



PROJECT NUMBER  
**202900**

PROJECT NAME  
**CORPORATE OFFICE BUILDING**

OWNER  
**COVENANT HEALTH**

PROJECT ADDRESS  
**FORT SANDERS W BLVD  
KNOXVILLE, TN 37922**

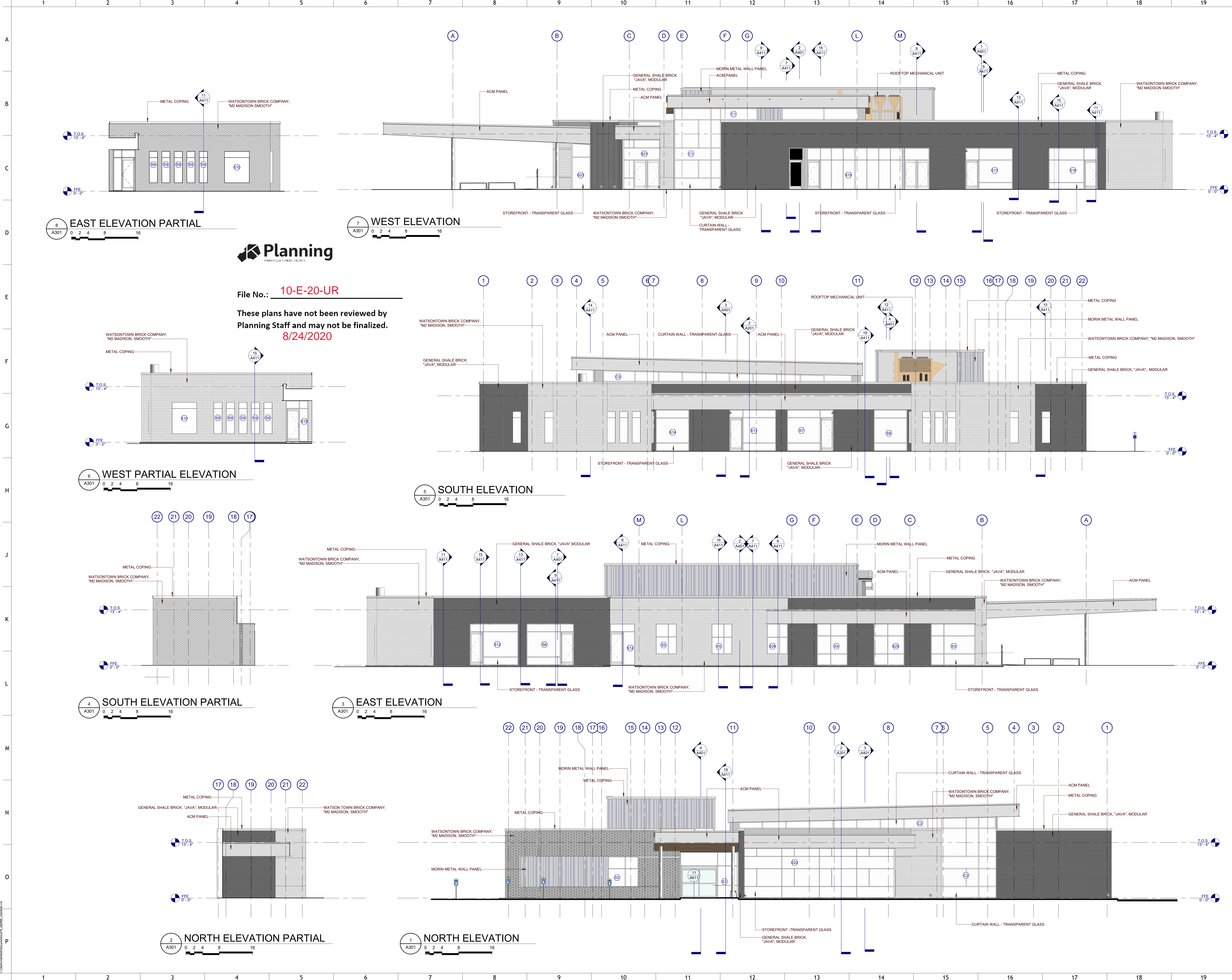
- GENERAL NOTES**
- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
  - NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS DRAWN ELSEWHERE ON THE SHEET.
  - DIMENSIONS ARE TO FACE OF MASONRY, COMPOSITE METAL PANELS, STOREFRONT, OR EDGE OF OPENING UNLESS OTHERWISE NOTED.
  - LOCATE VERTICAL MASONRY VENEER MOVEMENT JOINTS (VJM) AT MAX 25 FEET ON CENTER, AT INSIDE CORNERS, AND AT INTERSECTIONS WITH OTHER MATERIALS, WHERE NOT SHOWN OTHERWISE, COORDINATE LOCATIONS WITH THE ARCHITECT.
  - SHELF ANGLES TYPICALLY FUNCTION AS HORIZONTAL VENEER MOVEMENT JOINTS.
  - SEE A710-SERIES SHEETS FOR EXTERIOR WINDOW TYPES AND DETAIL REFERENCES.
  - DIAGONAL MATCHING INDICATES SPANDREL GLASS TYPICALLY.
  - COORDINATE ALL SCUPPER LOCATIONS WITH ROOF PLANS AND ELEVATIONS.

**ELEVATION FINISH KEY**

[Pattern]	GENERAL SHALE BRICK, "JAVA", MODULAR
[Pattern]	WATSONTOWN BRICK COMPANY, "M2 MADISON, SMOOTH"
[Pattern]	MORIN METAL WALL PANEL
[Pattern]	ACM PANEL

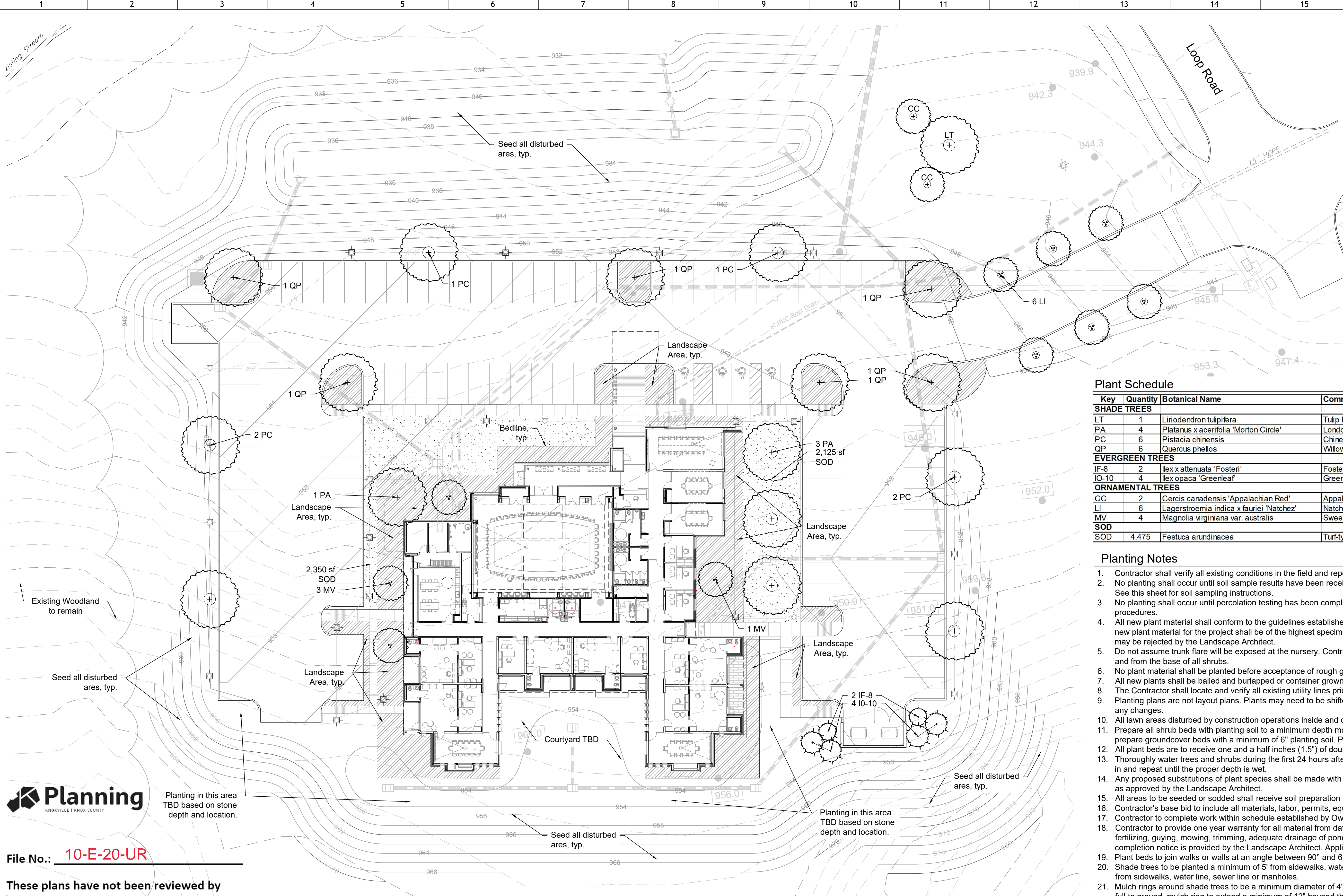
PARTNER-IN-CHARGE	CVG
PROJECT MANAGER	MWD
DRAWN BY	MGJ / MDT
REVIEWED BY	MWD
ISSUE DATE	07.30.2020

**REVISIONS**

File No.: **10-E-20-UR**

These plans have not been reviewed by  
Planning Staff and may not be finalized.  
**8/24/2020**



**Landscape Requirements per Knox County Guidelines**

**Landscape Requirements:**  
 Yards, open space and drainage area. Landscaped or maintained in preexisting vegetation with one (1) tree for each five thousand (5,000) square feet of yard or open space.  
 Open Space: Approx. 84,390 sf / 5,000 = 17 trees  
 Trees Provided: 17 canopy trees

**Peripheral boundary adjacent to residential zoning.** A fifteen-foot-wide landscaped strip shall be maintained adjacent to residential zoning. Landscaped areas adjacent to residential zoning shall consist of evergreen plantings set ten (10) feet apart for trees and five (5) feet apart for shrubs. These plantings shall obtain a minimum height of eight (8) feet within a period of one (1) year.

Requirement met, per existing woodland

**Parking Areas:**  
 Five hundred (500) square feet of landscaping for every twenty thousand (20,000) square feet or fraction thereof paved parking area.  
 Parking Area: 32,205 sf / 20,000 = 1,000 sf landscape  
 Requirement met, see plan

**Loading and Service Areas:**  
 Loading and service areas adjacent to the periphery boundary shall be screened with evergreen planting that will obtain a minimum height of eight (8) feet within a one-year period.  
 Requirement met, see plan

**Plant Schedule**

Key	Quantity	Botanical Name	Common Name	Size	Notes
<b>SHADE TREES</b>					
LT	1	Liriodendron tulipifera	Tulip Poplar	3" cal.	6' CT, CL, full, well branched
PA	4	Platanus x acerifolia 'Morton Circle'	London Plane Tree	3" cal.	6' CT, CL, full, well branched, matched, specimen
PC	6	Pistacia chinensis	Chinese Pistache	3" cal.	6' CT, CL, full, well branched
QP	6	Quercus phellos	Willow Oak	3" cal.	6' CT, CL, full, well branched
<b>EVERGREEN TREES</b>					
IF-8	2	Ilex x attenuata 'Fosteri'	Foster's Holly	8' hgt. min.	FTG, full, well branched
IO-10	4	Ilex opaca 'Greenleaf'	Greenleaf American Holly	10' hgt. min.	FTG, full, well branched
<b>ORNAMENTAL TREES</b>					
CC	2	Cercis canadensis 'Appalachian Red'	Appalachian Red Redbud	2" cal.	4' CT, CL, full and well branched, pink flowers
LI	6	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle	8' hgt. min.	MT, 3 cane min., full, well branched, white flowers
MV	4	Magnolia virginiana var. australis	Sweetbay Magnolia	8' hgt. min.	MT, 3 cane min., full, well branched, white flowers
<b>SOD</b>					
SOD	4,475	Festuca arundinacea	Turf-type Tall Fescue	sf	

**Planting Notes**

- Contractor shall verify all existing conditions in the field and report any discrepancies to the Landscape Architect prior to starting work.
- No planting shall occur until soil sample results have been received from all planting areas and soils are properly amended based on the results of the soil tests. See this sheet for soil sampling instructions.
- No planting shall occur until percolation testing has been completed and soils have been properly amended to drain. See this sheet for percolation testing procedures.
- All new plant material shall conform to the guidelines established for nursery stock published by the American Association of Nurserymen, Inc. In addition, all new plant material for the project shall be of the highest specimen quality. Plant material delivered to the site that does not meet the requirements stated herein may be rejected by the Landscape Architect.
- Do not assume trunk flare will be exposed at the nursery. Contractor to expose trunk flares to check for root girdling. Pull mulch away from the trunk flare of trees and from the base of all shrubs.
- No plant material shall be planted before acceptance of rough grading. The finished grade shall not cover any part of the tree trunk flare. See tree planting detail.
- All new plants shall be balled and burlapped or container grown unless otherwise noted on the plant list.
- The Contractor shall locate and verify all existing utility lines prior to planting and report any conflicts to the Landscape Architect.
- Planting plans are not layout plans. Plants may need to be shifted in the field, based on the existing conditions. Coordinate with the Landscape Architect prior to any changes.
- All lawn areas disturbed by construction operations inside and outside the limit of work shall be prepared and seeded as noted herein.
- Prepare all shrub beds with planting soil to a minimum depth matching the depth of shrub root balls; prepare perennial beds with a minimum of 12" planting soil; prepare groundcover beds with a minimum of 6" planting soil. Planting soil shall be amended per recommendations from soil test.
- All plant beds are to receive one and a half inches (1.5") of double shredded hardwood mulch.
- Thoroughly water trees and shrubs during the first 24 hours after planting. Wet the soil to a depth of 18-24". When runoff starts, stop watering, let the water soak in and repeat until the proper depth is wet.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit, and culture only as approved by the Landscape Architect.
- All areas to be seeded or sodded shall receive soil preparation as noted herein prior to seeding or sodding, unless otherwise noted on plan.
- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
- Contractor to complete work within schedule established by Owner.
- Contractor to provide one year warranty for all material from date of substantial completion. Contractor to provide interim maintenance (watering, pruning, fertilizing, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, and general landscape clean-up) until substantial completion notice is provided by the Landscape Architect. Application of insecticides/herbicides must be approved by Landscape Architect prior to use on site.
- Plant beds to join walks or walls at an angle between 90° and 60°.
- Shade trees to be planted a minimum of 5' from sidewalks, water line, sewer line or manholes. Evergreen and ornamental trees to be planted a minimum of 3' from sidewalks, water line, sewer line or manholes.
- Mulch rings around shade trees to be a minimum diameter of 4' and a minimum of 3' around ornamental and evergreen trees. If evergreen trees are specified as full to ground, mulch ring to extend a minimum of 12" beyond the edge of plant.
- Square footage of sod quantities is approximate and is an estimate of the disturbed areas. Contractor to verify quantities prior to purchase and installation.
- See civil drawings for further information regarding:
  - Erosion and sediment control.
  - Locations of existing and proposed structures, paving, driveways, cut and fill areas, and retention areas.
  - Limits of construction.
  - Locations of existing and proposed utilities or easements.

**Percolation Test Notes**

- Dig a hole 18-24" deep & a minimum of 6" wide.
- Fill hole with water to the top and let drain for several hours. Ideally let the hole pre-wet overnight and test the following day.
- Refill hole to within a couple inches of the top.
- To aid in measurement, place a stick across the top of the hole and use a second stick to mark periodic drops in water level; mark side of hole; or mark soil on side of hole with nail or stick.
- Measure drop in water level after 30 minutes and one hour. If possible measure drop in water level the next day.
- Determine drop in water level per hour. If water level in hole drops more than one inch per hour, it is well drained and suitable for all plant species.

**Instructions For Existing Soil Sampling:**

- Using a spade, dig a v-shape hole to a 6" depth; then cut a thin slice of soil from one side of the hole. Place the slice in a plastic bucket, do not use a metal bucket. Mix slices together and fill a plastic sample bag with three (3) cups of dirt. The sample bags can be ziploc bags that are labeled with the project name and sample number.
- A well mixed composite from 10 to 20 random locations should be subsampled to make the three (3) cup sample.
- Mark the plan to show soil sample locations.
- Send samples to Waypoint Analytical Labs, Inc., 2790 Whitten Road, Memphis, Tennessee 38133, (901) 213-2400, waypointanalytical.com.
- Results to be copied to the Owner.

**Planting Soil Composition Notes**

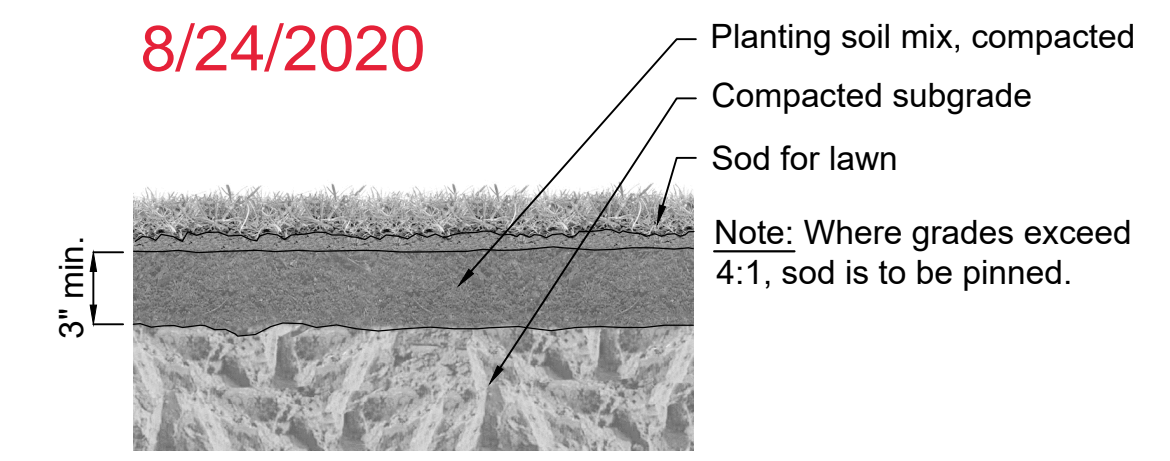
- The Landscape Subcontractor shall provide sufficient planting soil to fulfill all planting operations required of the Contract Documents. Planting soil shall comply with the following notes:
- Planting soil shall be topsoil stripped and stockpiled and meeting, or modified to meet, these recommendations per soil testing.
- Textural Analysis of soil to be between sandy clay loam and clay loam, with a clay content between 15 and 25% and an organic content of 4% by dry weight.
- Planting soil shall be free of plants and their roots, debris and other extraneous matter. It shall be uncontaminated by salt water, foreign matter and substances harmful to plant growth. All soil to be free of all rocks, limestone, gravel, & foreign construction debris.
- Soil additives shall be used to counteract soil deficiencies as recommended by the soils analysis conducted by Waypoint Analytical. See Soil Sampling notes, this sheet.
- Soil pH target to be 6.0.
- Soil to be installed in maximum 6" lifts. Soil compaction rating to be 85%.
- Soil particle size shall have 90% passing rate on 3/8" screen and 100% of material shall pass 1" screen.



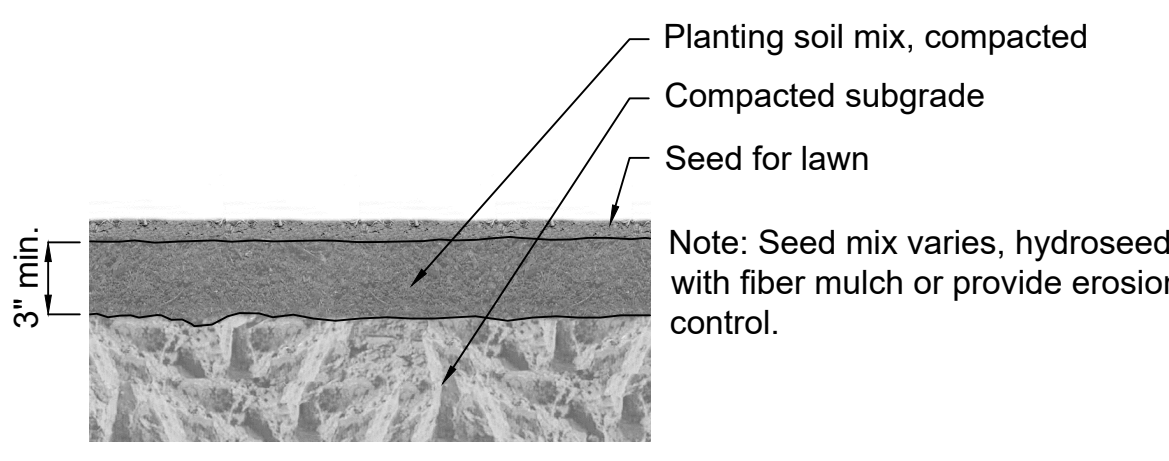
File No.: 10-E-20-UR

These plans have not been reviewed by Planning Staff and may not be finalized.

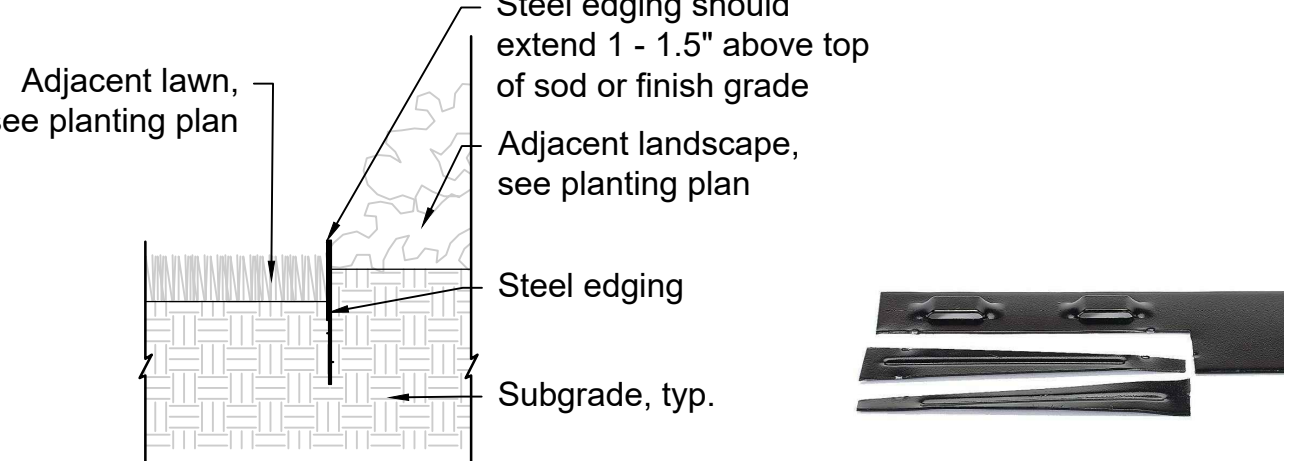
8/24/2020



4 Sod Detail  
Scale: NTS

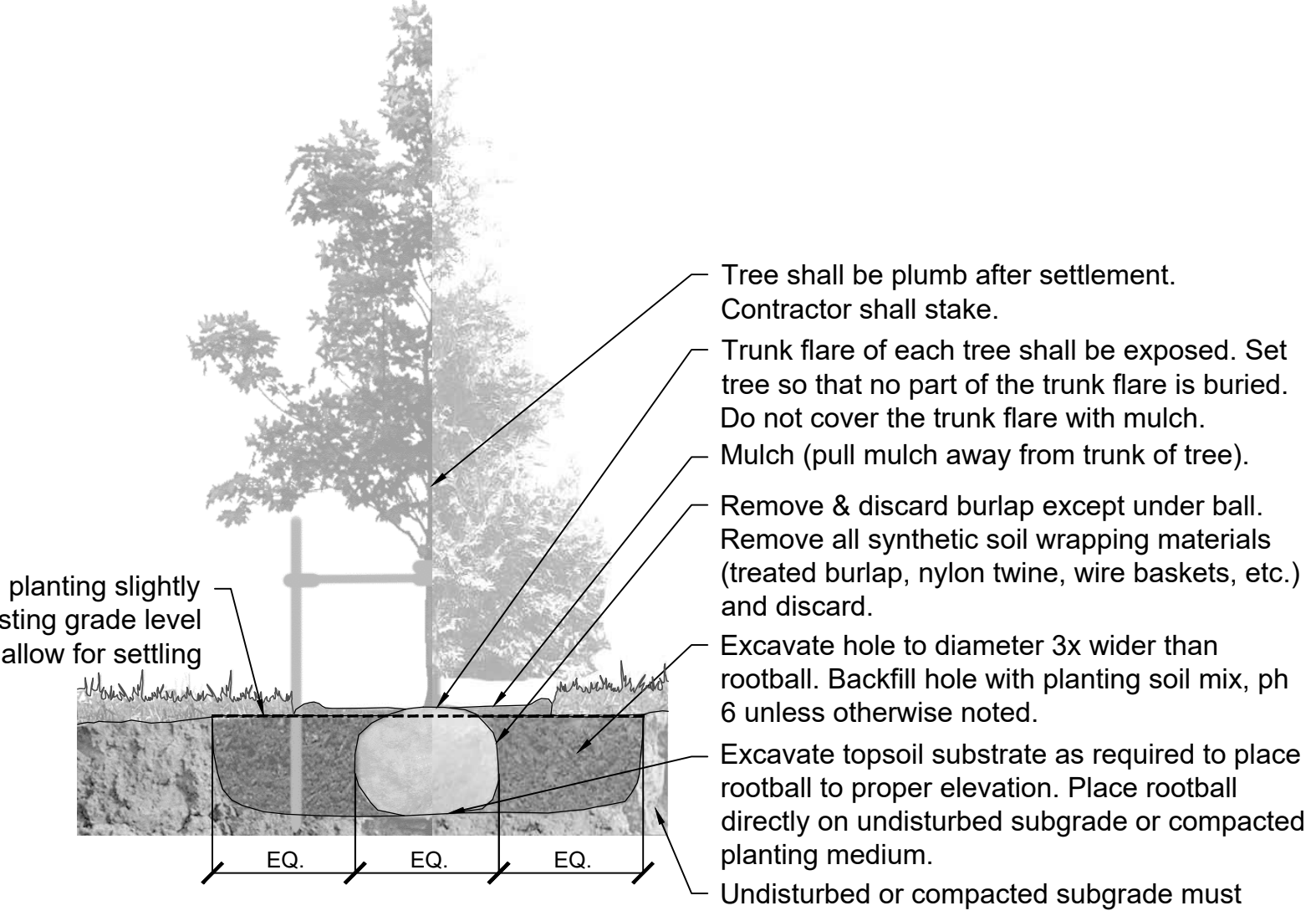


5 Seed Detail  
Scale: NTS

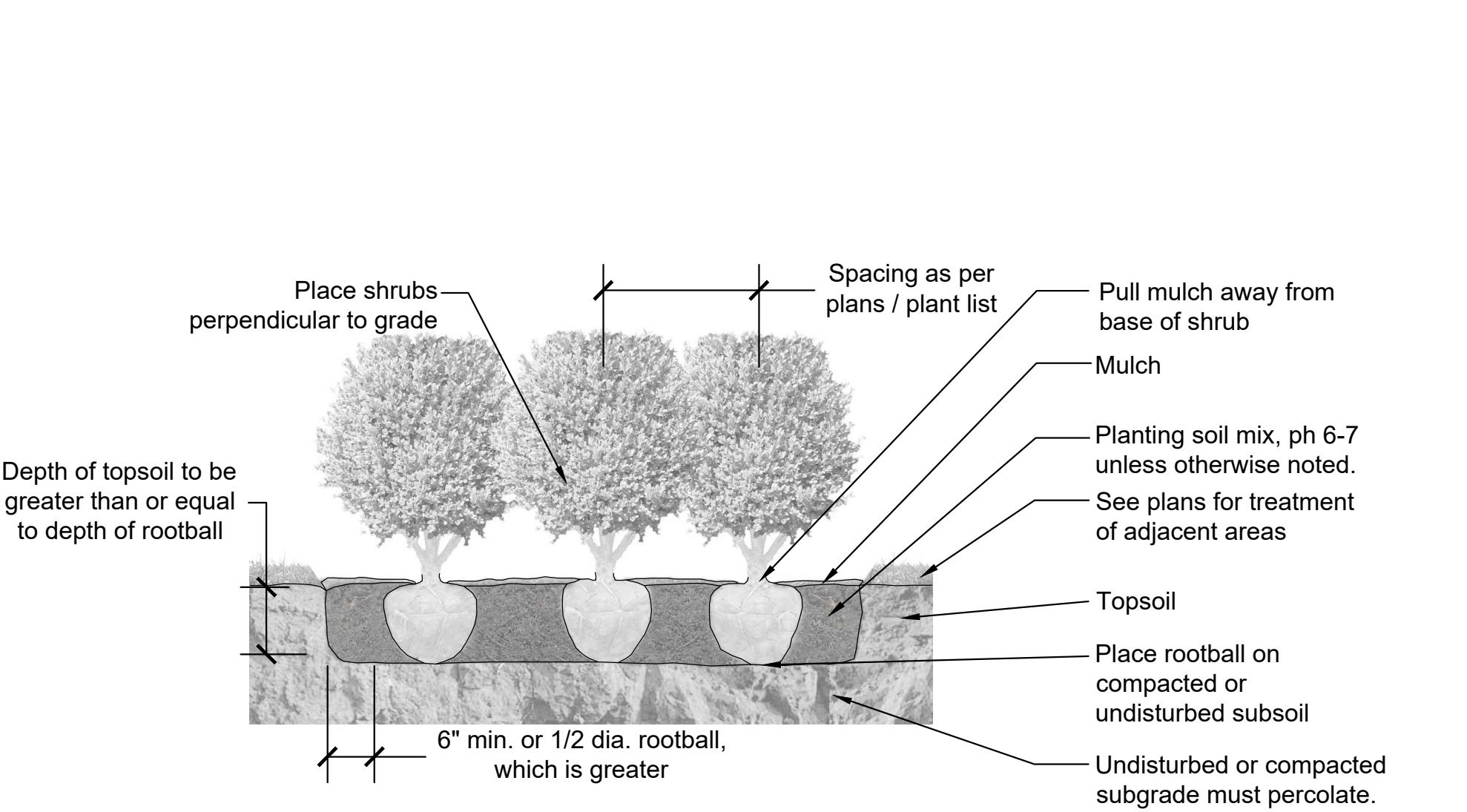


6 Steel Edging  
Scale: 1" = 1'-0"

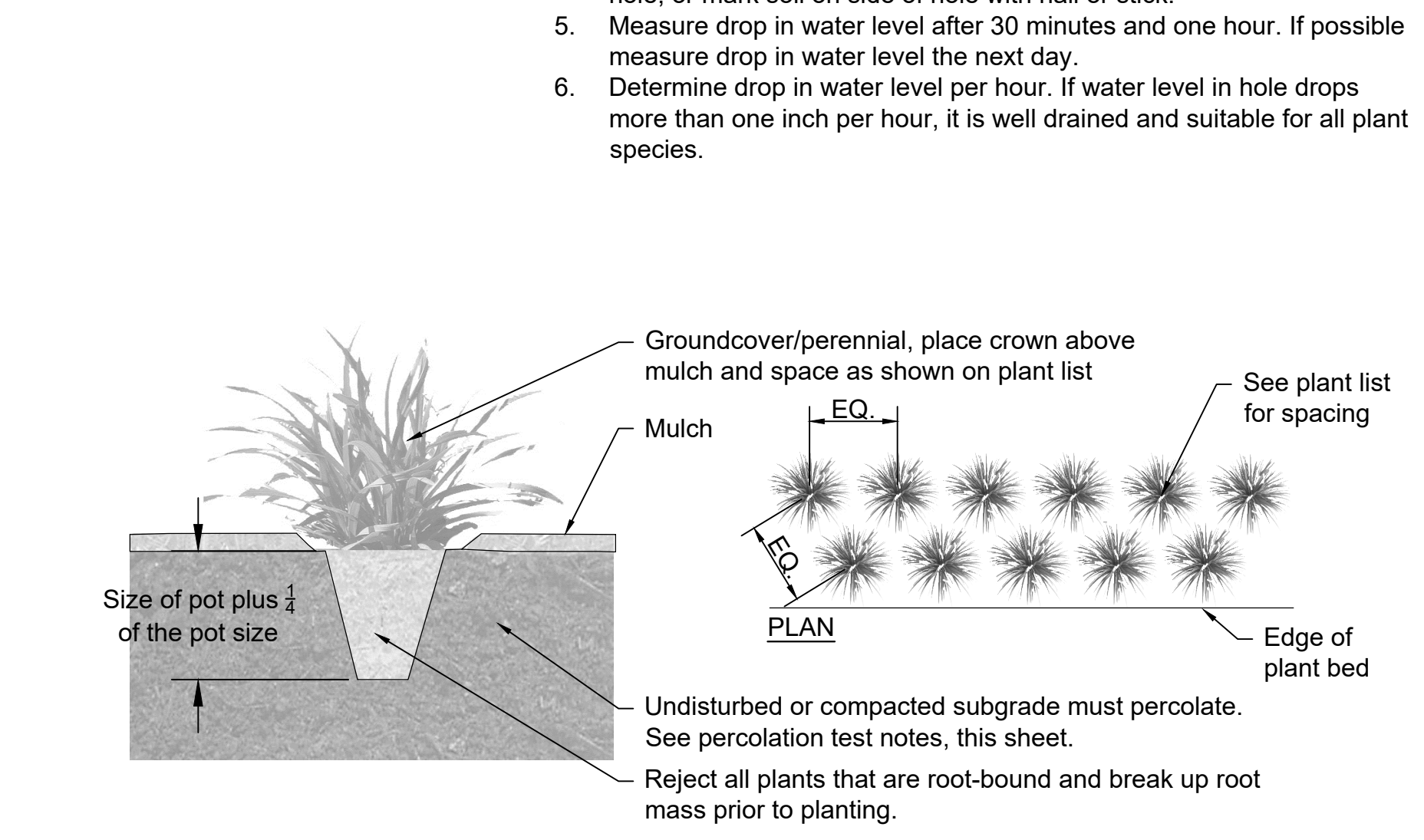
**Steel Edging**  
 -By: COL-MET or Equal  
 -Size: 4"  
 -Gauge: 14  
 -Color: Brown  
 -Quantity: 460 LF approx.  
 www.colmet.com  
 800-829-8225



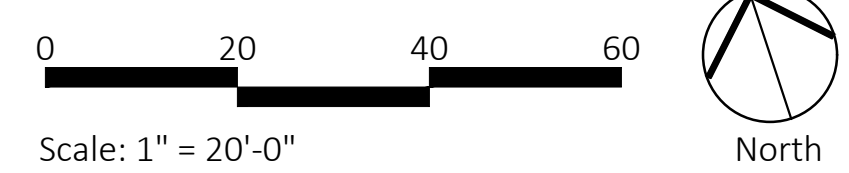
1 Tree Planting Detail  
Scale: NTS



2 Shrub Planting Detail  
Scale: NTS



3 Groundcover/Perennial Detail  
Scale: NTS



505 Market St Suite 300 Knoxville, TN 37902  
 T 865.934.1915 F 865.546.0242  
 bma1915.com



PROJECT NUMBER  
202900

PROJECT NAME  
CORPORATE OFFICE BUILDING

OWNER  
COVENANT HEALTH

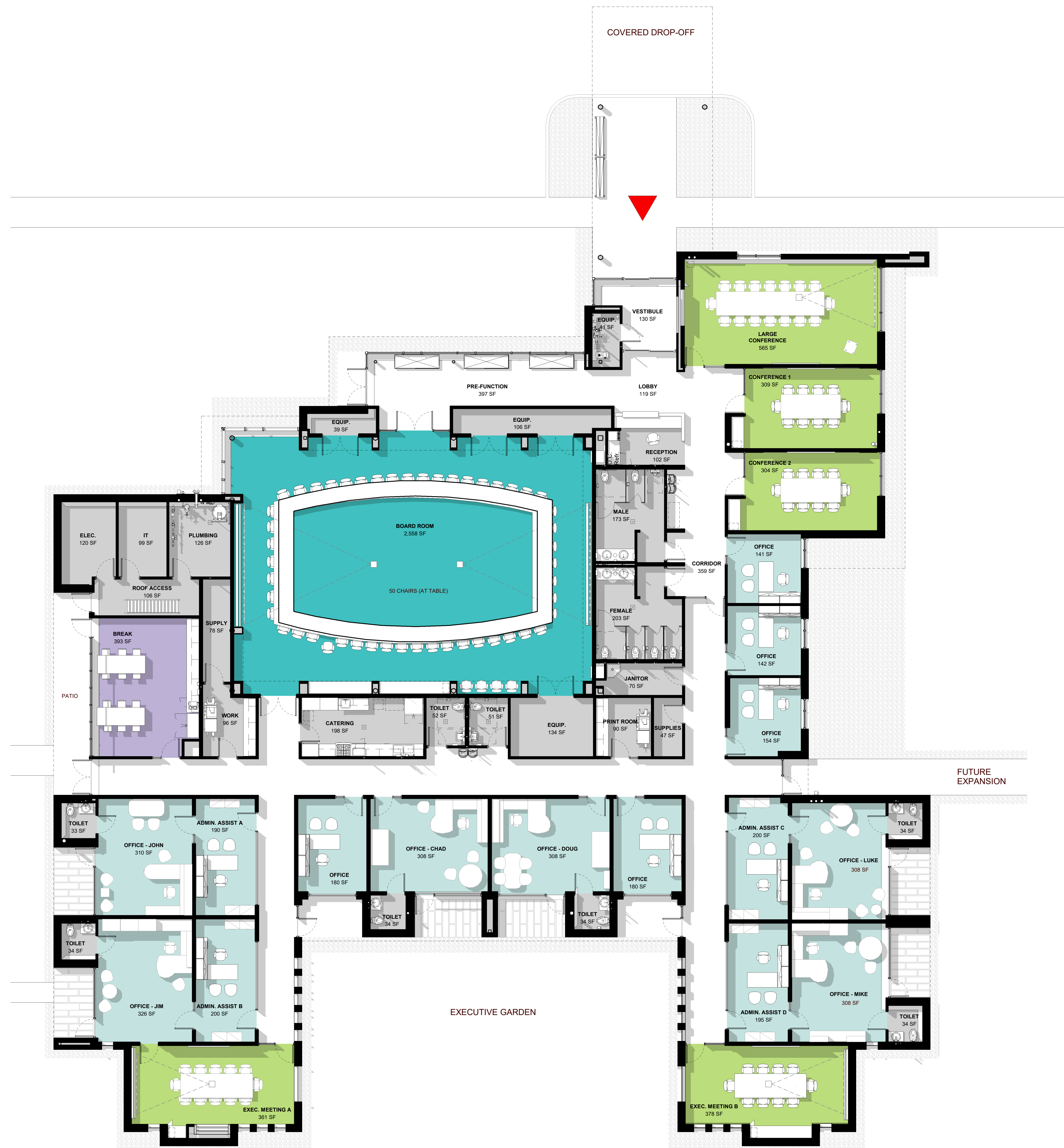
PROJECT ADDRESS  
KNOXVILLE, TN 37934

PARTNER-IN-CHARGE SHP  
 PROJECT MANAGER ABS  
 DRAWN BY LGG  
 REVIEWED BY SHP  
 ISSUE DATE 07.30.20

REVISIONS

NO.	DESCRIPTION	DATE

L100  
 Planting Plan

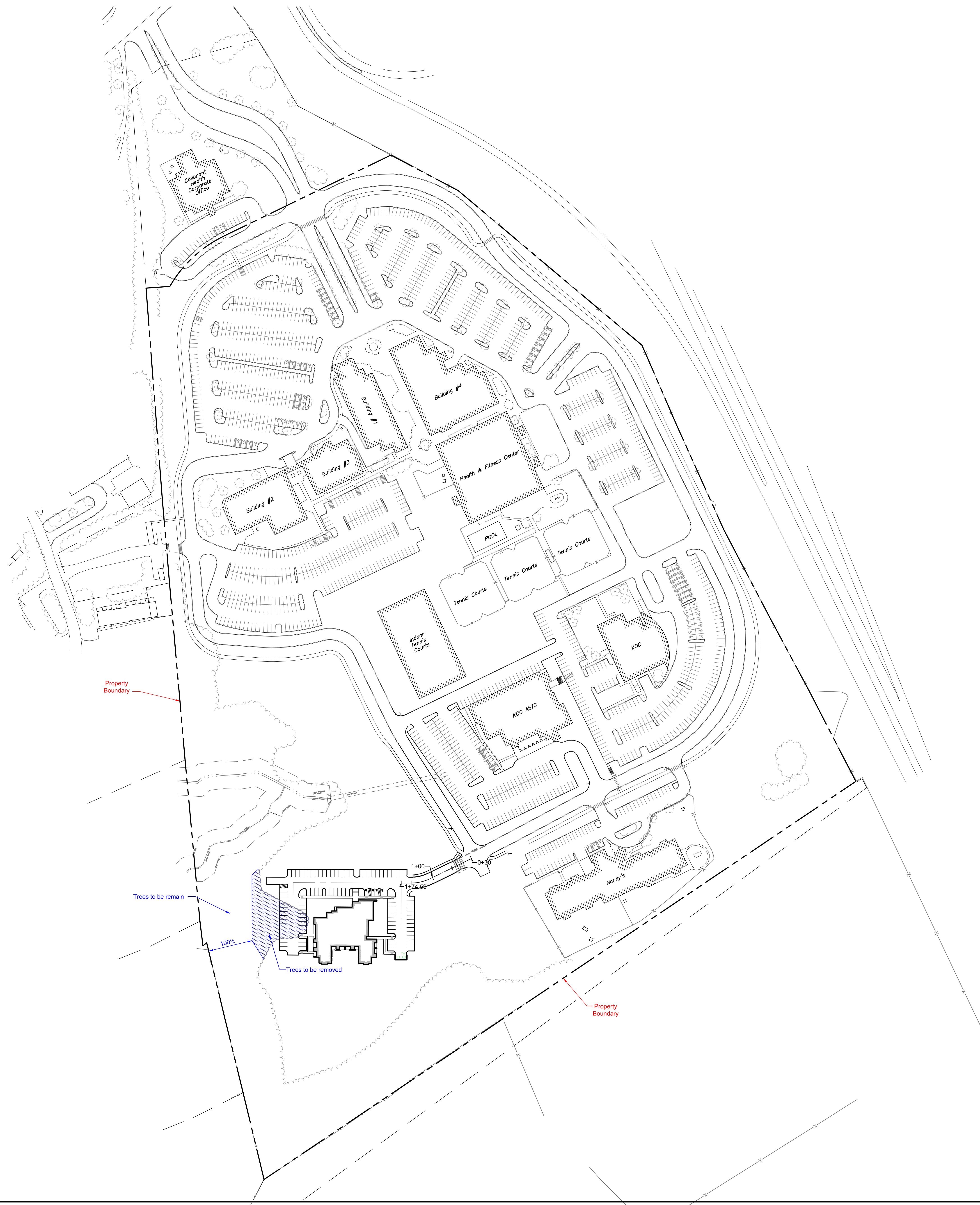


File No.: 10-E-20-UR

These plans have not been reviewed by Planning Staff and may not be finalized.

8/24/2020

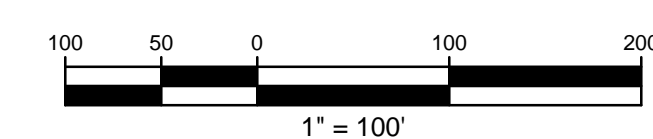
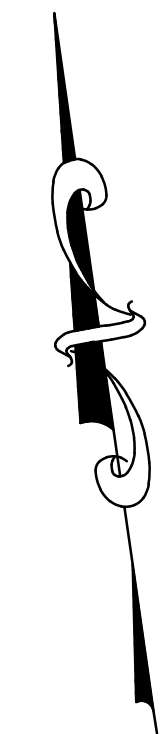
X:\2020\220039 - Covenant Corporate\DWG\Covenant corporate Office Survey.dwg Sep 21, 2020 - 3:20pm bbowlin - LDS Copyright, 2020



File No.: **10-E-20-UR**

These plans have not been reviewed by Planning Staff and may not be finalized.

Revised: 9/21/2020



Project  
**Corporate Office Building**  
 Fort Sanders West Boulevard  
**Covenant Health**  
 Knox County, Tennessee

**LAND DEVELOPMENT SOLUTIONS**  
 310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922  
 PH. 865-671-2281

Drawing Description:  
**Overall Campus Plan**

No.	Date	Revision

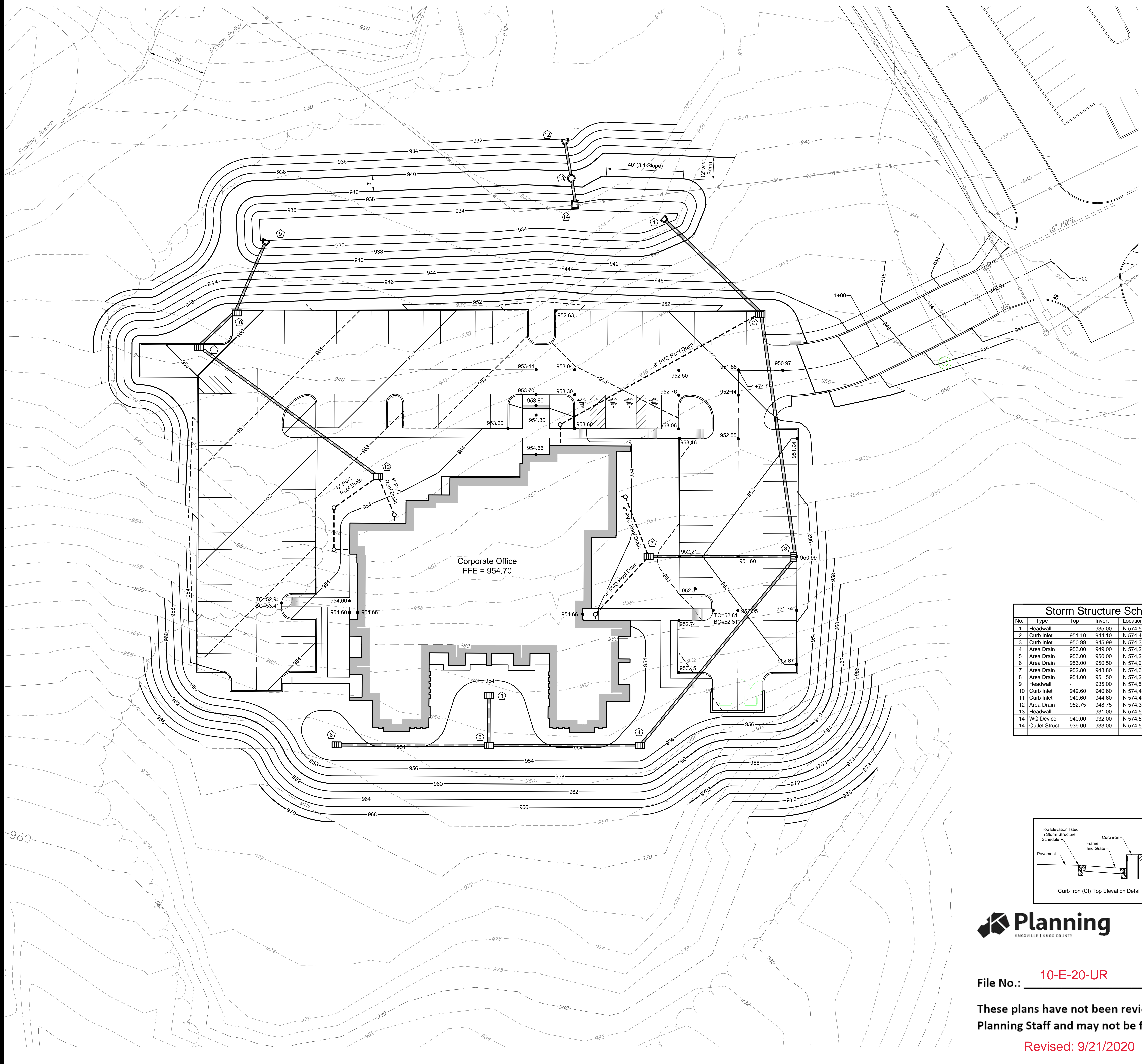
**Not For Construction**

Drawn By	
Checked	
Approved	
Job No.	220039
1"=100' Scale	9-21-2020 Date

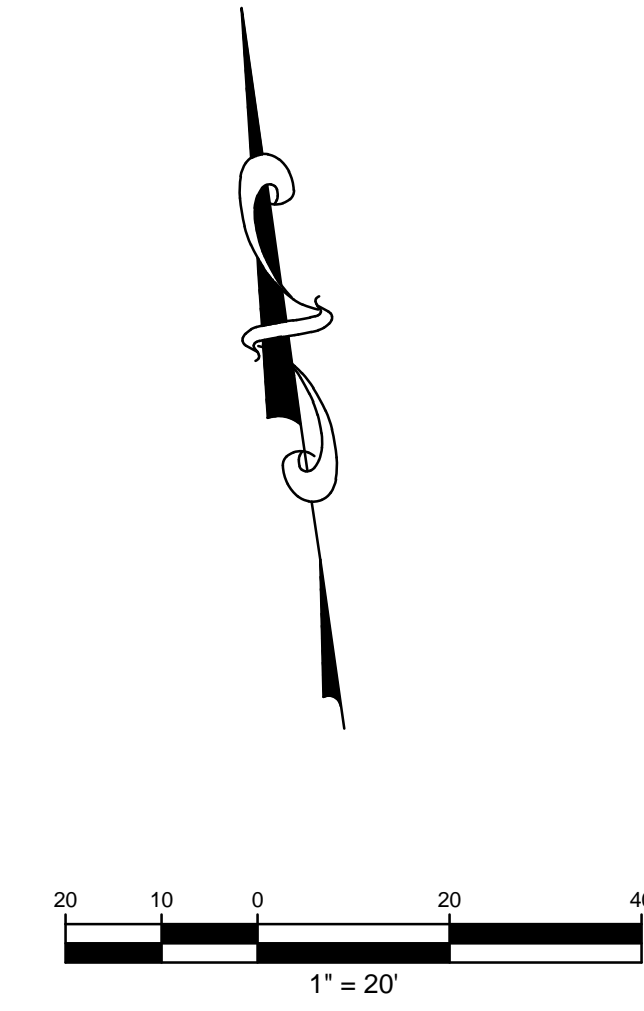
**C100**  
 Sheet No.



X:\2020\220039 - Covenant Corporate\DWG\Covenant Corporate Office Survey.dwg Sep 21, 2020 - 3:20pm bbowlin - LDS Copyright, 2020

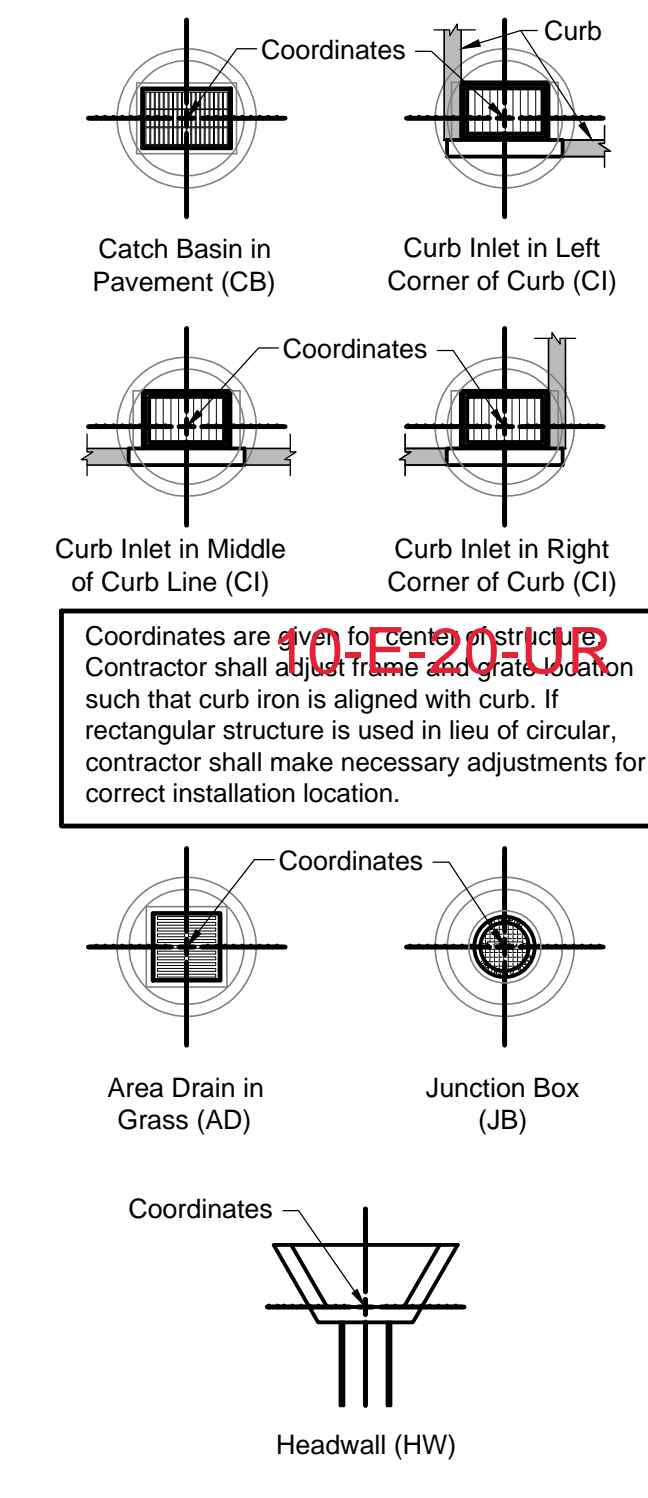
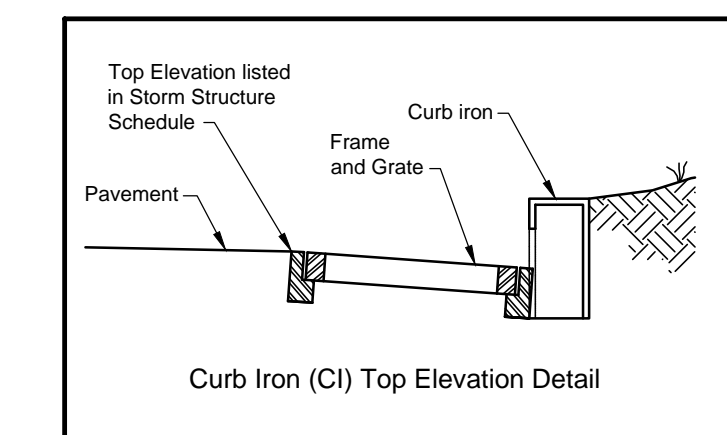


- ### Grading Notes
- All disturbed areas not scheduled to be paved shall have a minimum of 3 inches of topsoil placed on them and shall be seeded as specified.
  - All grading construction practices shall conform to the Tennessee Erosion and Sediment control Handbook.
  - Maximum topsoil thickness for slopes steeper than 3:1 shall be 3".
  - See Sheet C301 for Erosion Control Plan prior to beginning any grading activities.
  - Contractor shall follow Storm Water Pollution Prevention Plan at all times.
  - Total disturbed area =      acres ±.
  - The grades shown are finished grades. Contractor shall determine subgrade elevations by examining typical pavement sections and the building drawings.
- ### Drainage Notes
- All storm lines in paved areas shall be backfilled to pavement subgrade with #57 stone.
  - All trenching and shoring shall comply with OSHA standards.
  - Storm lines and structures shall be constructed as soon as possible. Inlet Protection shall be used around structures to minimize the silt entering into drainage system. All silt shall be removed from structures and lines.
  - Pipe lengths and slope are measured from center of structure to center of structure.
  - All HDPE storm lines shall be smooth interior.
  - Contractor shall provide as-built survey of storm system PRIOR to paving. As-built survey shall include storm structure tops, inverts, pipe materials, slopes, and detention basin grading (1 foot contours). Survey shall be provided in electronic format (ACAD 2009 compatible) as well as stamped paper copy. Survey shall be on the same datum as coordinate system as the design plans. All survey points shall be provided in a comma delimited text file (PNEZD format).
  - After construction is complete, contractor shall provide as-built survey as noted above. Survey shall be updated to reflect any changes or modifications to the storm system since the first as-built survey. As-built survey shall include storm structure tops, inverts, pipe materials, slopes, and detention basin grading (1 foot contours). Survey shall be provided in electronic format (ACAD 2009 compatible) as well as stamped paper copy. Survey shall be on the same datum as coordinate system as the design plans. All survey points shall be provided in a comma delimited text file (PNEZD format).



Storm Structure Schedule				
No.	Type	Top	Invert	Location
1	Headwall	-	935.00	N 574,501.43 E 2,525,139.60
2	Curb Inlet	951.10	944.10	N 574,447.85 E 2,525,182.92
3	Curb Inlet	950.99	945.99	N 574,319.93 E 2,525,185.99
4	Area Drain	953.00	949.00	N 574,232.52 E 2,525,093.35
5	Area Drain	953.00	950.00	N 574,242.31 E 2,525,015.52
6	Area Drain	953.00	950.50	N 574,252.18 E 2,524,937.06
7	Area Drain	952.80	948.80	N 574,329.53 E 2,525,109.66
8	Area Drain	954.00	951.50	N 574,268.07 E 2,525,018.76
9	Headwall	-	935.00	N 574,514.94 E 2,524,931.89
10	Curb Inlet	949.60	940.60	N 574,481.87 E 2,524,912.41
11	Curb Inlet	949.60	944.60	N 574,488.15 E 2,524,891.77
12	Area Drain	952.75	948.75	N 574,387.79 E 2,524,975.50
13	Headwall	-	931.00	N 574,547.75 E 2,525,082.90
14	W/Q Device	940.00	932.00	N 574,529.07 E 2,525,083.81
14	Outlet Struct.	939.00	933.00	N 574,515.48 E 2,525,084.06

Storm Pipe Schedule				
From	To	Size/Material	Length	Slope
8	5	15" HDPE	26.0	5.77%
7	3	15" HDPE	76.2	3.69%
6	5	15" HDPE	79.1	0.83%
5	4	15" HDPE	78.4	1.28%
4	3	15" HDPE	126.9	2.37%
3	2	18" HDPE	127.8	1.48%
2	1	24" HDPE	68.9	13.21%
12	11	15" HDPE	115.0	3.61%
11	10	15" HDPE	26.3	15.21%
10	9	18" HDPE	38.4	14.58%
14	13	18" RCP	13.7	7.30%
13	12	18" RCP	18.7	5.35%



File No.: 10-E-20-UR

These plans have not been reviewed by Planning Staff and may not be finalized.

Revised: 9/21/2020

Project

**Corporate Office Building**  
Fort Sanders West Boulevard  
**Covenant Health**  
Knox County, Tennessee

LAND DEVELOPMENT SOLUTIONS

310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922  
PH. 865-671-2281

Drawing Description:

**Site Grading and Drainage Plan**

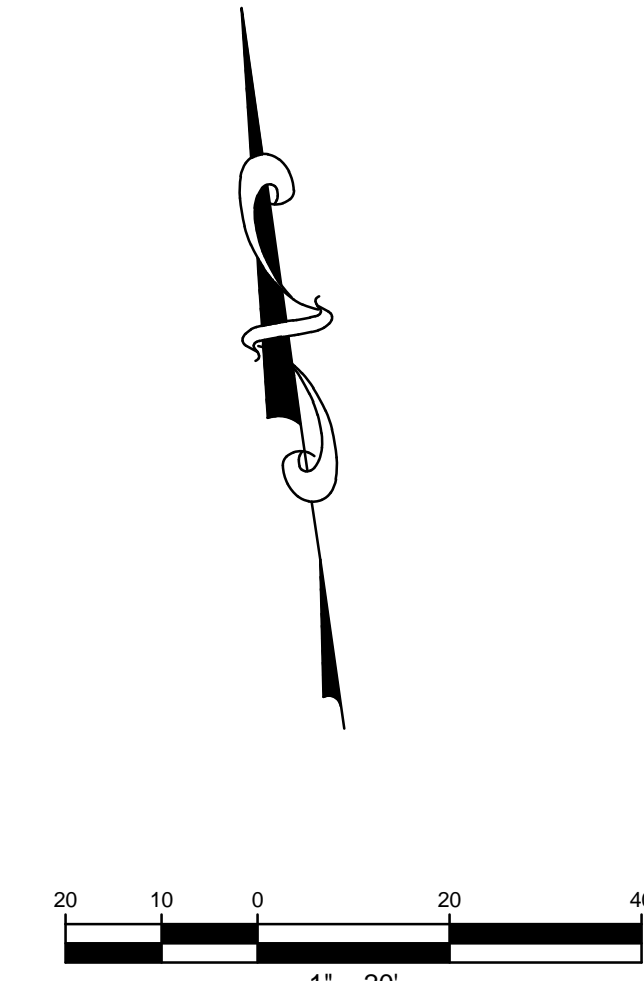
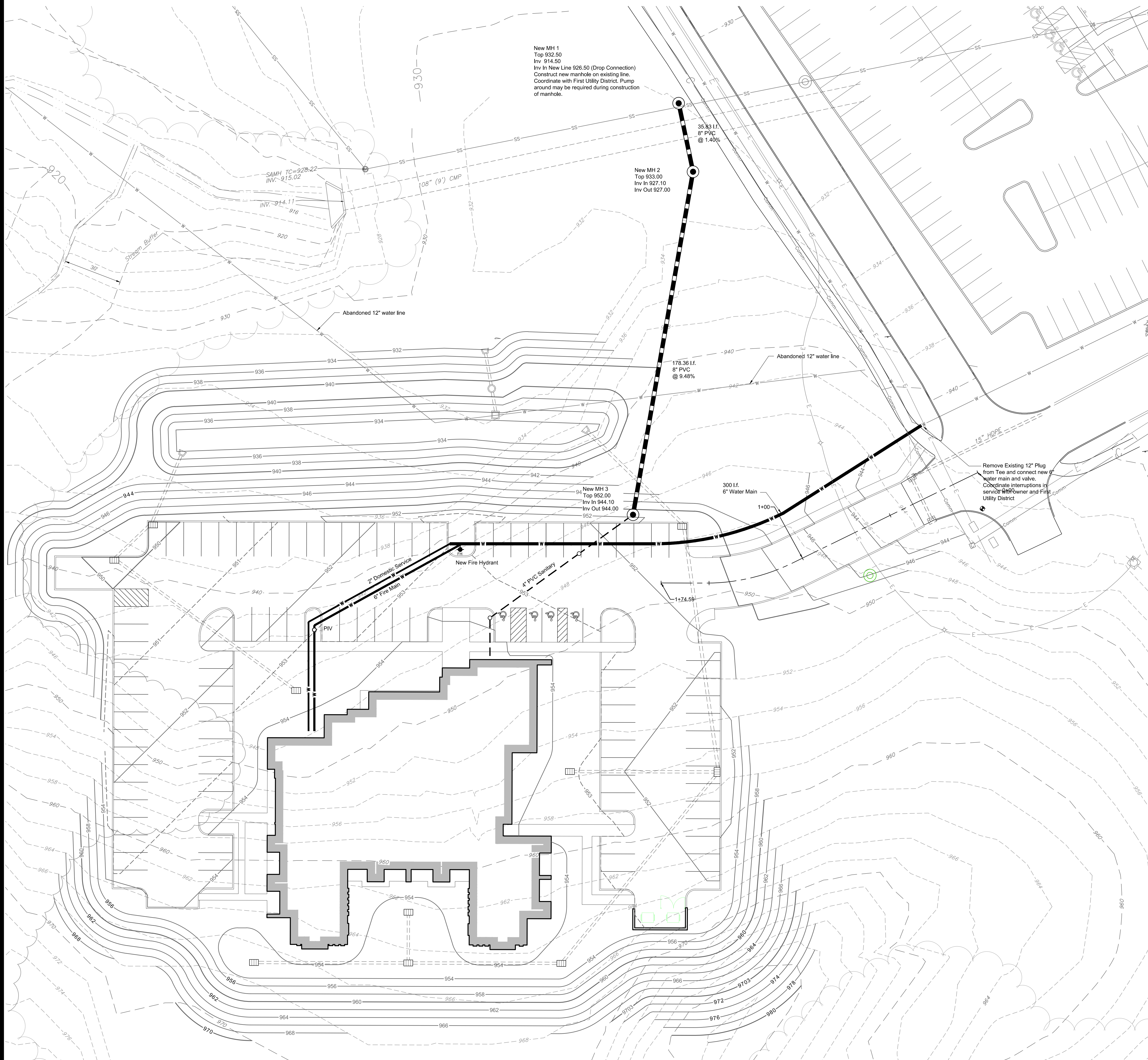
No.	Date	Revision

**Not For Construction**

Drawn By	
Checked	
Approved	
Job No.	220039
1"=20' Scale	7-30-2020 Date

**C201**  
Sheet No.

X:\2020\220039 - Covenant Corporate\DWG\Covenant Corporate Office Survey.dwg Sep 21, 2020 - 3:21pm bbowlin - LDS Copyright, 2020



File No.: **10-E-20-UR**

These plans have not been reviewed by  
 Planning Staff and may not be finalized.

Revised: 9/21/2020

Project  
**Corporate Office Building**  
 Fort Sanders West Boulevard  
**Covenant Health**  
 Knox County, Tennessee

LAND  
 DEVELOPMENT  
 SOLUTIONS

310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922  
 PH. 865-671-2281

Drawing Description:  
**Site Utility Plan**

No.	Date	Revision

**Not For  
 Construction**

Drawn By	
Checked	
Approved	
Job No.	220039
1"=20' Scale	9-21-2020 Date

**C401**  
 Sheet No.