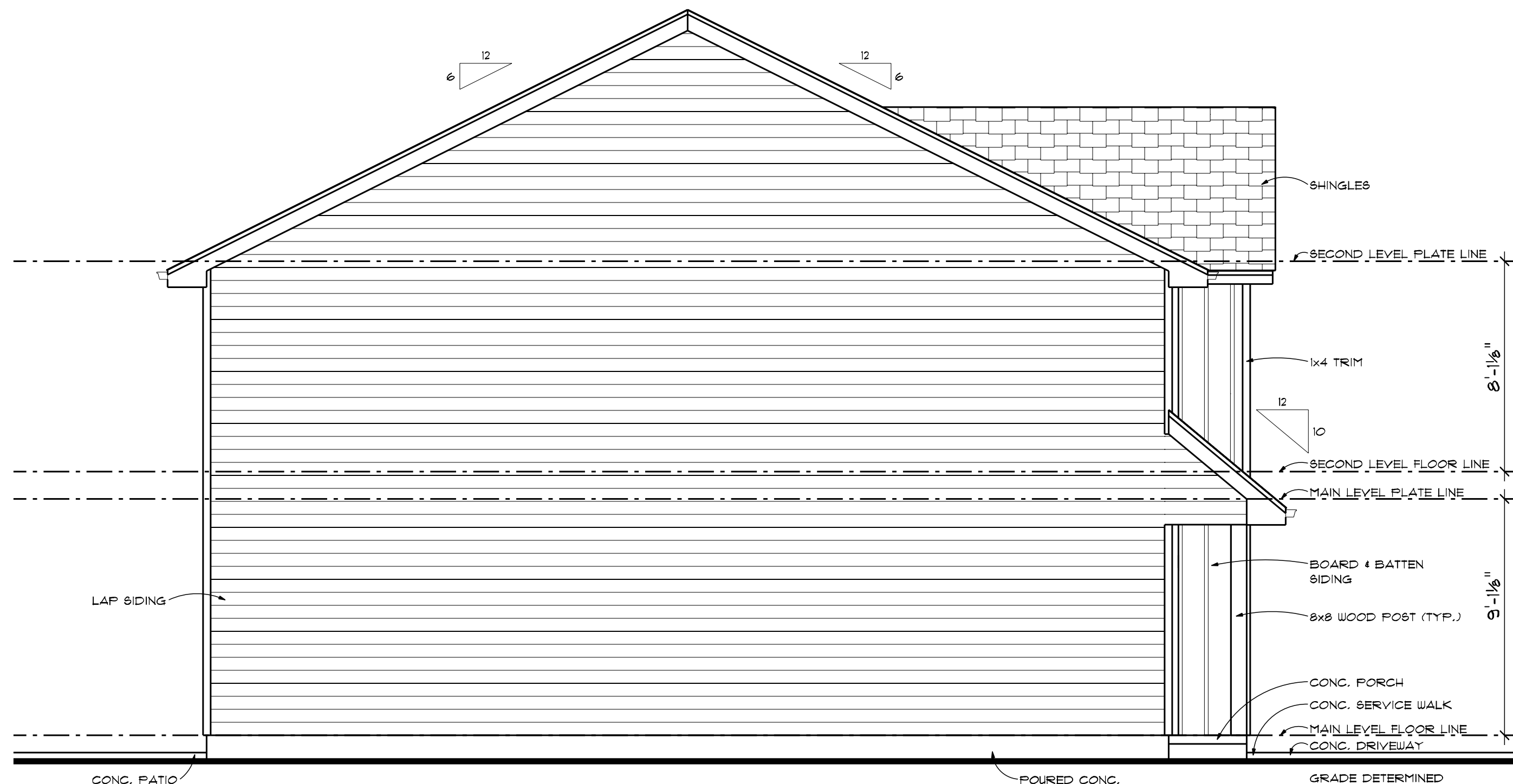
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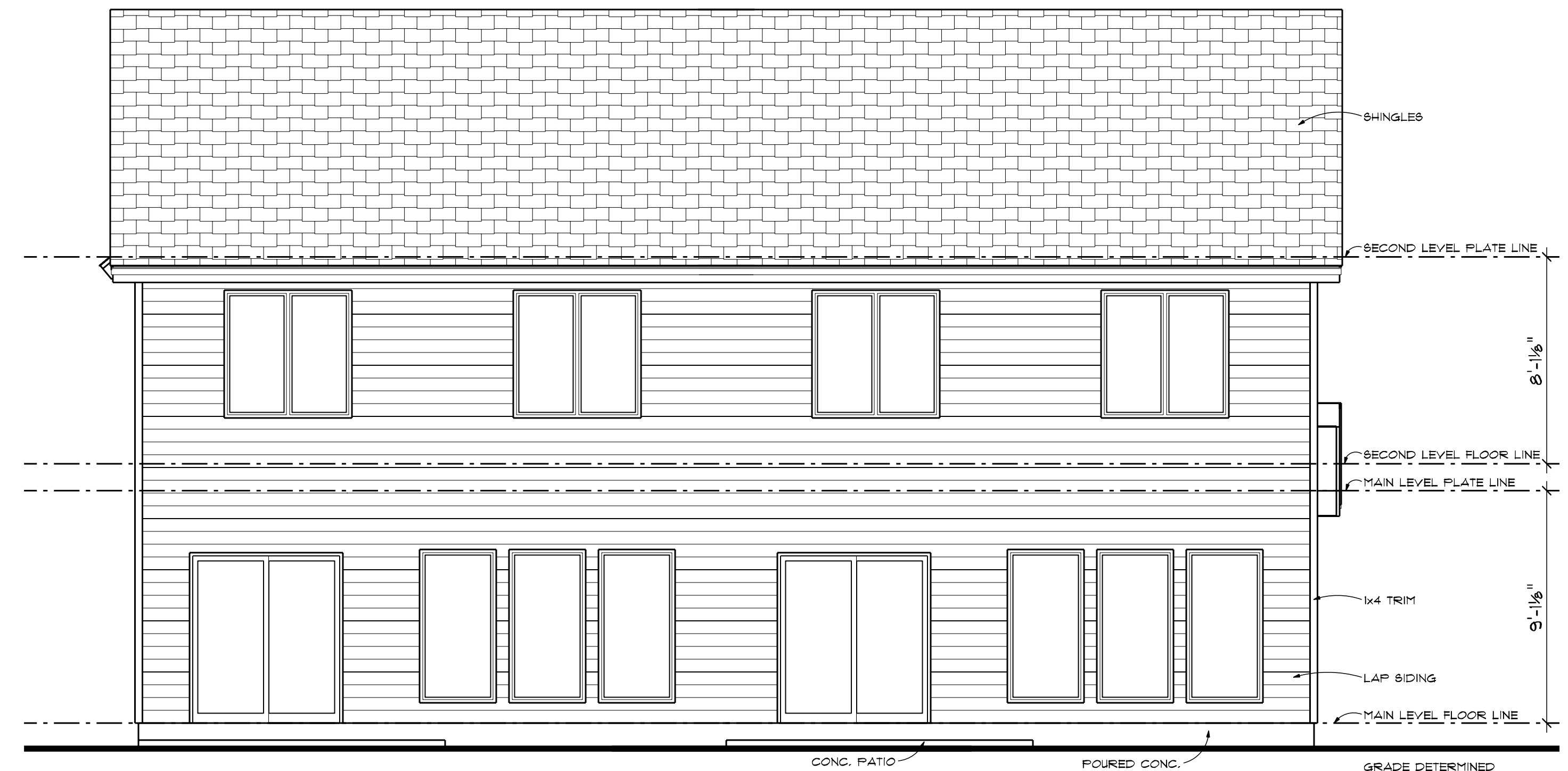
SHEET  
1  
OF  
6

GENERATED: 9/10/2022  
CON. SCALE = 3/4"=1'-0"

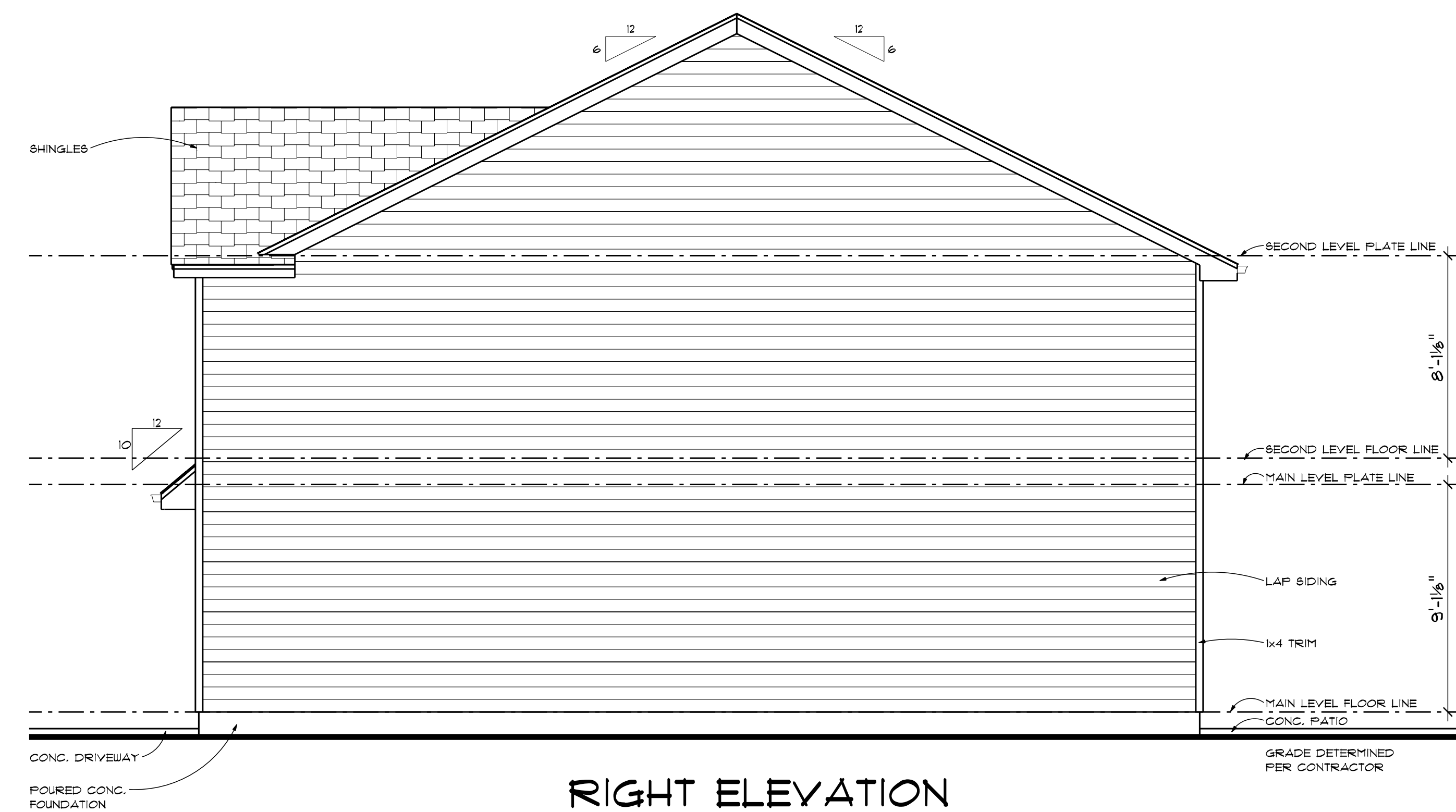




**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



PRELIM  
FINAL  
11-03-21  
REVISION

Whitley  
Slab



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**30144**

SHEET  
2  
OF  
6

CON SCALE = 3/4" = 1'-0"

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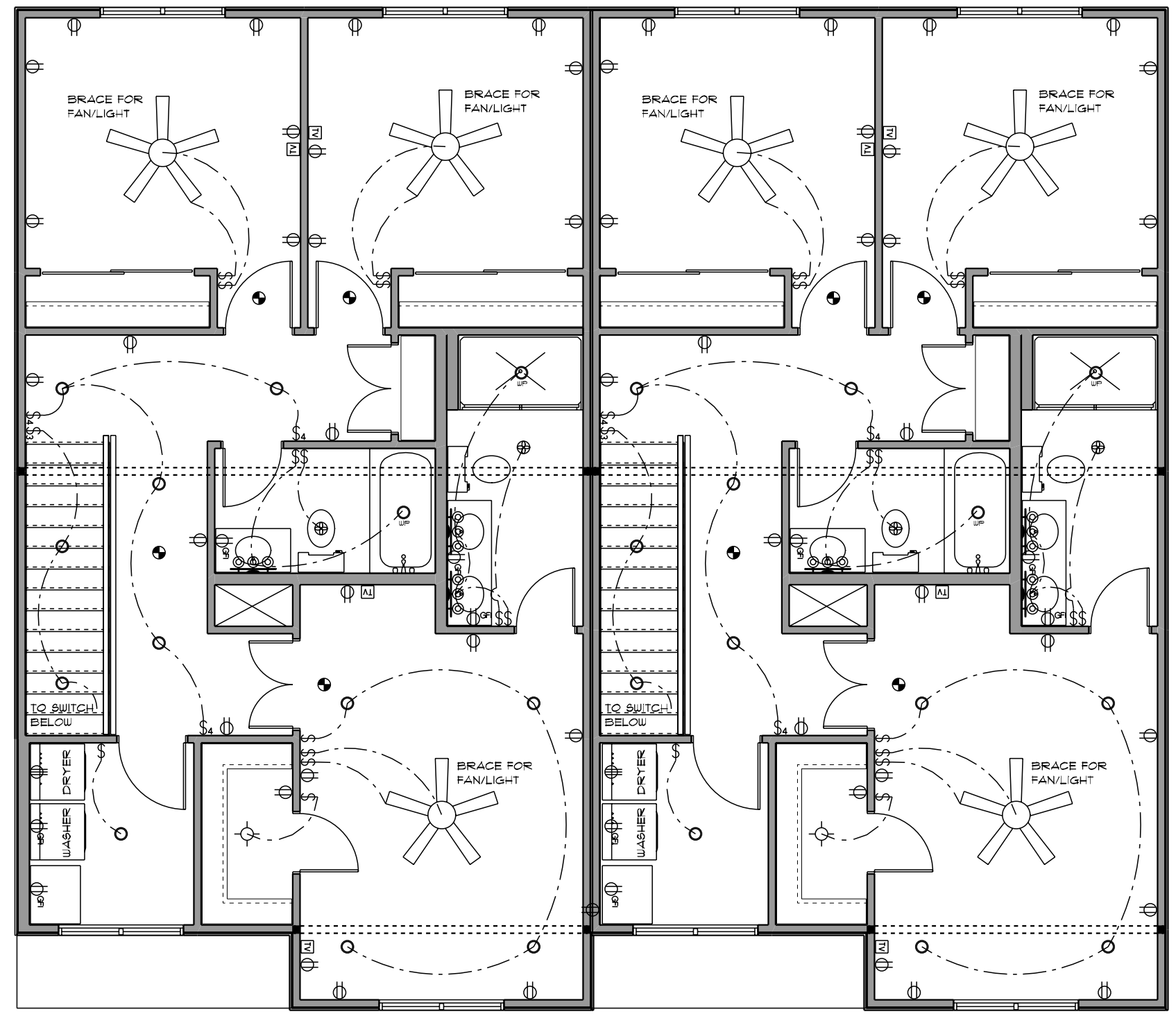




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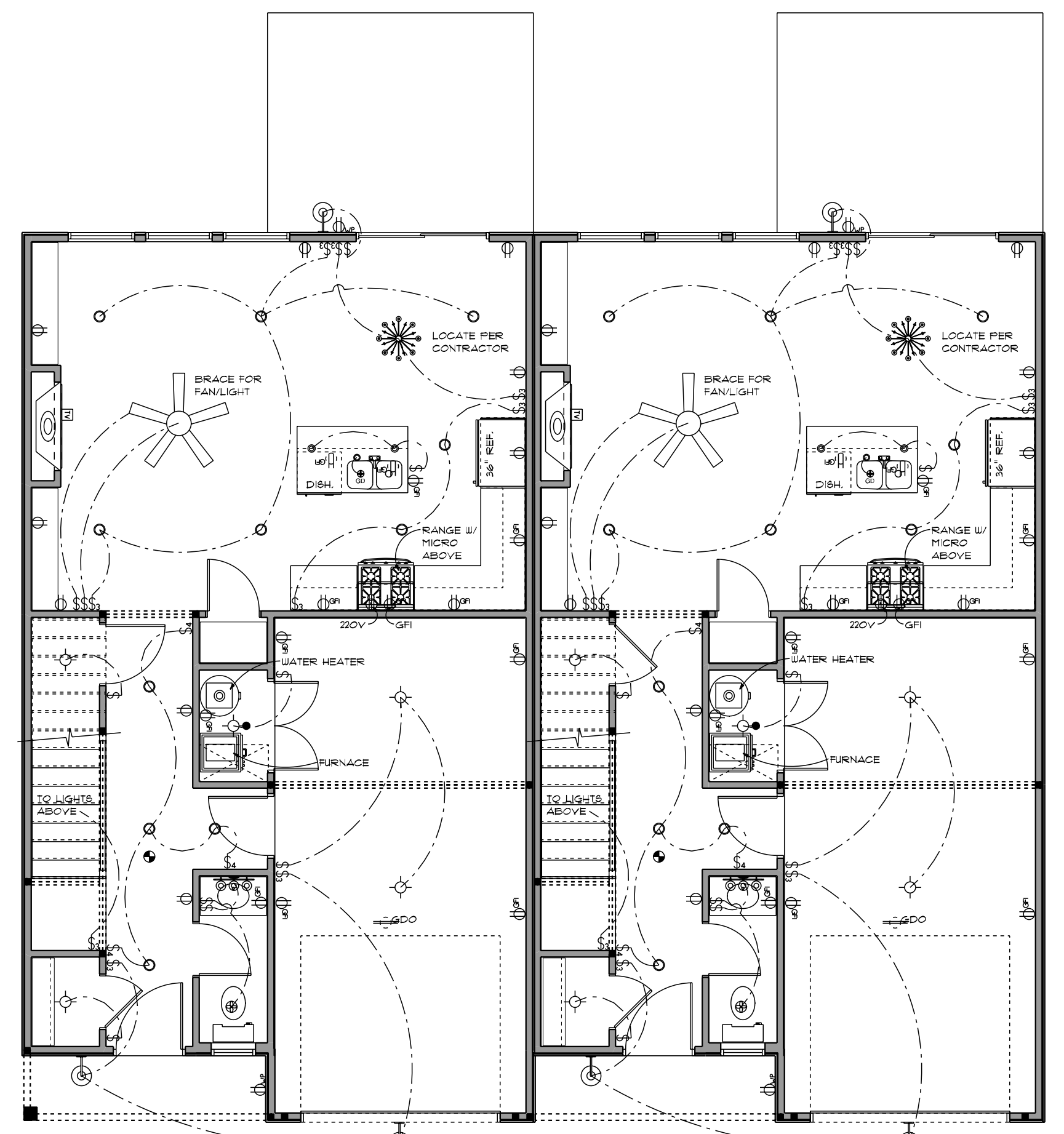
UNIT A + B

ELECTRICAL	COUNT	SYMBOL
ceiling fan 5 blades 04	6	
can light waterproof 6inch	4	
can light 6inch	22	
ceiling gsmc	8	
fan	4	
light	2	
outlet	52	
outlet 220v	2	
outlet gfci	10	
smoke detector	6	
switch	26	
switch 3 way	2	
switch 4 way	6	
wall mounted 03 3 lights	6	



SECOND LEVEL ELECTRICAL PLAN  
SCALE: 3/16" = 1'-0"

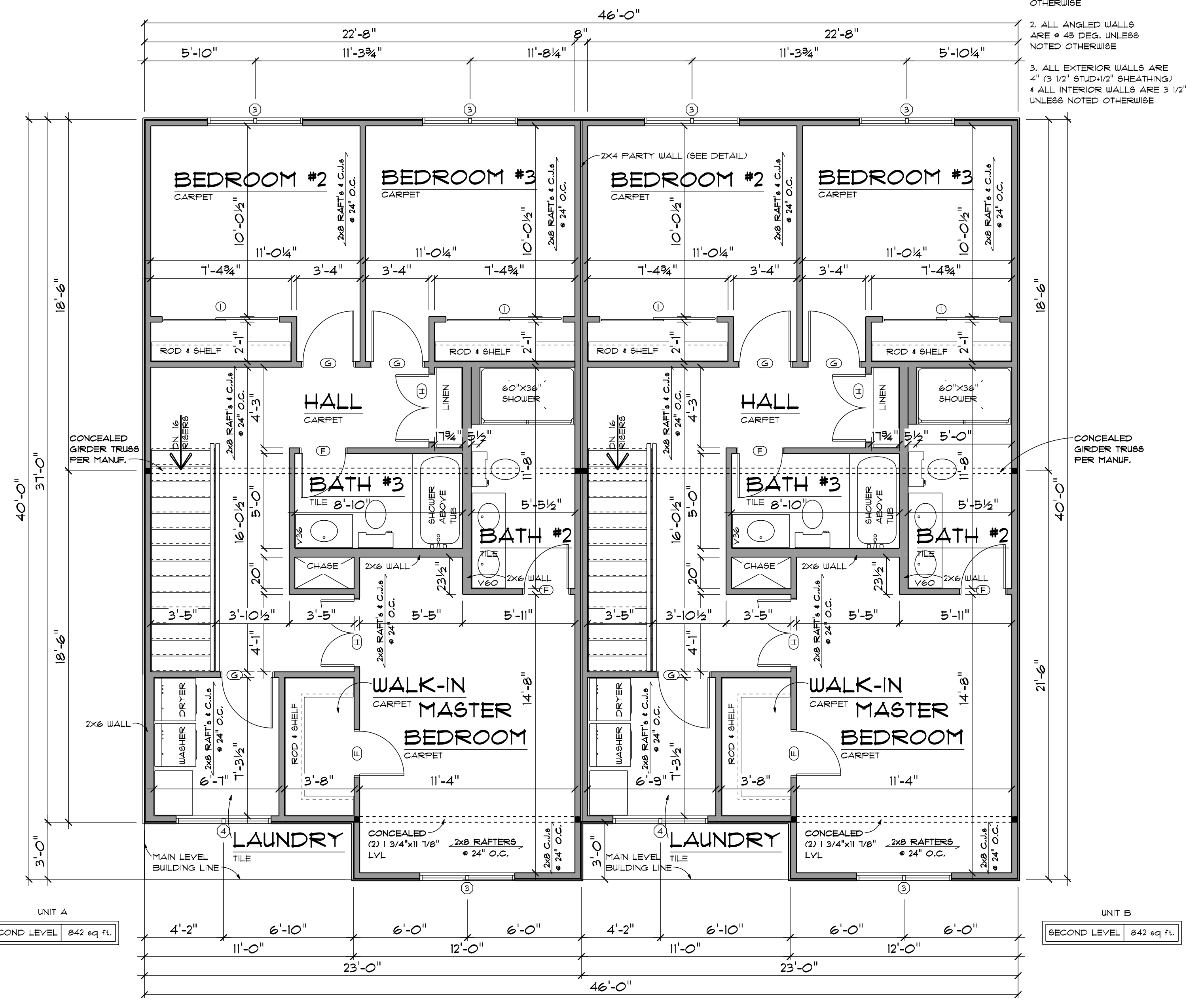
ELECTRICAL	COUNT	SYMBOL
ceiling fan 5 blades 04	2	
can light 6inch	22	
ceiling gsmc	2	
pendant globe	4	
wall mount vanity	6	
garage door outlet	2	
garbage disposal	2	
flusher switch	2	
ceiling tv outlet	2	
fan	2	
light	10	
outlet	18	
outlet 220v	2	
outlet gfci	26	
outlet up	4	
smoke detector	2	
switch	20	
switch 3 way	18	
switch 4 way	6	
wall mounted 03 3 lights	2	



MAIN LEVEL ELECTRICAL PLAN  
SCALE: 3/16" = 1'-0"

UNIT A + B

OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
3	WINDOW	60X60 CASEMENT 2	5'-0" x 5'-0"	6
4	WINDOW	60X42 CASEMENT 2	5'-0" x 3'-6"	2
G	DOOR	32X80 1	2'-8" x 6'-8"	6
F	DOOR	28X80 1	2'-4" x 6'-8"	6
H	DOOR	42X80 2	3'-6" x 6'-8"	4
I	SLIDING DOOR	76X80 SLIDING 2	6'-0" x 6'-8"	4

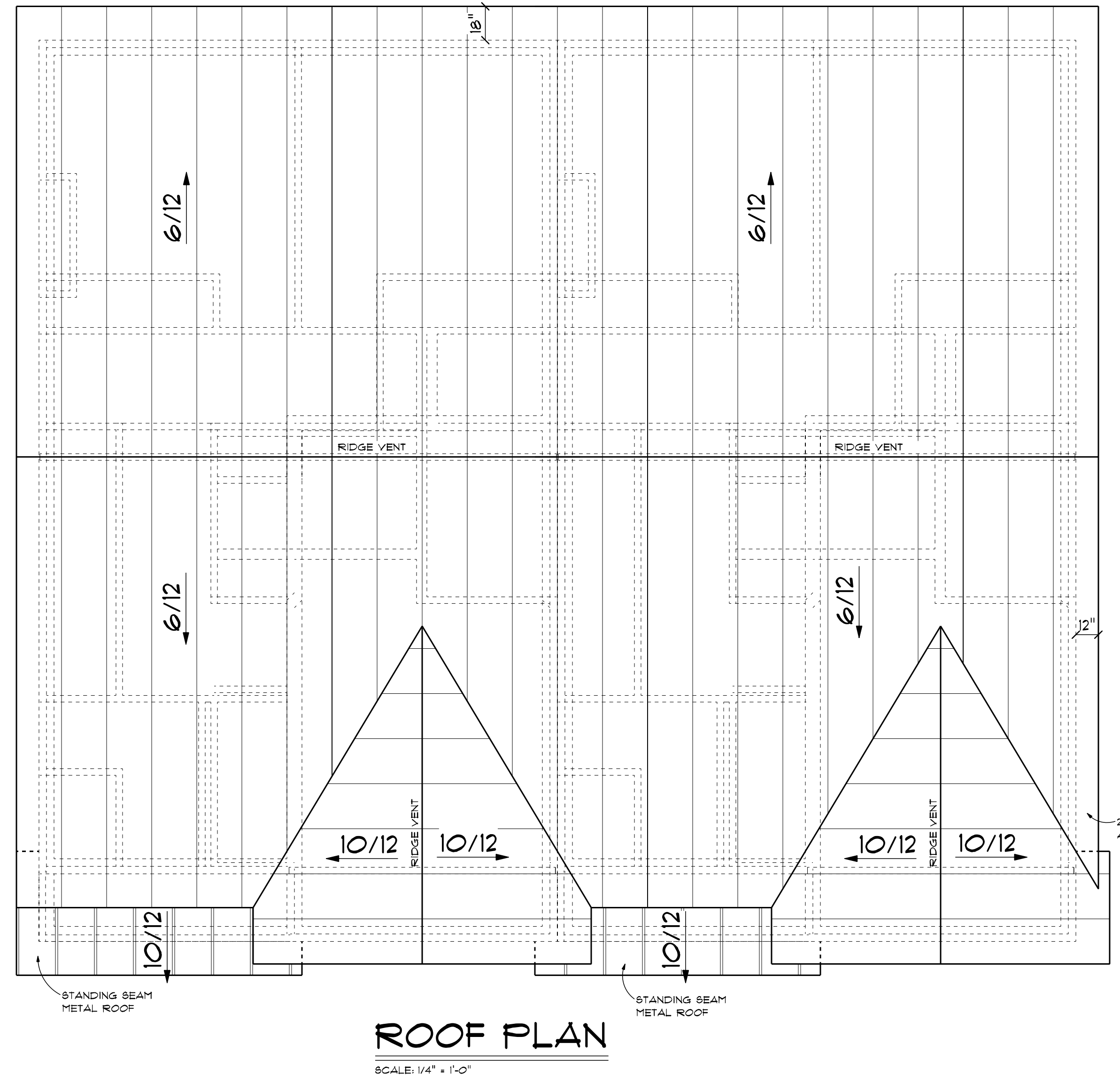
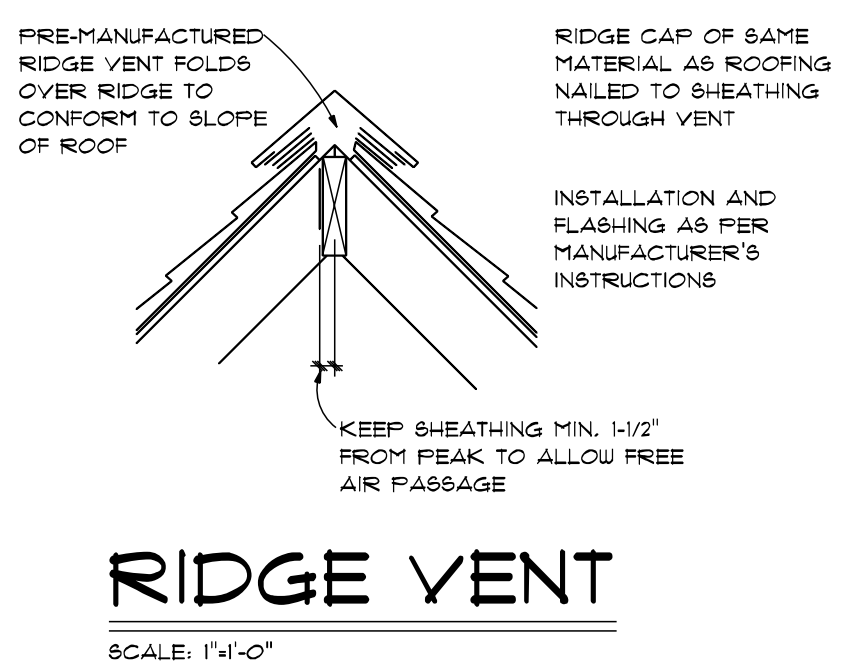
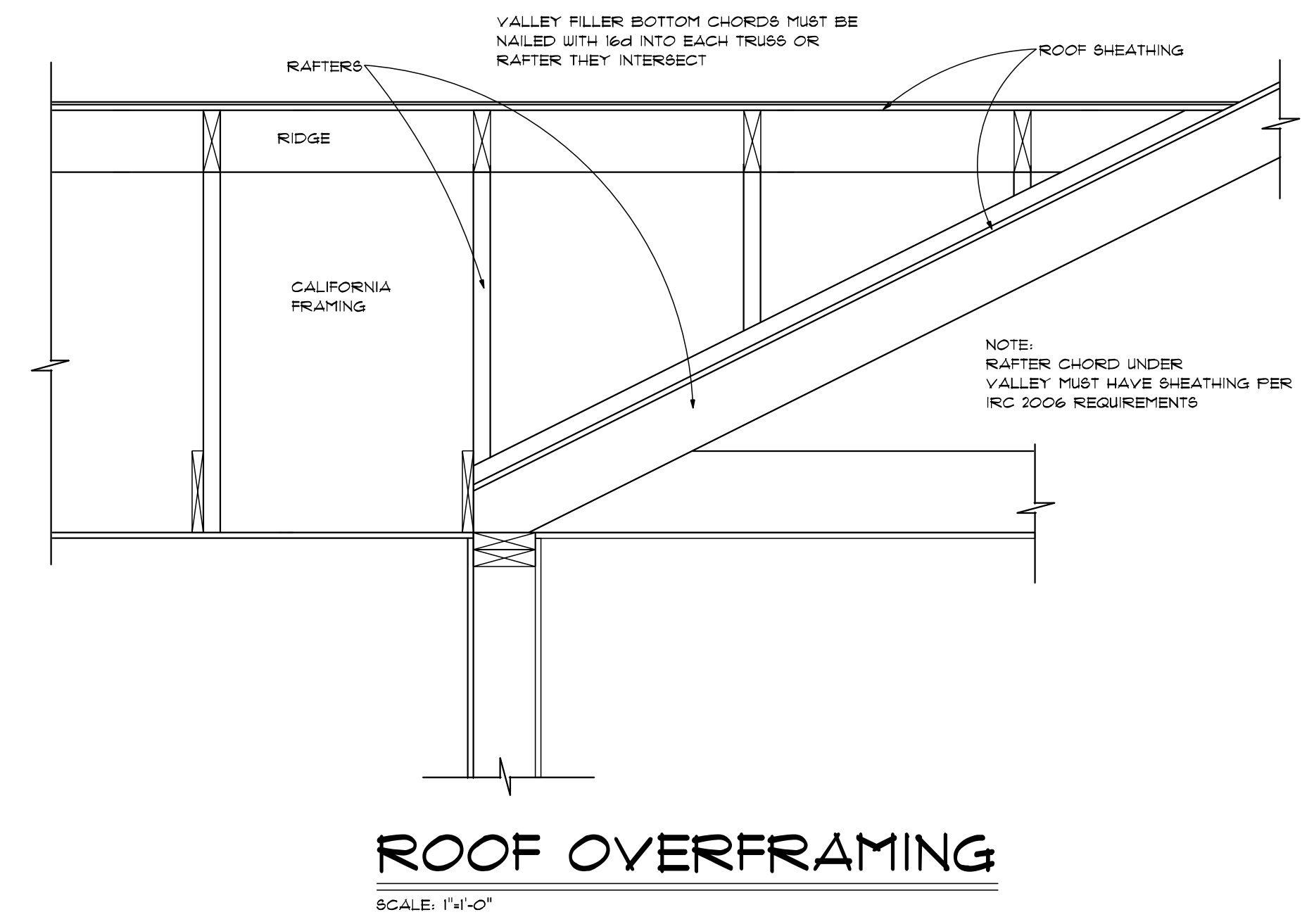
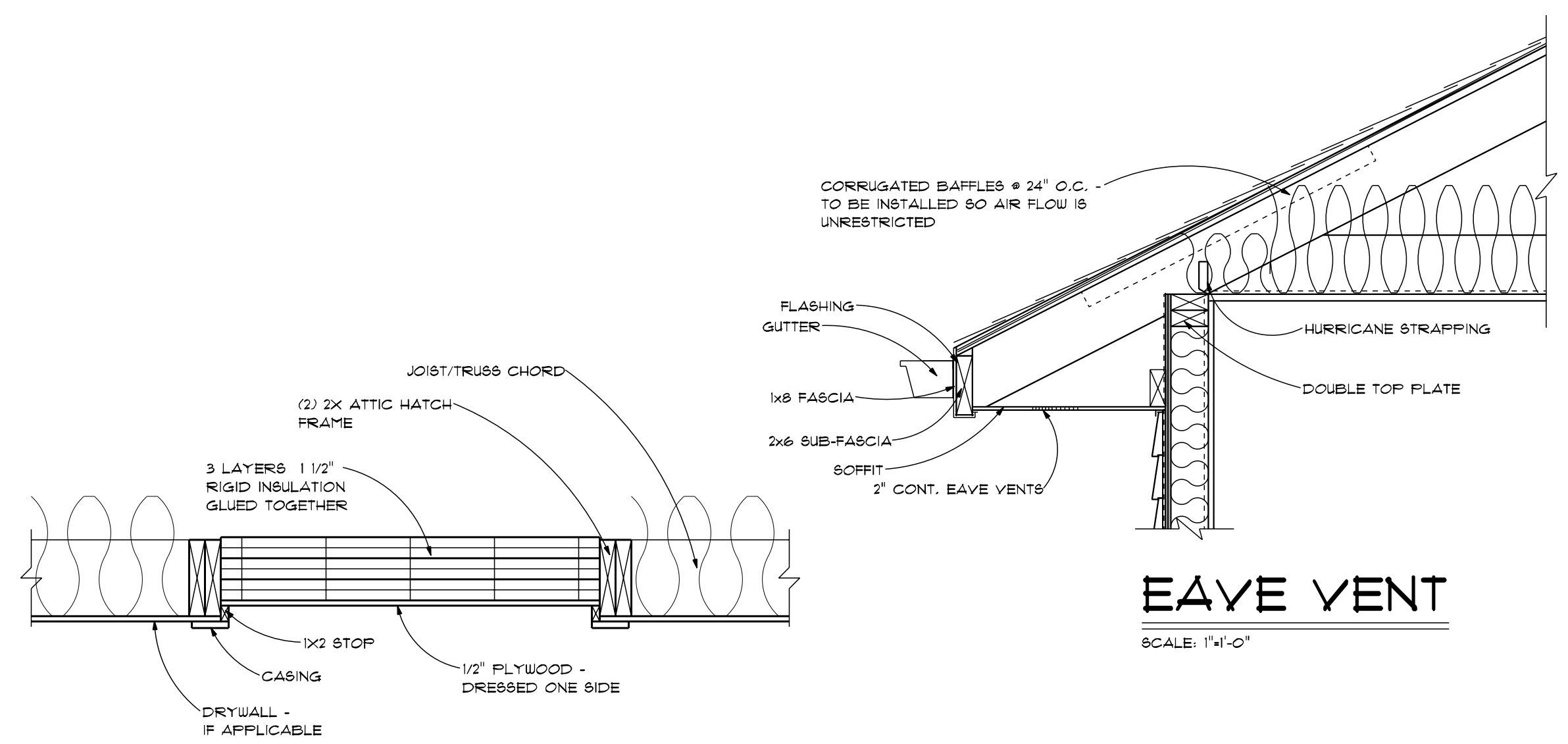


SECOND LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

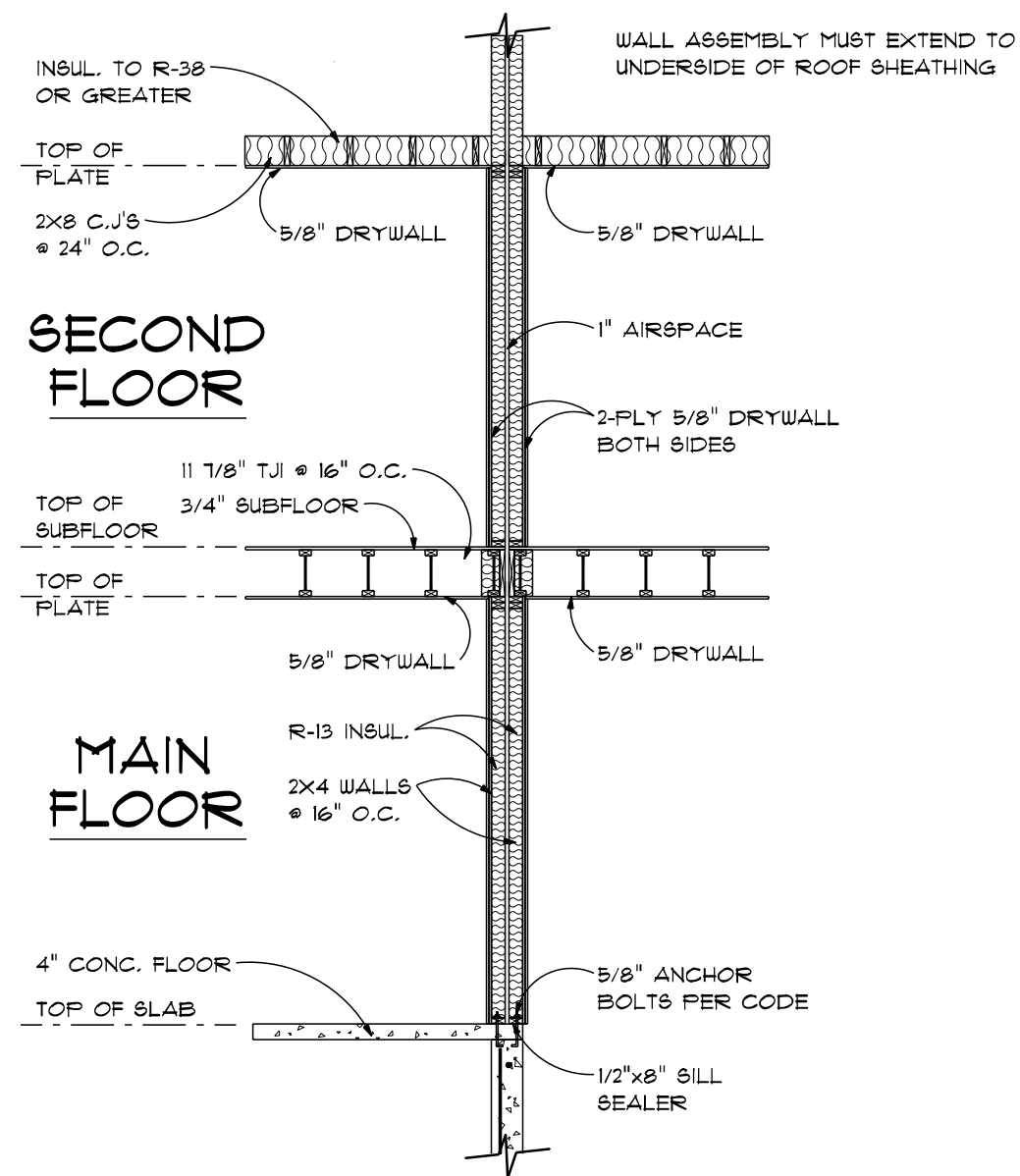
- GENERAL NOTES:
1. ALL SECOND LEVEL WALLS ARE 8-1 1/8" HIGH UNLESS NOTED OTHERWISE
  2. ALL ANGLED WALLS ARE @ 45 DEG. UNLESS NOTED OTHERWISE
  3. ALL EXTERIOR WALLS ARE 4" (3 1/2" STUD/1/2" SHEATHING)
  4. ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE



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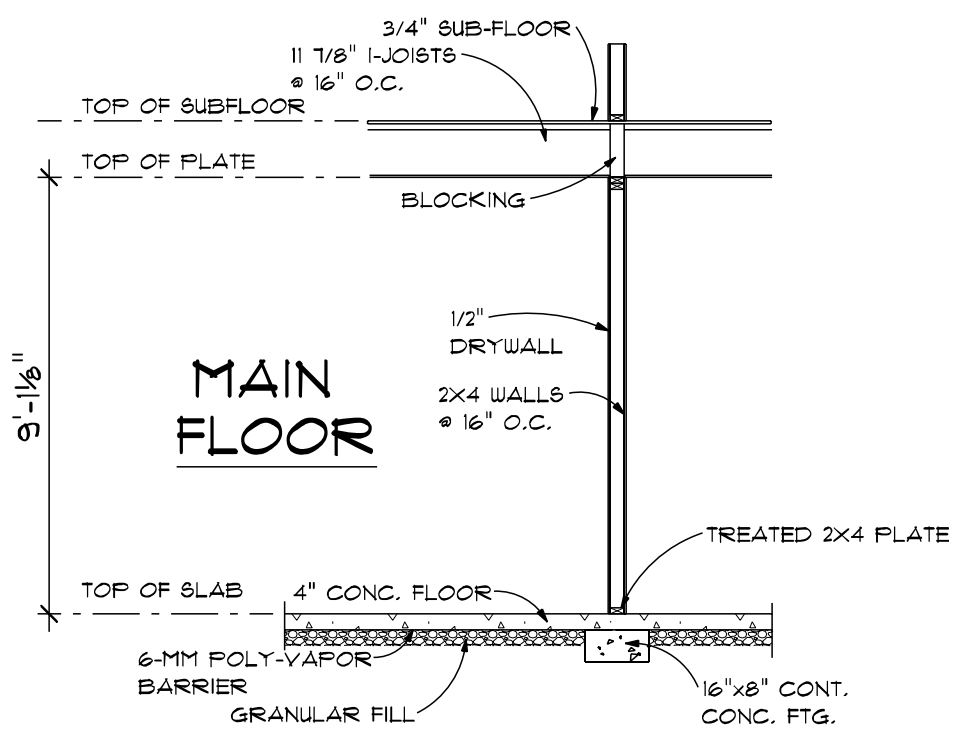




**PARTY WALL**

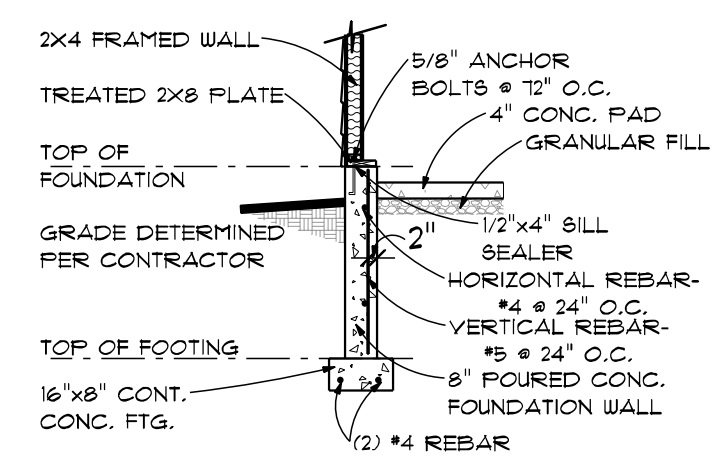
SCALE: 1/4" = 1'-0"

**SECOND FLOOR**



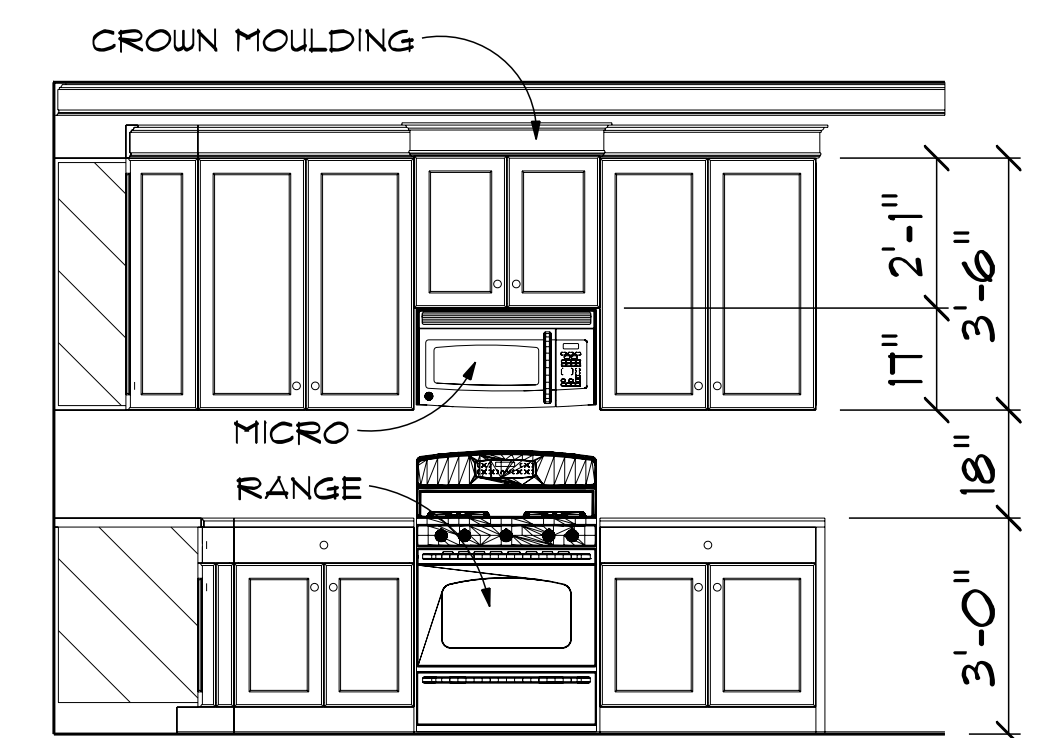
**TYP 2x4 BEARING WALL**

SCALE: 1/4" = 1'-0"

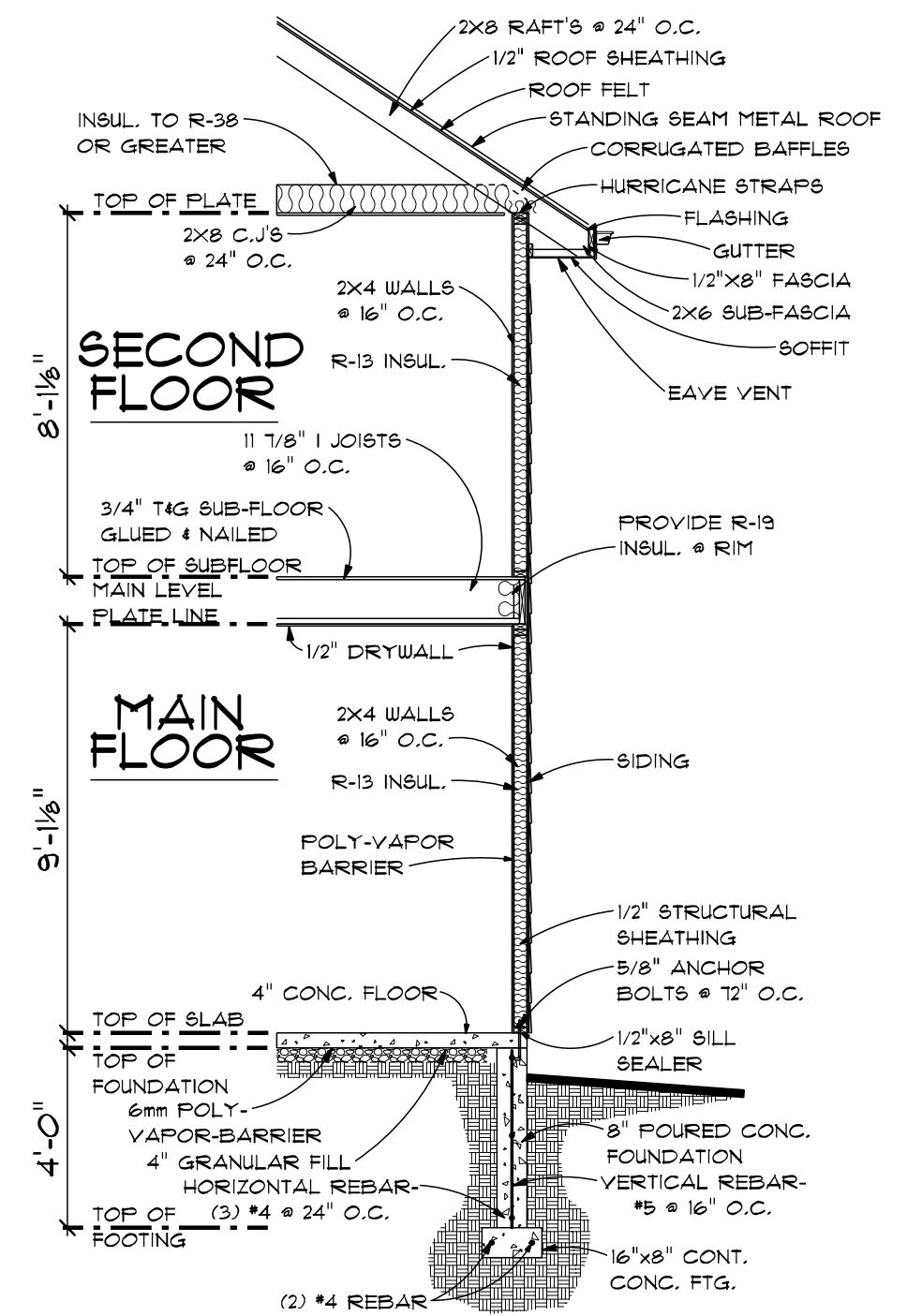


**TYP. GARAGE WALL**

SCALE: 1/4" = 1'-0"

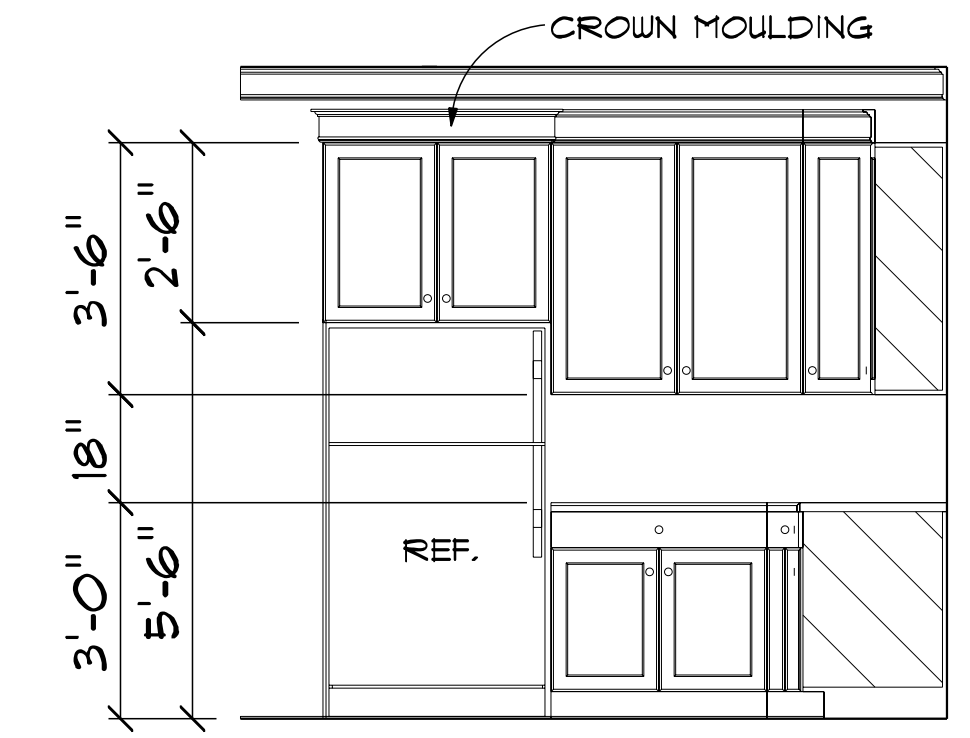


**DETAIL 1 & 4**

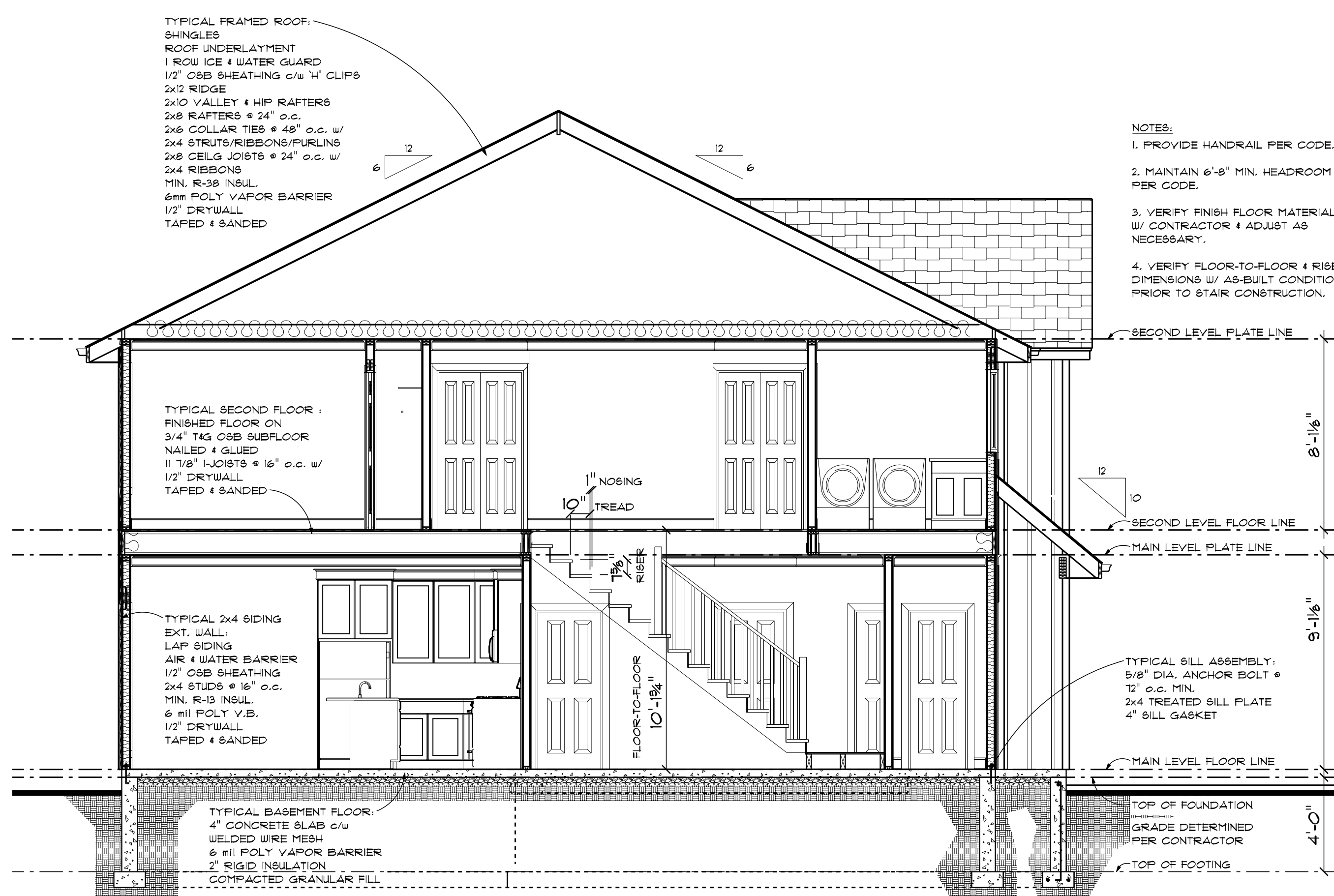


**TYP. WALL SECTION**

SCALE: 1/4" = 1'-0"



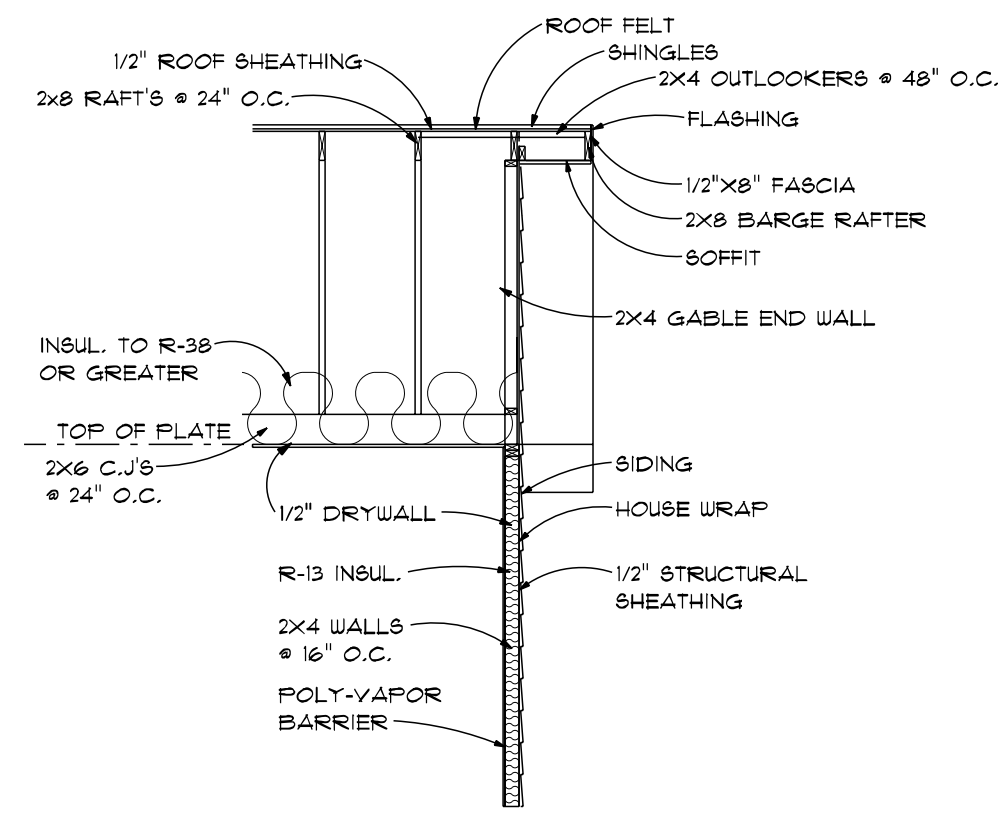
**DETAIL 2 & 5**



**CROSS SECTION**

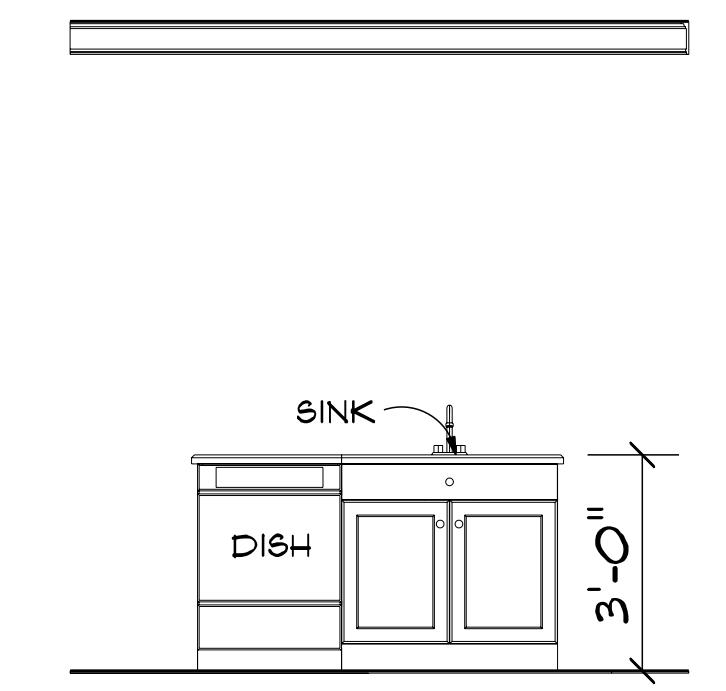
SCALE: 1/4" = 1'-0"

- NOTES:**
1. PROVIDE HANDRAIL PER CODE.
  2. MAINTAIN 6'-8" MIN. HEADROOM PER CODE.
  3. VERIFY FINISH FLOOR MATERIALS W/ CONTRACTOR & ADJUST AS NECESSARY.
  4. VERIFY FLOOR-TO-FLOOR & RISER DIMENSIONS W/ AS-BUILT CONDITIONS PRIOR TO STAIR CONSTRUCTION.



**TYP. GABLE END SECTION**

SCALE: 1/4" = 1'-0"



**DETAIL 3 & 6**

**CABINET ELEVATIONS**

SCALE: 3/8" = 1'-0"

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