

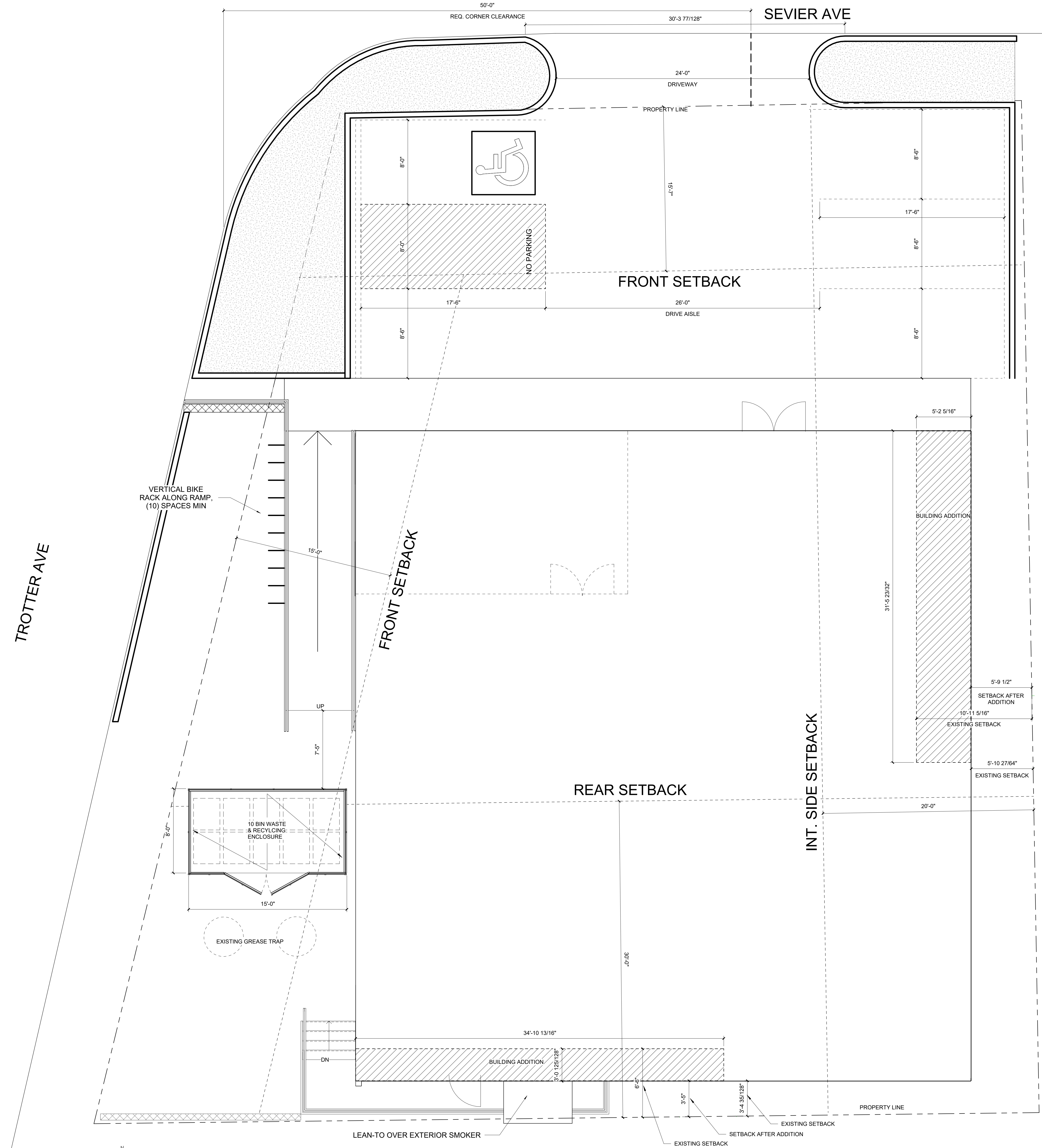
ZONING: **C-N**  
 EXISTING SF: **3,286 SF**  
 PROPOSED SF: **3,595 SF**

PARKING CALCULATIONS:  
 EAT/DRINK ESTABLISHMENT:  
**8 / 1,000 GFA (NO DRIVE-THRU)**

3,595 SF = 3,595 X 8 = **31.672**  
 C-N ZONE REDUCTION @ 40%  
 31.672 \* 0.60 = **19 SPOTS**

BZA APPEAL: **BZA-24-0057**  
**09/17/2024**

APPROVED:  
 MIN PARKING SPACES: **5 SPOTS**  
 STALL WIDTH MIN: **8.5'**



1 Site  
 AS100  
 1/4" = 1'-0"

NOT FOR  
 CONSTRUCTION

PRELIMINARY DESIGN  
**WILLY'S BUTCHER SHOP**  
 3336 SEVIER AVE.

Project Number:	24021
Date:	09/19/2024
Drawn By:	GMM
Principal:	GRS

#	REVISION NAME	DATE

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ARCHITECTURAL SITE PLAN

**AS100**

10-A-24-SU  
 Rev 09/19/2024

**GENERAL NOTES**

1. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
2. COORDINATE WITH REQUIREMENTS OF OWNER SUPPLIED EQUIPMENT AS REQUIRED.
3. DIMENSIONS ARE TO FACE OF STUD OR OUTSIDE EDGE STRUCTURE.
4. THE CONTRACTOR SHALL LAYOUT ALL PARTITIONS AND VERIFY ACCEPTABILITY OF LAYOUT WITH ARCHITECT PRIOR TO START OF THIS WORK.
5. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL OBTAIN WRITTEN CLARIFICATION FROM ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
6. PROVIDE SOLID WOOD BLOCKING FOR MOUNTING OF CABINETS AND TOILET ACCESSORIES. ALL GRAB BAR MOUNTING TO SUPPORT 250 LB. MIN. LOAD

NOT FOR CONSTRUCTION

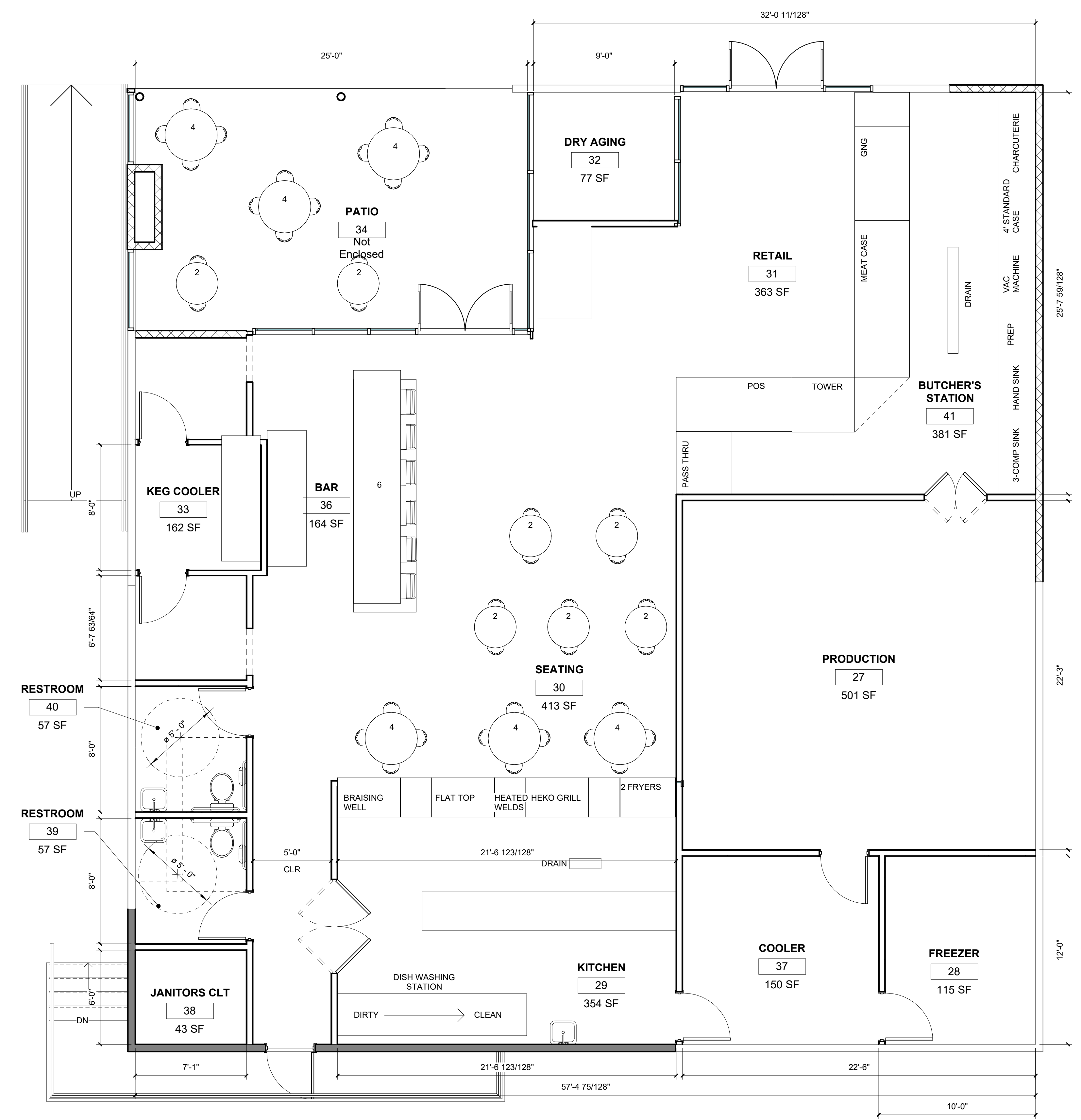
PRELIMINARY DESIGN  
**WILLY'S BUTCHER SHOP**  
 3336 SEVIER AVE.

**WALL LEGEND**

- EXISTING WALL
- NEW WALL
- NEW IMP WALL

**FEC** FIRE EXTINGUISHER CABINET

EXIT SIGNS



**1 PROPOSED FLOOR PLAN**  
 A101 1/4" = 1'-0"

Project Number:	24021	
Date:	09/19/2024	
Drawn By:	GMM	
Principal:	GRS	
#	REVISION NAME	DATE

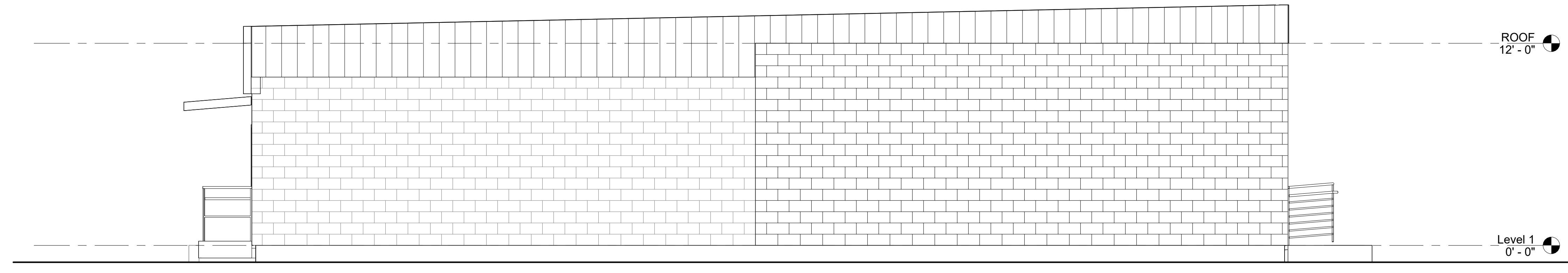
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FLOOR PLANS

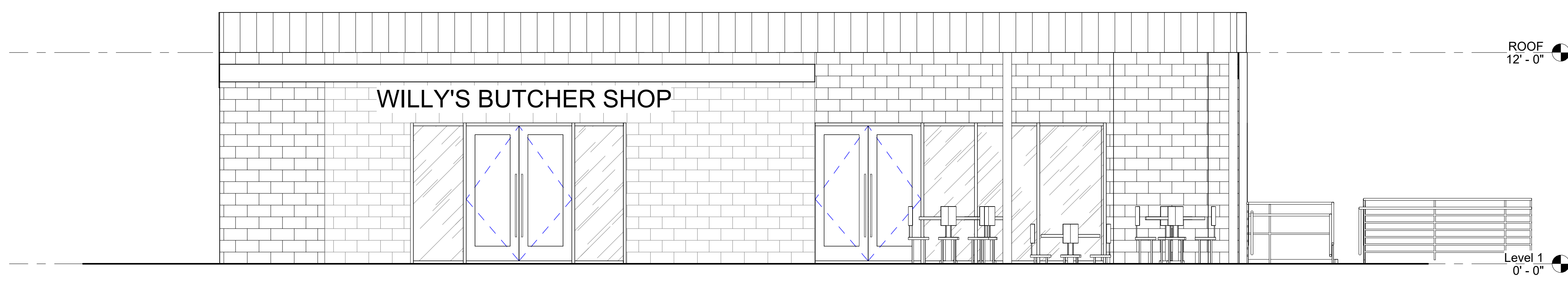
**A101**  
 10-A-24-SU

NOT FOR  
 CONSTRUCTION

PRELIMINARY DESIGN  
**WILLY'S BUTCHER SHOP**  
 3336 SEVIER AVE.



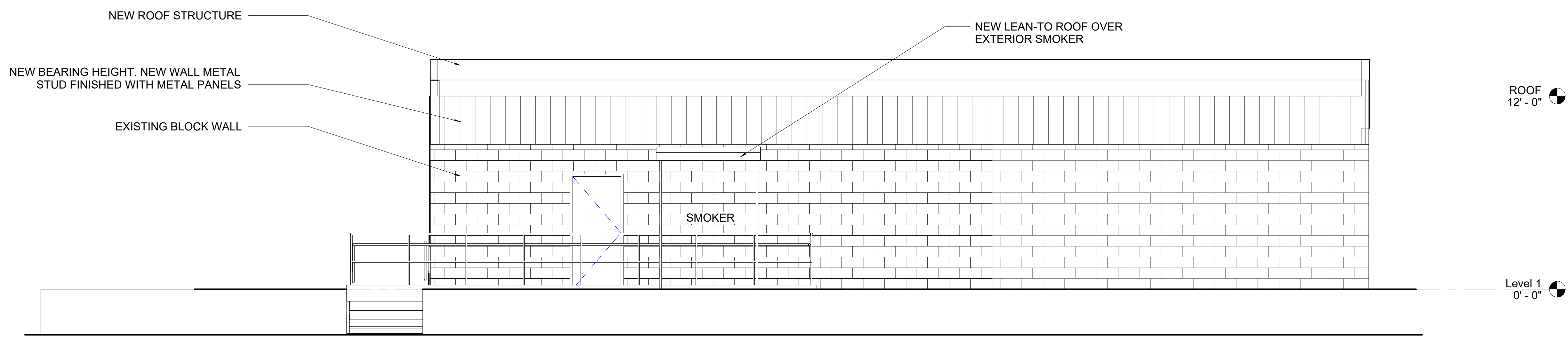
1  
 A401 INTERIOR SIDE ELEVATION  
 1/4" = 1'-0"



2  
 A401 SEVIER AVE. ELEVATION  
 1/4" = 1'-0"



4  
 A401 TROTTER AVE. ELEVATION  
 1/4" = 1'-0"



3  
 A401 REAR ELEVATION  
 1/4" = 1'-0"

Project Number: 24021  
 Date: 09/19/2024

Drawn By: Author  
 Principal: Approver

#	REVISION NAME	DATE

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EXTERIOR  
 ELEVATIONS

# Alternative preliminary elevation contingent upon receiving FIP grant



FRONT VIEW  
August 2023

**DRAFT**



EAST TENNESSEE COMMUNITY  
DESIGN CENTER

1300 N. Broadway  
Knoxville, TN 37917  
Phone - 865-525-9945  
Website - [www.communitydc.org](http://www.communitydc.org)



TENNESSEE  
ARTS  
COMMISSION  
Cultivate. Create. Participate.

Funding for this project is provided by  
the City of Knoxville Community  
Development Department, Community  
Development Block Grant.

## Facade Enhancement 3336 Sevier Ave

3336 Sevier Avenue, Knoxville, TN 37920  
Date: November 1, 2023 ETDCDC Project #2186

This project is in association with the City of Knoxville Facade Enhancement Program, client: William Carithers, 865-771-9769.

Professional Advisor: In-House Staff  
ETCDC Coordinator: J. Perry Childress  
ETCDC Staff:  
ETCDC Executive Director: L. Duane Grieve, FAIA

**Conceptual Presentation Drawings  
NOT FOR CONSTRUCTION**

FRONT PROPOSED

1 2 3 4