

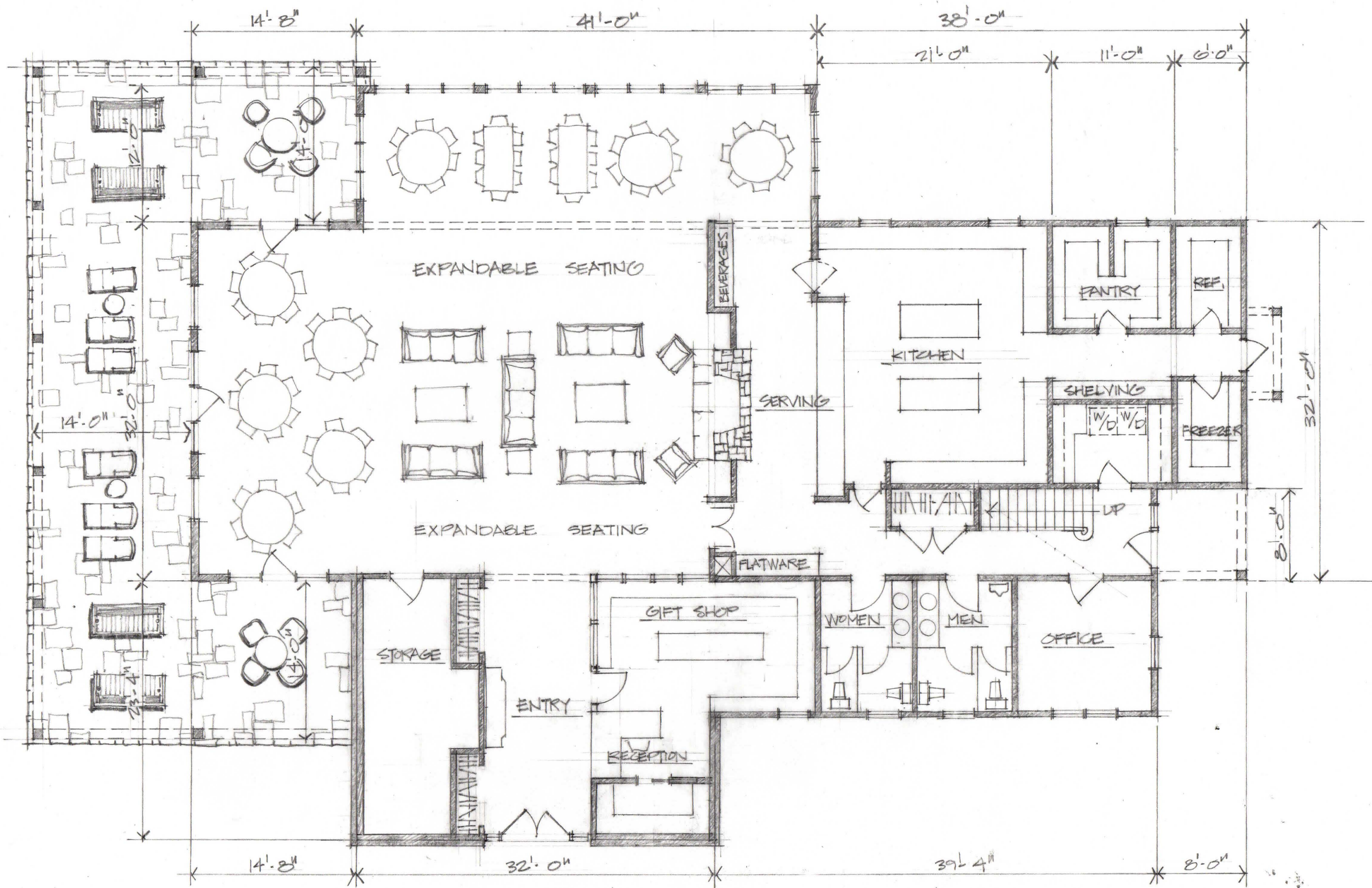


MAIN ENTRY ELEVATION

$1/4" = 1'-0"$

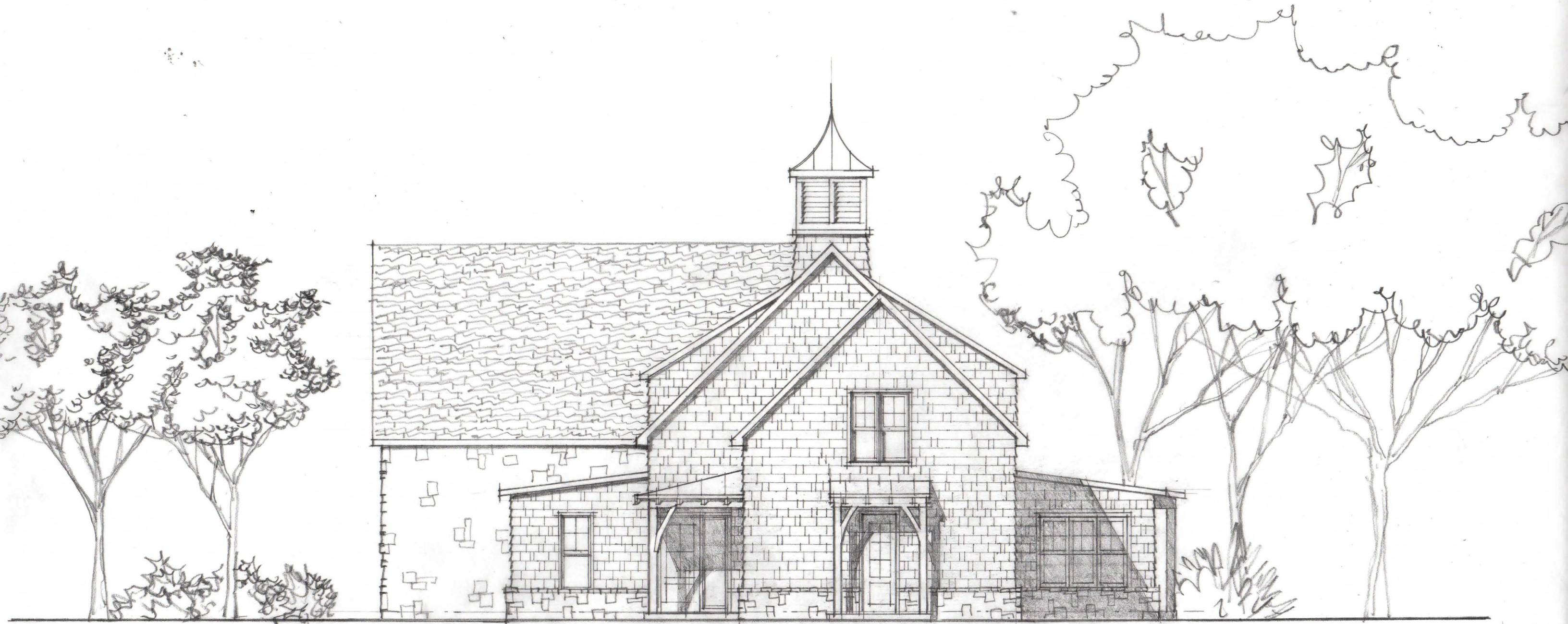
EMPOWER FARM - COMMUNITY CENTER

10-B-23-UR  
8/21/2023



MAIN FLOOR PLAN  
 1/8" = 1'-0" EMPOWER FARM COMMUNITY CENTER

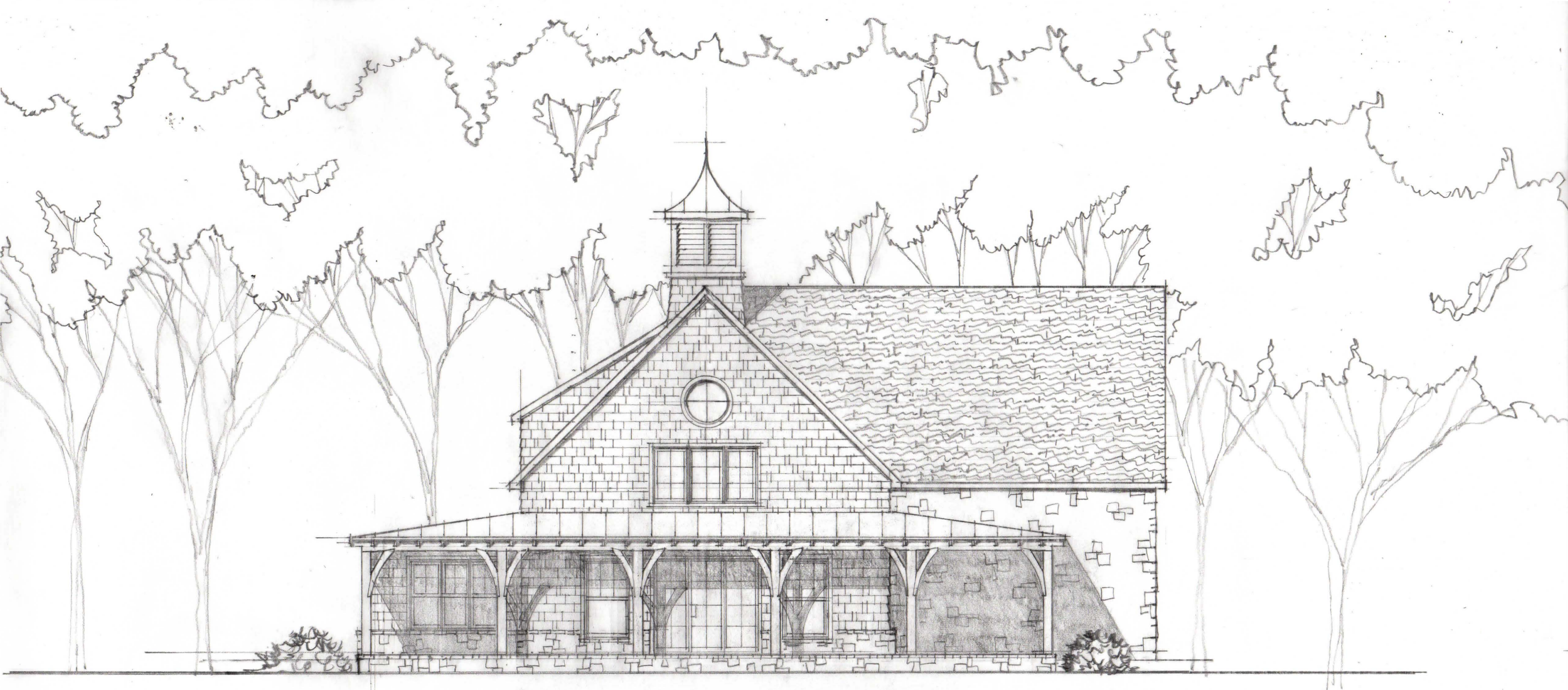
10-B-23-UR  
 8/21/2023



PARKING ELEVATION

$\frac{1}{4}'' = 1'-0''$  EMPOWER FARM - COMMUNITY CENTER

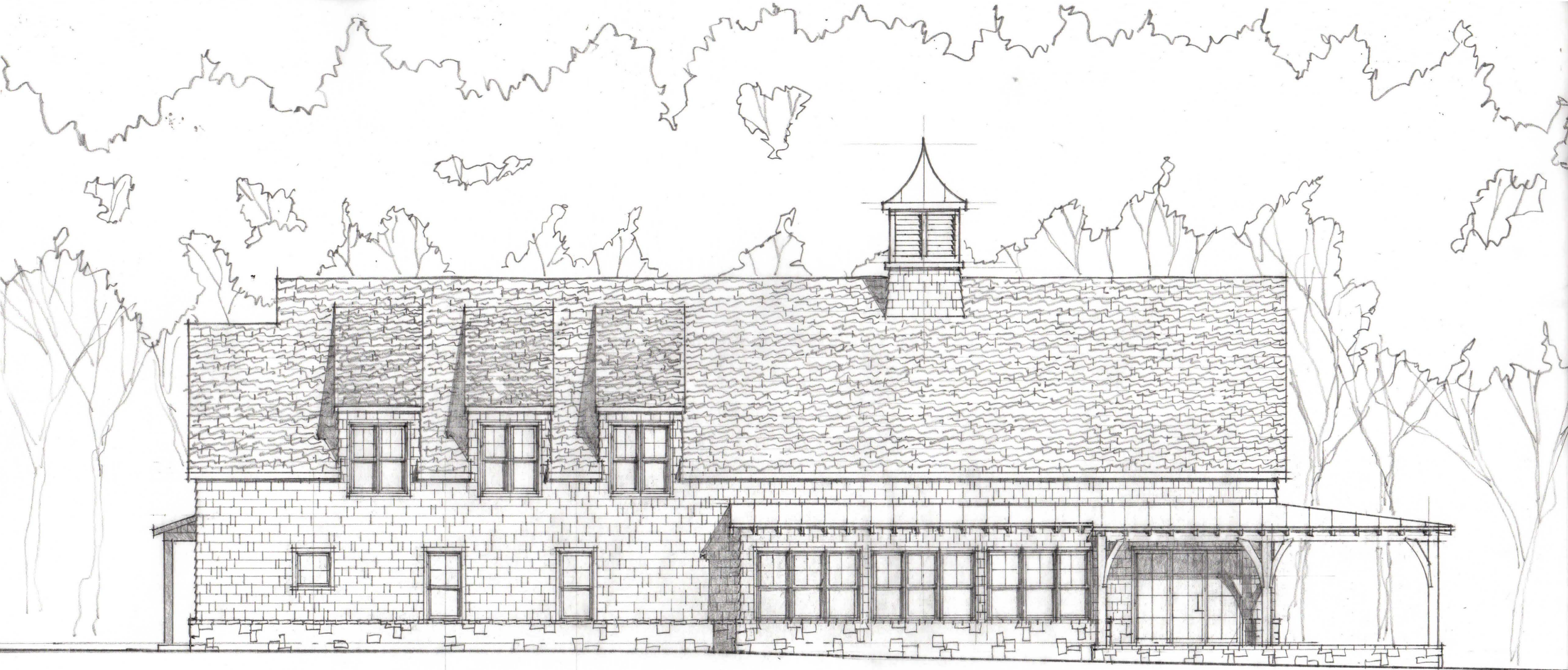
10-B-23-UR  
8/21/2023



POND VIEW ELEVATION

1/4" = 1'-0" EMPOWER FARM - COMMUNITY CENTER

10-B-23-UR  
8/21/2023



REAR ELEVATION

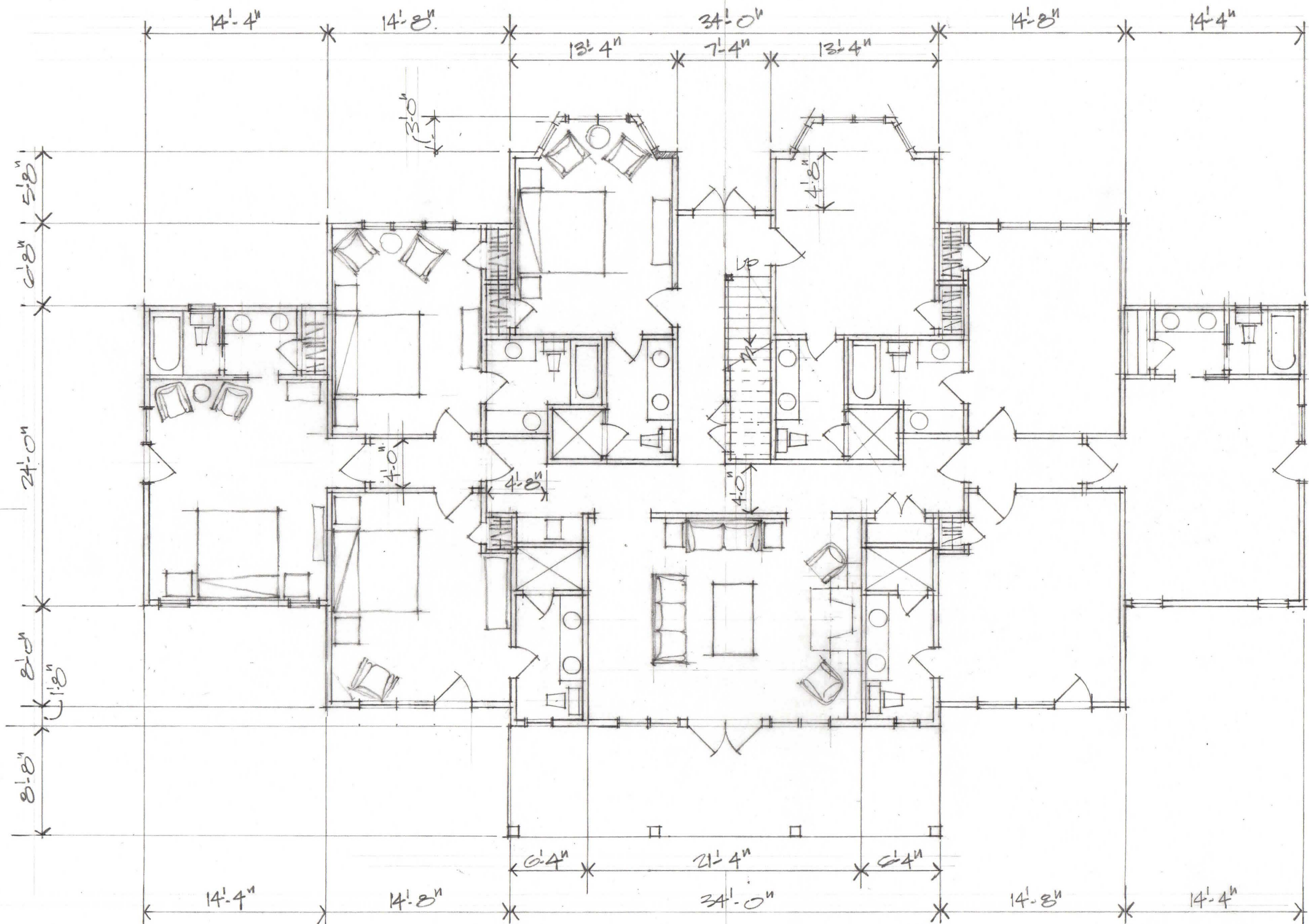
$\frac{1}{4}'' = 1'-0''$

EMPOWER FARM - COMMUNITY CENTER

10-B-23-UR  
8/21/2023



10-B-23-UR  
8/21/2023



MAIN FLOOR PLAN

1/8" = 1'-0" EMPOWER - LODGE

10-B-23-UR  
8/21/2023



REAR ELEVATION

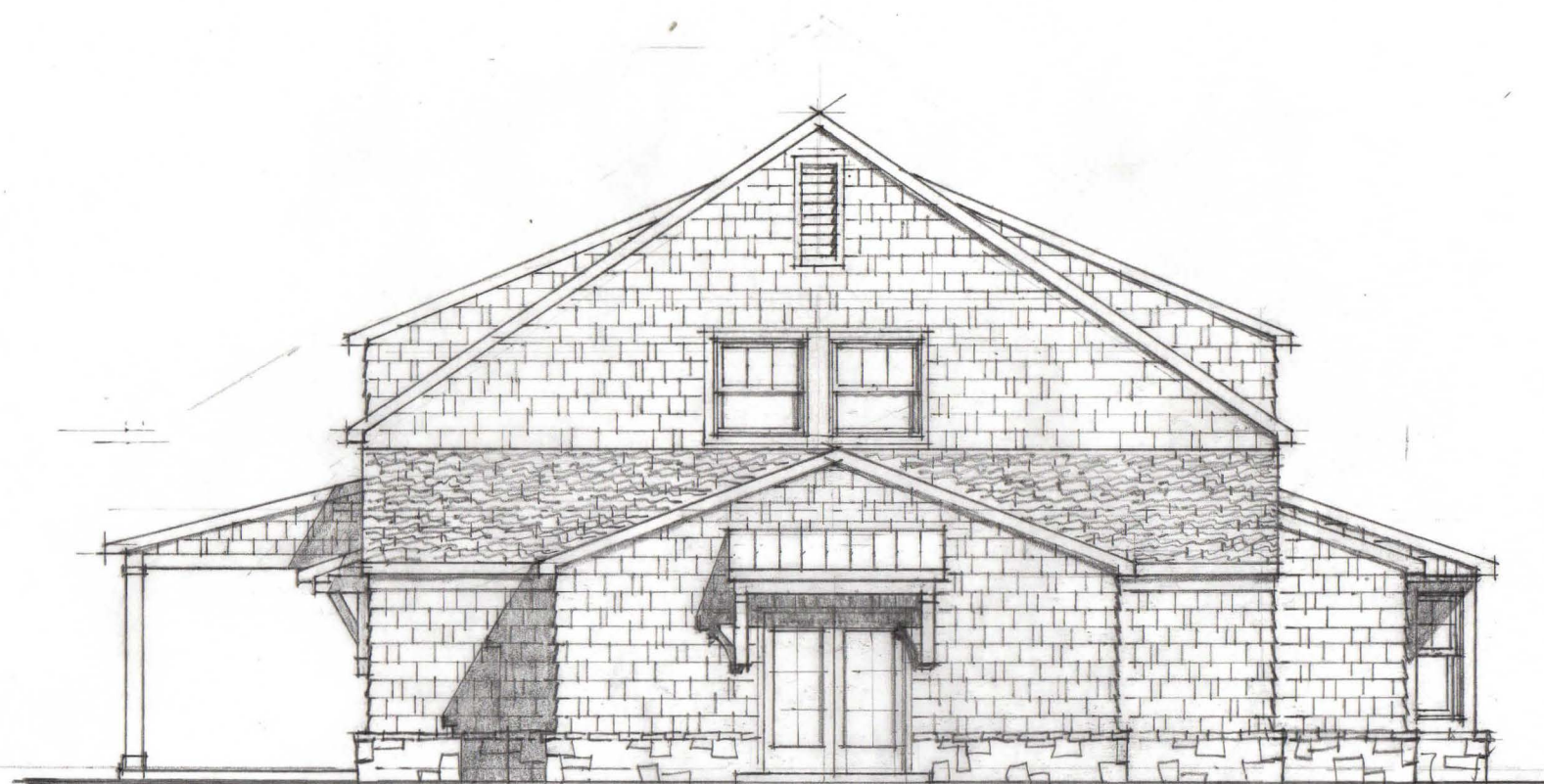
$\frac{1}{8}'' = 1'-0''$

EMPOWER - LODGE

10-B-23-UR

8/21/2023



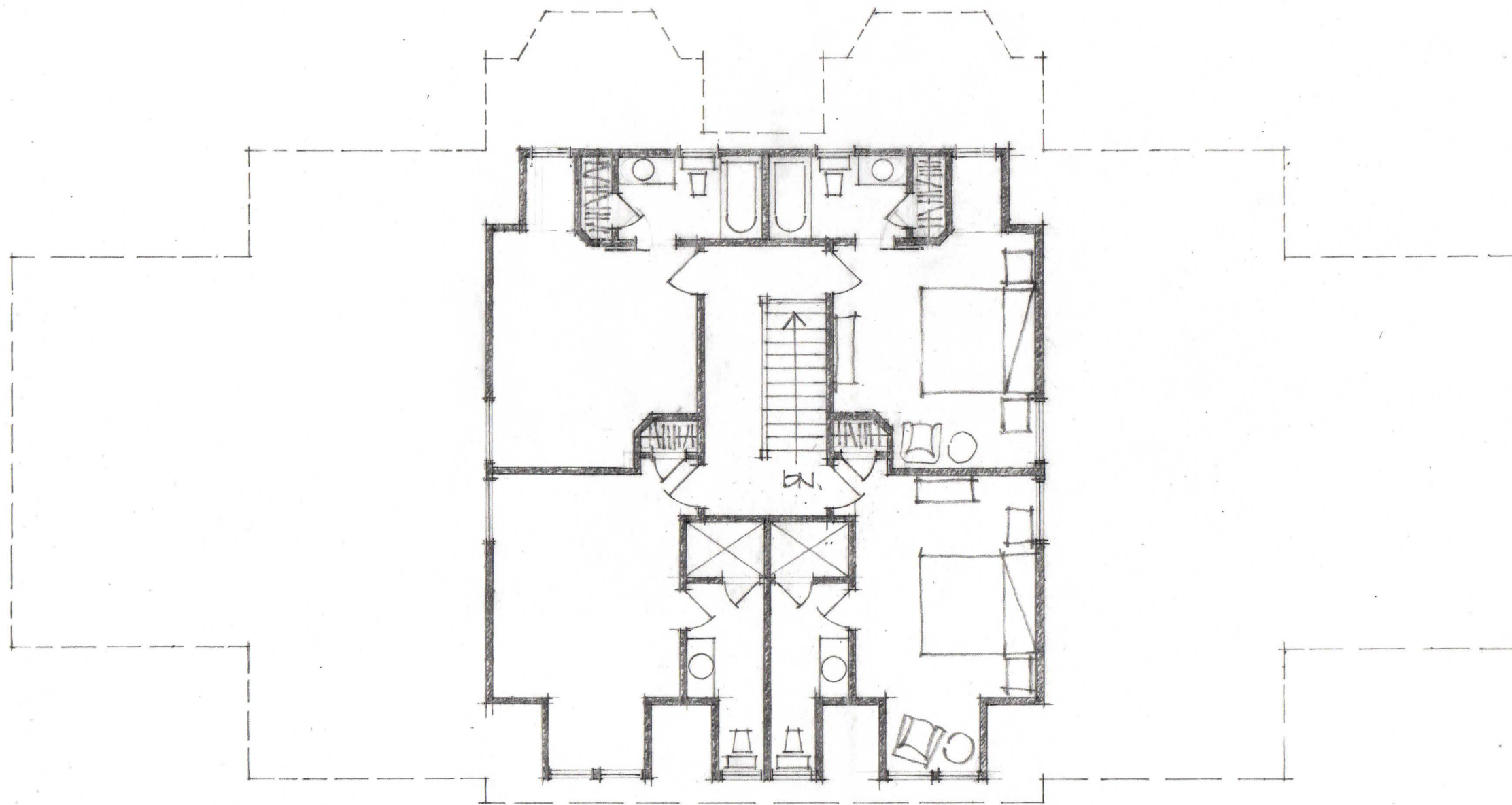


RIGHT SIDE ELEVATION

$\frac{1}{8}'' = 1'-0''$

EMPOWER - LODGE

10-B-23-UR  
8/21/2023



□ □ □ □

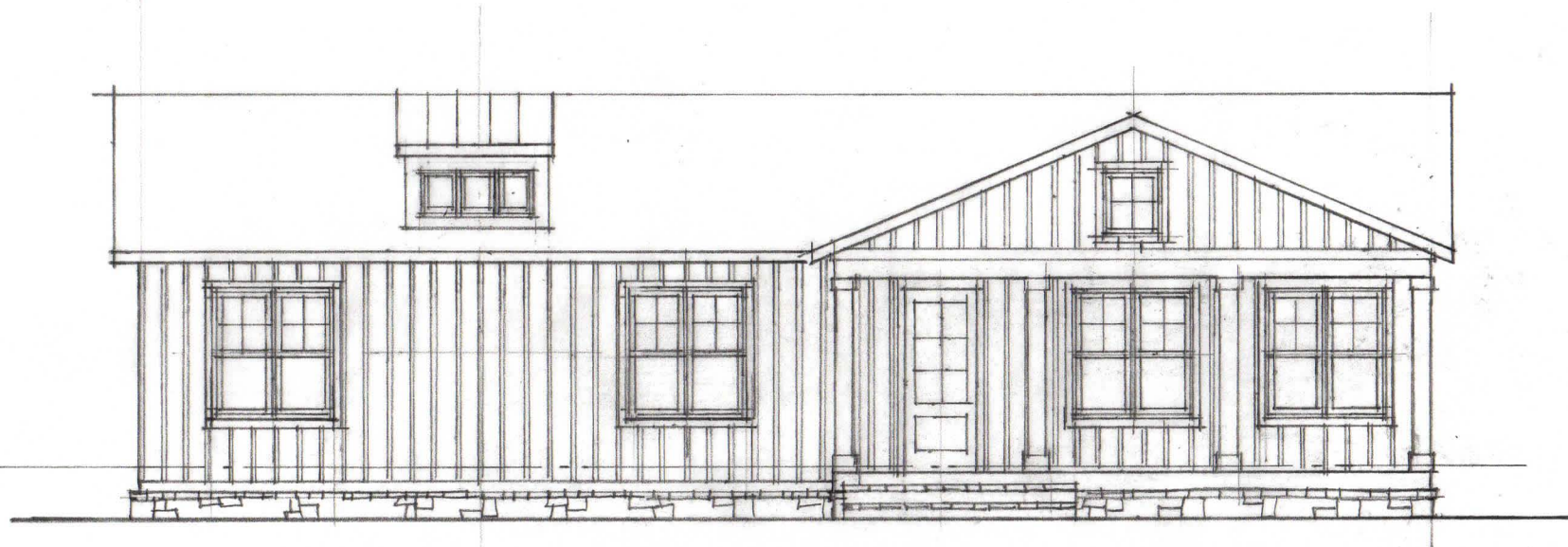
SECOND FLOOR PLAN

$\frac{1}{8}'' = 1'-0''$

EMPOWER-LODGE

10-B-23-UR  
8/21/2023

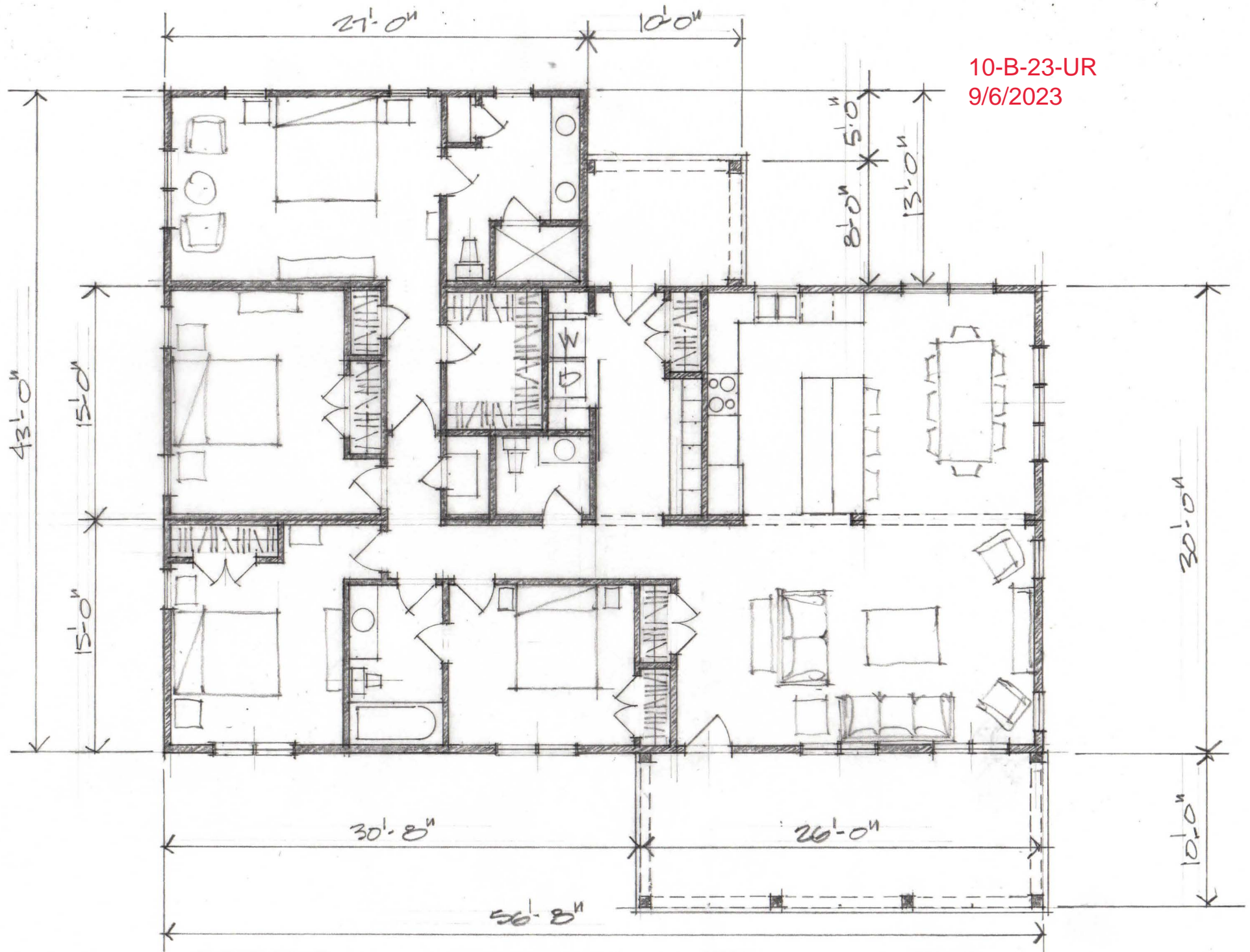
10-B-23-UR  
9/6/2023



EMPOWER SCHOOL & FARMS - MANAGER RESIDENCE

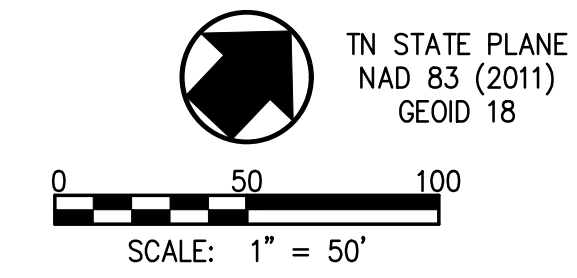
$\frac{1}{8}'' = 1'-0''$

10-B-23-UR  
9/6/2023



EMPOWER SCHOOL & FARMS - MANAGER RESIDENCE

$\frac{1}{8}'' = 1'-0''$



**NOTES:**

1. THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON & CANNON, INC. DATED APRIL 6, 2023.
2. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF BUILDING AND/OR FACE OF CURB.
3. THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND KNOX COUNTY STANDARD SPECIFICATIONS, PROPERTY CONCERNED REFLECTS PARCEL 94.01 AS SHOWN ON KNOX COUNTY CLT TAX MAP NO. 10. ZONING FOR THE PROPERTY IS A "AGRICULTURAL ZONE". TOTAL AREA IS 53.58± ACRES. THE TOTAL DISTURBED AREA IS APPROXIMATELY 7.19± ACRES.
5. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
6. ALL SETBACKS SHALL BE IN ACCORDANCE WITH KNOX COUNTY ZONING ORDINANCE.
7. OWNER: JORDAN WILMA  
510 PARK AVE. #12A  
NEW YORK, NY 10022
8. PERIMETER SLOPES SHALL BE LANDSCAPED AND ARE NOT TO EXCEED 2:1 (H:V) UNLESS PROPER STABILIZATION IS PROPOSED BY A GEOTECHNICAL ENGINEER.
9. PROPOSED LANDSCAPE WILL COMPLY WITH KNOX COUNTY TREE PROTECTION ORDINANCE.

**SIGHT DISTANCE NOTES**

SIGHT DISTANCES LIMITED BY EXISTING GRADING AND VEGETATION. SIGHT DISTANCES ARE LIKELY TO BE EXCEEDED IN PROPOSED CONDITIONS WITH PROPER GRADING AND CLEARING.

**LEGEND**

- HEAVY DUTY ASPHALT
- LIGHT DUTY ASPHALT
- GRAVEL
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- EXIST. R.O.W.
- BUILDING SETBACK LINE
- EXIST. EASEMENT LINE
- DETAIL REFERENCE (DETAIL NO./SHEET NO.)
- NUMBER OF PARKING SPACES
- COORDINATE POINT
- ACCESSIBLE PARKING

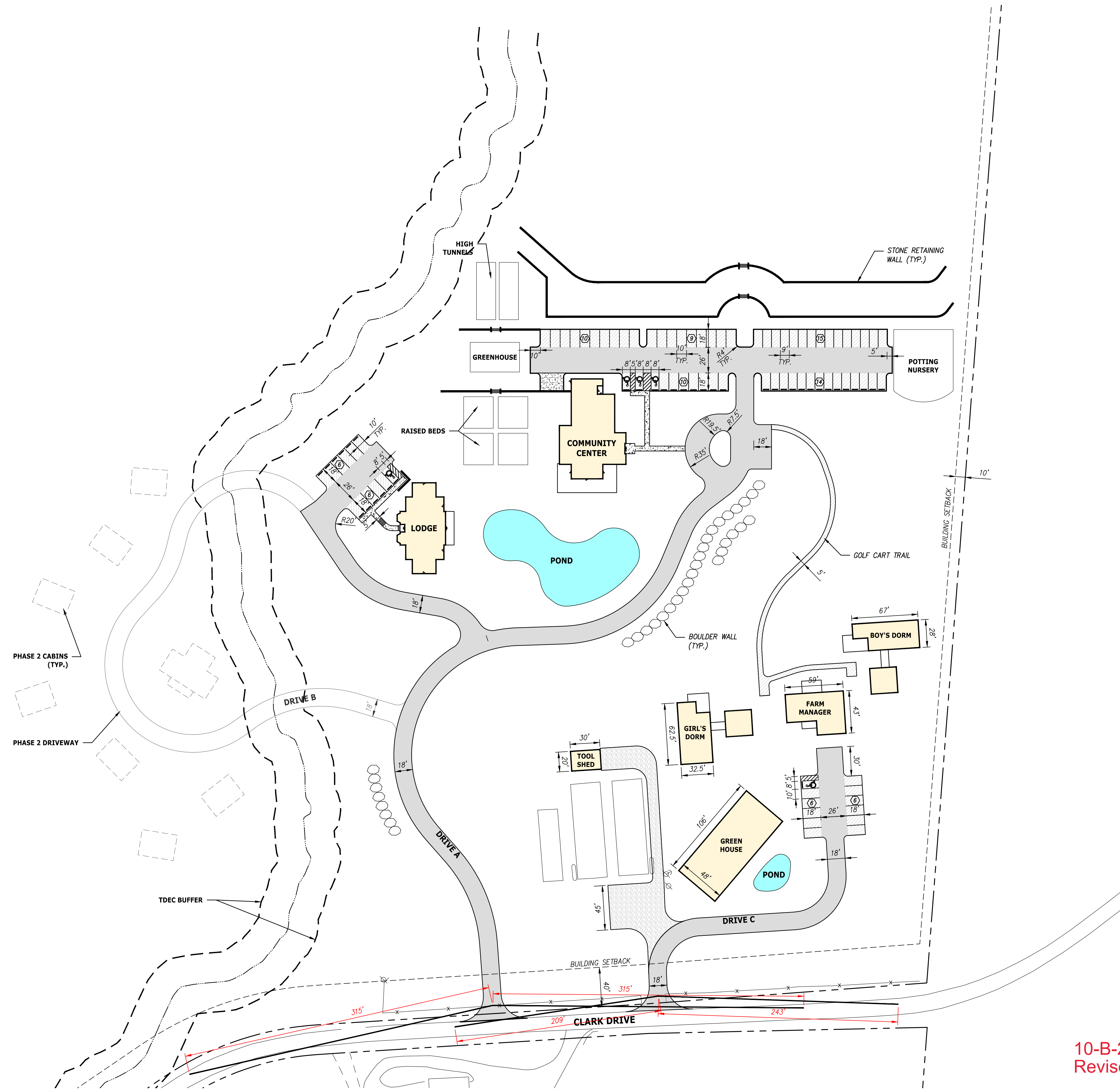
REVISIONS	DATE
<b>CANNON &amp; CANNON INC</b> CONSULTING ENGINEERS · FIELD SURVEYORS TEL: 865.670.8555   8550 Kingston Pike WWW.CANNON-CANNON.COM   Knoxville, TN 37919	

CLIENT: **WILMA JORDAN**  
510 PARK AVENUE 12A  
NEW YORK, NY 10022

PROJECT: **EMPOWER FARM MASTER PLAN**  
CLARK DRIVE  
KNOXVILLE, TN 37938

**SIGHT DISTANCE EXHIBIT**

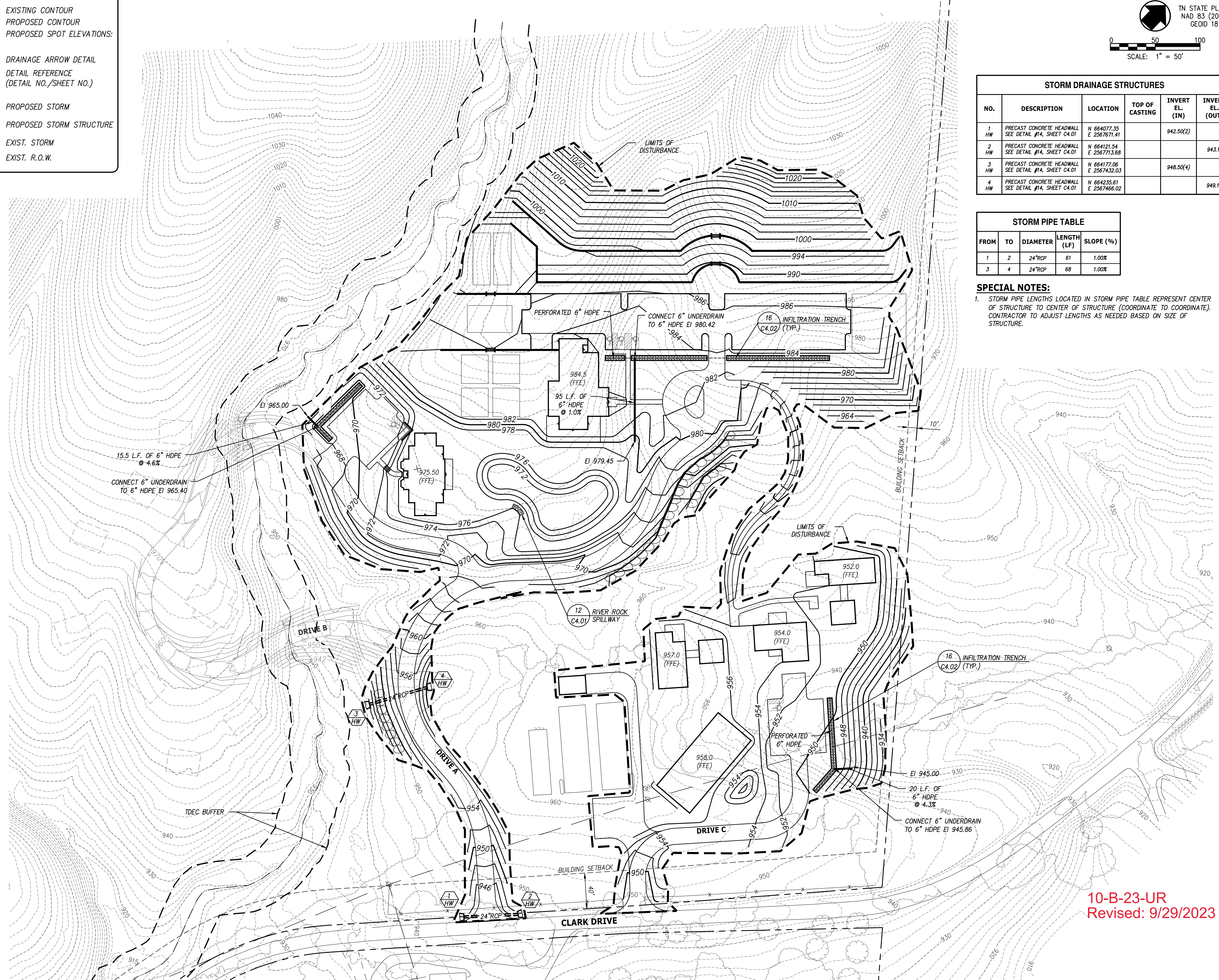
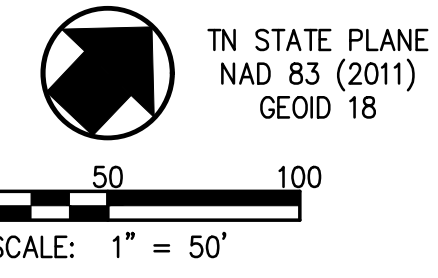
<b>PRELIMINARY FOR REVIEW ONLY</b>	CCI PROJECT NO.	01734-0001
	DRAWING DATE	AUGUST 16, 2023
	PM	AWG    PIC
	DRAWN	CO    CHECKED
<b>C1.01</b>		



10-B-23-UR  
Revised: 9/29/2023

**LEGEND**

- 884--- EXISTING CONTOUR
- 890— PROPOSED CONTOUR
- × 00.50 PROPOSED SPOT ELEVATIONS:
- DRAINAGE ARROW DETAIL
- ① C4.01 DETAIL REFERENCE (DETAIL NO./SHEET NO.)
- ST--- PROPOSED STORM
- ② PROPOSED STORM STRUCTURE
- ST--- EXIST. STORM
- EXIST. R.O.W.



STORM DRAINAGE STRUCTURES					
NO.	DESCRIPTION	LOCATION	TOP OF CASTING	INVERT EL. (IN)	INVERT EL. (OUT)
1	PRECAST CONCRETE HEADWALL SEE DETAIL #14, SHEET C4.01	N 664077.35 E 2567671.41		942.50(2)	
2	PRECAST CONCRETE HEADWALL SEE DETAIL #14, SHEET C4.01	N 664121.94 E 2567713.68			943.11
3	PRECAST CONCRETE HEADWALL SEE DETAIL #14, SHEET C4.01	N 664177.06 E 2567432.03		948.50(4)	
4	PRECAST CONCRETE HEADWALL SEE DETAIL #14, SHEET C4.01	N 664235.61 E 2567466.02			949.18

STORM PIPE TABLE				
FROM	TO	DIAMETER	LENGTH (LF)	SLOPE (%)
1	2	24"RCP	61	1.00%
3	4	24"RCP	68	1.00%

**SPECIAL NOTES:**  
 1. STORM PIPE LENGTHS LOCATED IN STORM PIPE TABLE REPRESENT CENTER OF STRUCTURE TO CENTER OF STRUCTURE (COORDINATE TO COORDINATE). CONTRACTOR TO ADJUST LENGTHS AS NEEDED BASED ON SIZE OF STRUCTURE.

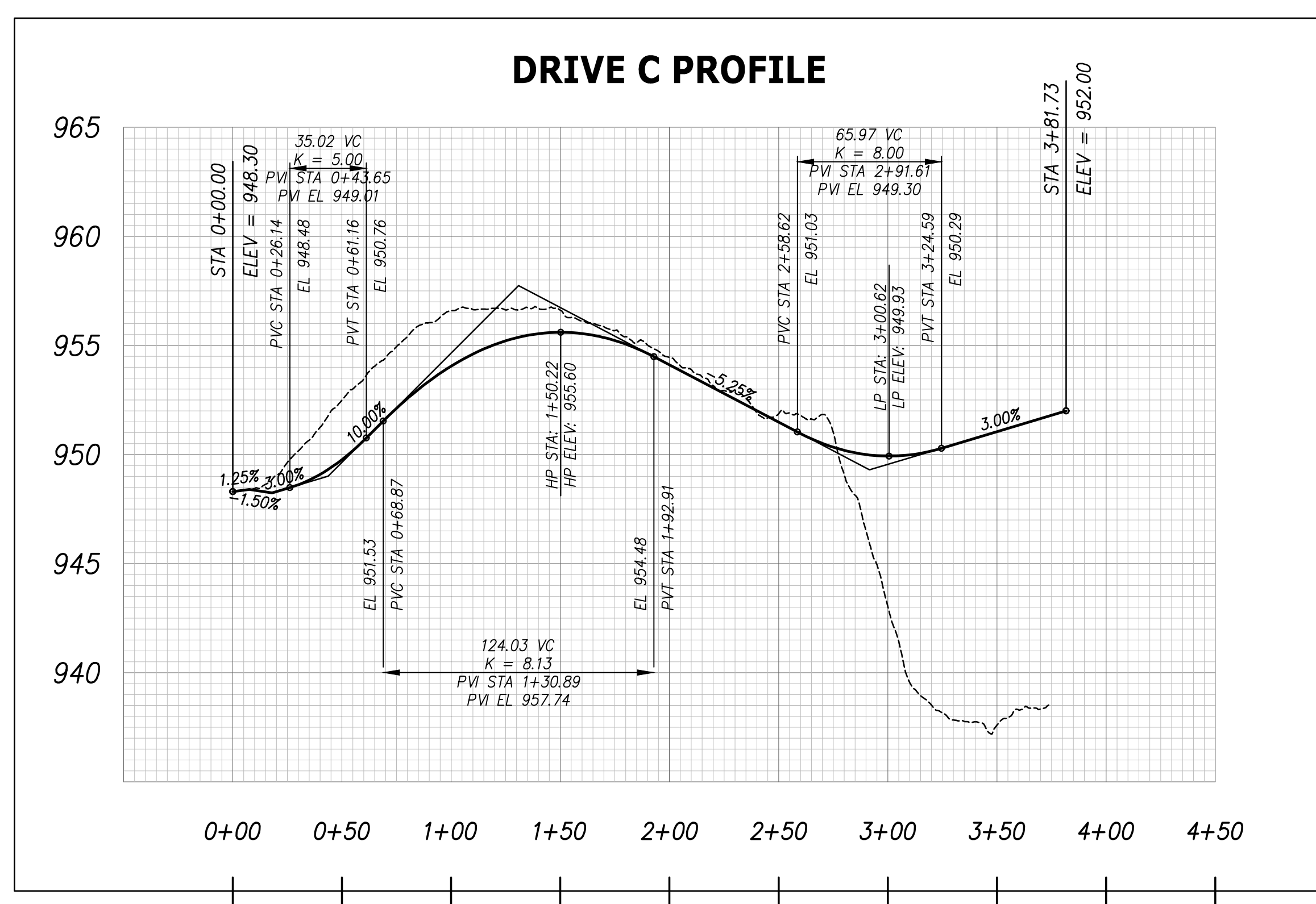
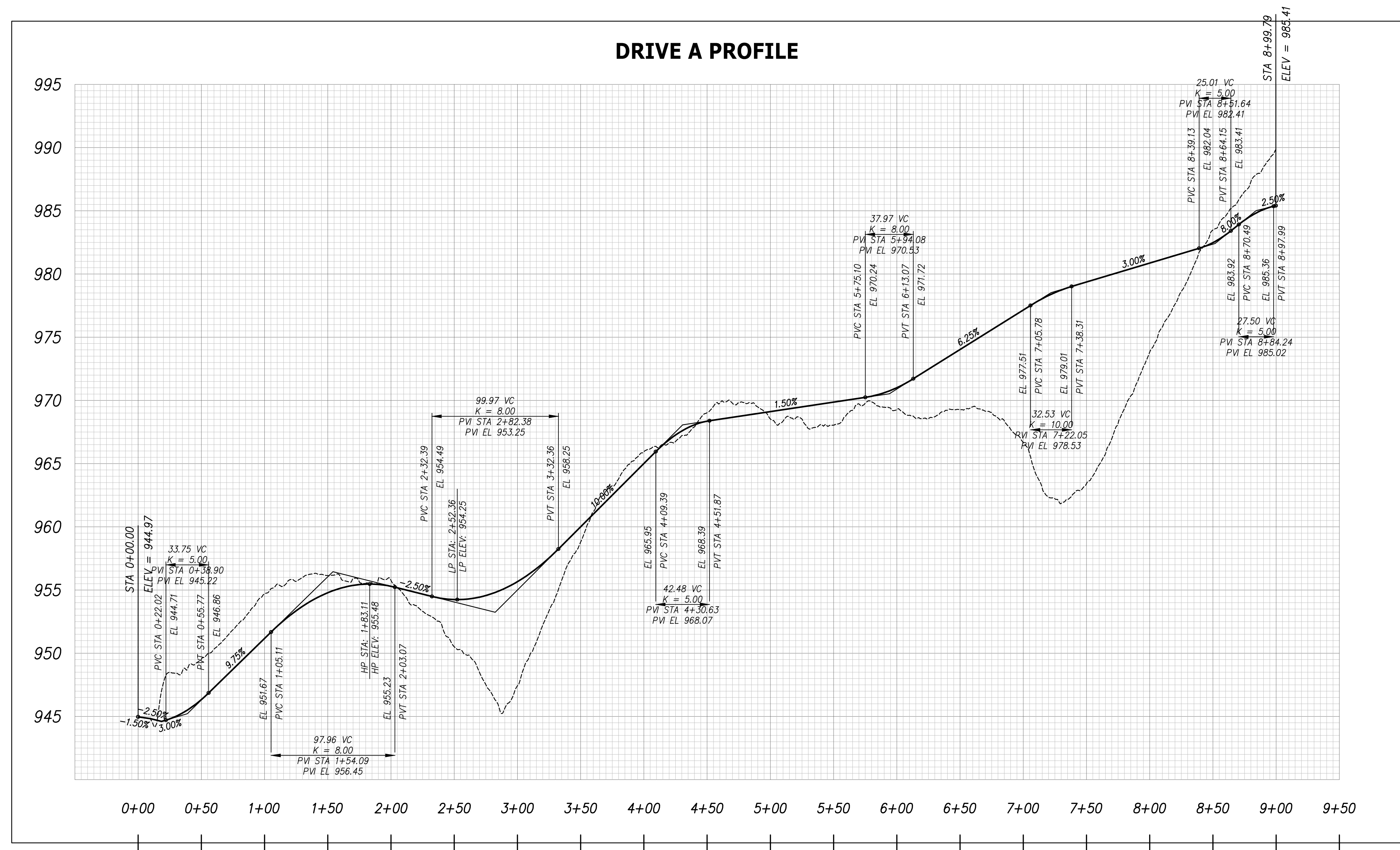
- GENERAL GRADING NOTES:**
- THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON AND CANNON, INC. DATED APRIL 6, 2023.
  - THE DISTURBED AREA IS APPROXIMATELY 7.79± ACRES. THE TOTAL SITE AREA IS APPROXIMATELY 53.58± ACRES.
  - UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISH GRADE. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 2 FT. INTERVALS.
  - EROSION CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK. THE DEVICES SHOWN ON THE DRAWINGS ARE THE MINIMUM REQUIRED. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL DEVICES AS NEEDED.
  - THE SITE SHALL BE CLEARED AND GRUBBED WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEARING AND GRUBBING OFF-SITE OR ON-SITE AT A LOCATION DETERMINED BY THE OWNER.
  - ALL TREE STUMPS, BOULDERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT BELOW THE SUBGRADE. ROCK SHALL BE SCARIFIED TO A DEPTH OF 1 FT BELOW SUBGRADE.
  - STRIP TOPSOIL TO A MINIMUM DEPTH OF 8-IN. AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE. PROOF ROLL AREAS TO RECEIVE FILL AND PLACE FILL IN ACCORDANCE WITH THE SITE SPECIFIC REPORT OF GEOTECHNICAL EXPLORATION PREPARED BY \_\_\_\_\_.
  - A 4 IN. (MIN) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEEDDED AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
  - ALL NEWLY GRADED EARTHEN AREAS THAT ARE NOT TO BE PAVED, STABILIZED, OR SODDED SHALL BE SEEDDED, FERTILIZED, AND MULCHED WITHIN 30 DAYS OF ATTAINMENT OF FINAL GRADE.
  - TEMPORARY SEEDING MIXTURES SHALL BE AS FOLLOWS:
 

SEEDING DATES	GRASS SEED	PERCENTAGES
1/1 TO 5/1	ITALIAN RYE	33%
	KOREAN LESPEDEZA	33%
	SUMMER OATS	34%
5/1 TO 7/15	SUDAN - SORGHUM	100%
	STAR MILLET	100%
7/15 TO 1/1	BALBOA RYE	67%
	ITALIAN RYE	33%
  - PERMANENT SEEDING MIXTURES SHALL BE AS FOLLOWS:
 

SEEDING DATES	GRASS SEED	PERCENTAGES
2/1 TO 7/1	KENTUCKY 31 FESCUE	80%
	KOREAN LESPEDEZA	15%
	ENGLISH RYE	5%
6/1 TO 8/15	KENTUCKY 31 FESCUE	55%
	ENGLISH RYE	20%
	KOREAN LESPEDEZA	15%
4/15 TO 8/15	BERMUDAGRASS (HULLED) ANNUAL LESPEDEZA	70%
	STAR MILLET	30%
8/1 TO 12/1	KENTUCKY 31 FESCUE	70%
	ENGLISH RYE	20%
2/1 TO 12/1	KENTUCKY 31 FESCUE	70%
	CROWN VETCH	25%
	ENGLISH RYE	5%
  - MULCH WITH STRAW AT A RATE OF 100 LBS./1000 S.F. OVER THE SEEDED AREAS.
  - DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
  - NO SLOPE SHALL EXCEED 2:1 (H:V). ALL SLOPES STEEPER THAN 3:1 TO RECEIVE EXTENDED TERM EROSION CONTROL BLANKET.
  - TO PREVENT EROSION, ALL SLOPES 2:1 OR GREATER ARE TO BE TRACKED WITH A DOZER TO FORM CLEAT MARKS PARALLEL TO THE CONTOUR.
  - APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACE IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO ALL SOIL STOCKPILES.
  - APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.

<p><b>CANNON &amp; CANNON INC</b>          CONSULTING ENGINEERS · FIELD SURVEYORS          TEL 865.670.8555   8550 Kingston Pike          WWW.CANNON-CANNON.COM   Knoxville, TN 37919</p>	<p>CLIENT: <b>WILMA JORDAN</b>          510 PARK AVENUE 12A          NEW YORK, NY 10022</p>								
<p>PROJECT: <b>EMPOWER FARM MASTER PLAN</b>          CLARK DRIVE          KNOXVILLE, TN 37938</p>									
<p><b>OVERALL SITE GRADING &amp; DRAINAGE PLAN</b></p>									
<p><b>PRELIMINARY FOR REVIEW ONLY</b></p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>CCI PROJECT NO.</td> <td>01734-0001</td> </tr> <tr> <td>DRAWING DATE</td> <td>AUGUST 16, 2023</td> </tr> <tr> <td>PM</td> <td>AWG PIC -</td> </tr> <tr> <td>DRAWN</td> <td>CO CHECKED -</td> </tr> </table> <p style="font-size: 24pt; font-weight: bold; text-align: center;">C2.01</p>	CCI PROJECT NO.	01734-0001	DRAWING DATE	AUGUST 16, 2023	PM	AWG PIC -	DRAWN	CO CHECKED -
CCI PROJECT NO.	01734-0001								
DRAWING DATE	AUGUST 16, 2023								
PM	AWG PIC -								
DRAWN	CO CHECKED -								

10-B-23-UR  
 Revised: 9/29/2023



10-B-23-UR  
Revised: 9/29/2023

REVISIONS	DATE								
<b>CANNON &amp; CANNON INC</b> CONSULTING ENGINEERS · FIELD SURVEYORS TEL 865.670.8555   8550 Kingston Pike WWW.CANNON-CANNON.COM   Knoxville, TN 37919									
CLIENT: <b>WILMA JORDAN</b> 510 PARK AVENUE 12A NEW YORK, NY 10022									
PROJECT: <b>EMPOWER FARM MASTER PLAN</b> CLARK DRIVE KNOXVILLE, TN 37938									
<b>DRIVEWAY PROFILE</b>									
<b>PRELIMINARY FOR REVIEW ONLY</b>	CCI PROJECT NO. 01734-0001								
	DRAWING DATE AUGUST 16, 2023								
	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>PM</td> <td>AWG</td> <td>PIC</td> <td>-</td> </tr> <tr> <td>DRAWN</td> <td>CO</td> <td>CHECKED</td> <td>-</td> </tr> </table>	PM	AWG	PIC	-	DRAWN	CO	CHECKED	-
	PM	AWG	PIC	-					
DRAWN	CO	CHECKED	-						
<b>C2.03</b>									