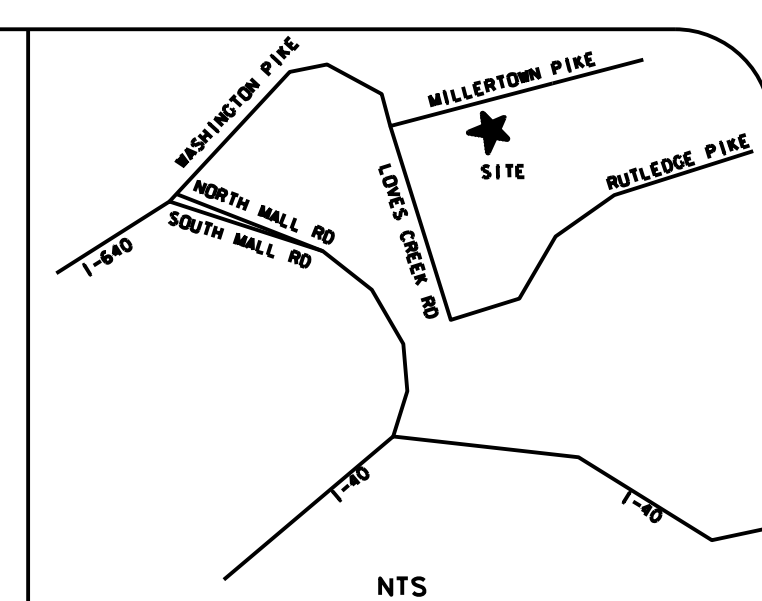
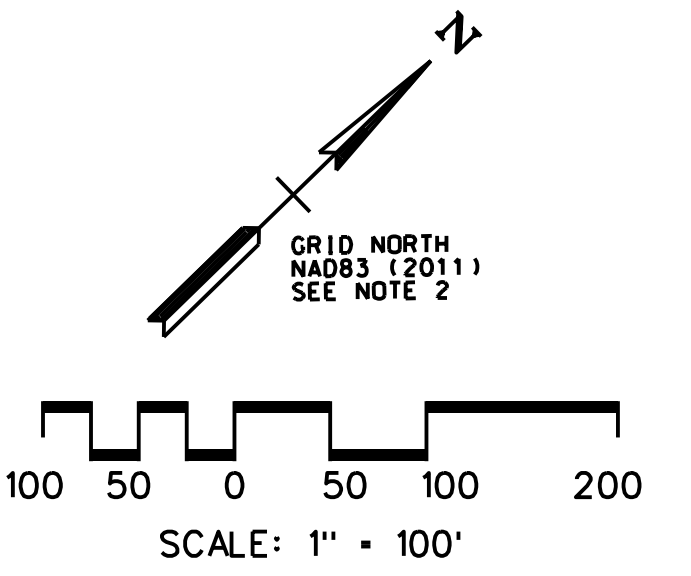


PLANNING COMMISSION CERTIFICATE OF APPROVAL FOR RECORDING - FINAL PLAT  
 THIS IS TO CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF KNOXVILLE AND KNOX COUNTY AND WITH EXISTING OFFICIAL PLANS, WITH THE EXCEPTION OF ANY VARIANCES AND WAIVERS NOTED ON THIS PLAT AND IN THE MINUTES OF THE KNOXVILLE-KNOX COUNTY PLANNING COMMISSION. ON THIS THE DAY OF \_\_\_\_\_, 2024, AND THAT THE RECORD PLAT IS HEREBY APPROVED FOR RECORDING IN THE OFFICE OF THE KNOX COUNTY REGISTER OF DEEDS, PURSUANT TO SECTION 13-3-405 OF TENNESSEE CODE, ANNOTATED. THE APPROVAL OF THIS PLAT BY THE PLANNING COMMISSION SHALL NOT BE DEEMED TO CONSTITUTE OR EFFECT AN ACCEPTANCE BY THE CITY OF KNOXVILLE OR KNOX COUNTY OF THE DEDICATION OF ANY STREET OR OTHER GROUND UPON THE PLAT.

SIGNED: \_\_\_\_\_  
 DATE: \_\_\_\_\_



NTS  
**VICINITY MAP**



**LEGEND**

- IPF 1/2" IRON PIN FOUND (OLD)
- 1/2" IRON PIN SET (NEW)
- EASEMENT
- G- GAS LINE
- C- CENTERLINE PAVEMENT
- OVERHEAD ELECTRIC
- BOUNDARY LINES
- 24 NEW LOT NUMBERS
- 92 ADJOINING/OLD LOT NUMBERS
- ADJOINER LINE
- BUILDING SETBACK

**MONUMENT TABLE**  
 ALL PERMANENT MONUMENTS SHOWN BELOW ARE PK NAILS SET IN ASPHALT.

MON#1 N 625182.398	E 2602149.669
MON#2 N 624948.660	E 2602259.842 ELEV.1088.0
MON#3 N 624766.135	E 2601985.859
MON#4 N 625022.606	E 2601826.351
MON#5 N 624595.572	E 2601290.196
MON#6 N 624363.993	E 2601481.911
MON#7 N 623905.156	E 2601107.995
MON#8 N 624155.629	E 2600862.271

HOMEOWNERS ASSOCIATION  
 INSTRUMENT NO  
 202012300052967

OWNER:  
 FOG-RSE Knoxville JV, LLC,  
 a Delaware limited liability  
 company  
 1100 Brookstone Centre Pkwy  
 Columbus, GA 31904  
 (706) 580-9580

1-SC-24-F

FINAL PLAT OF:  
**THE HIGHLANDS AT CLEAR SPRING UNIT 3**

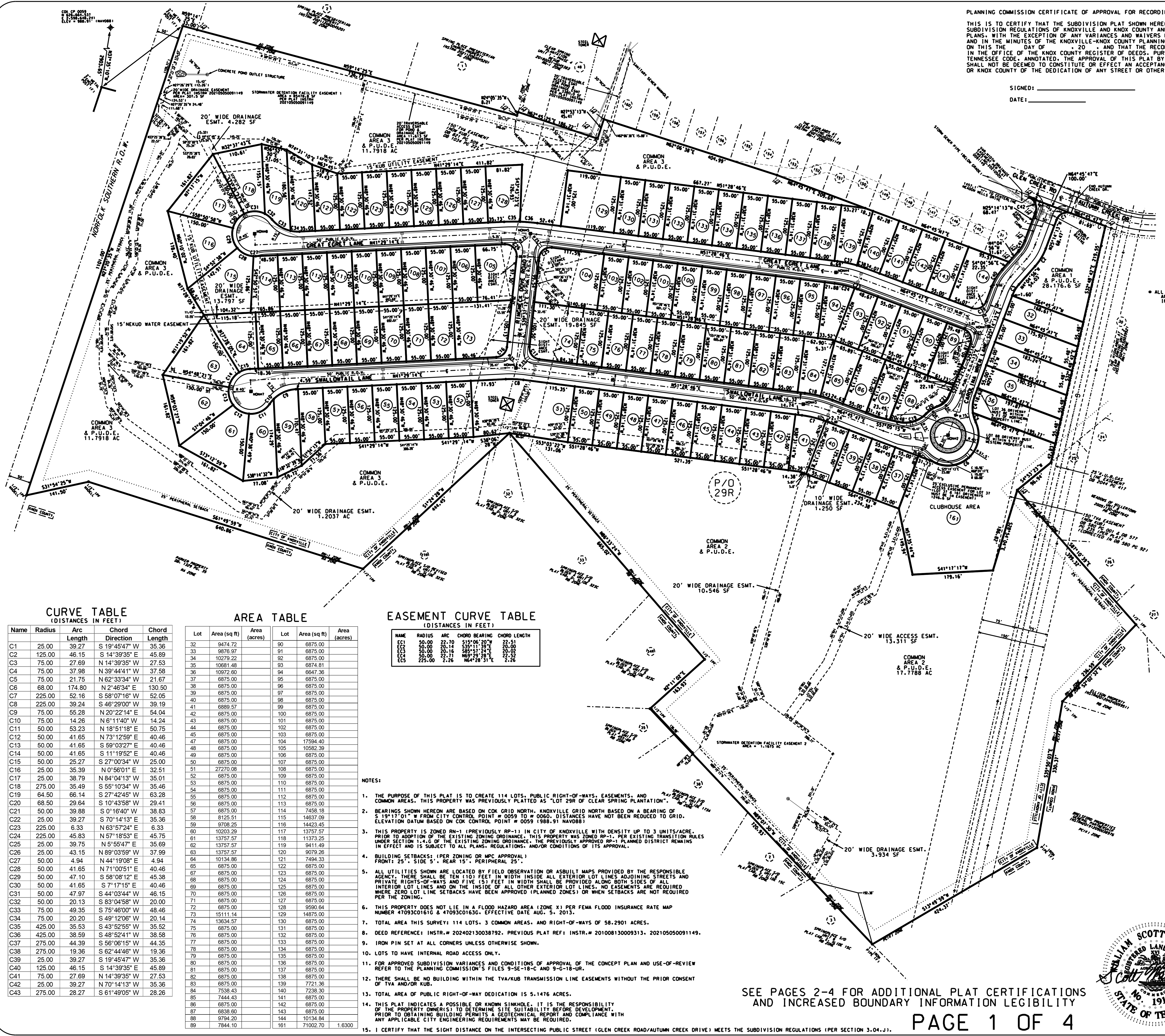
RESUBDIVISION OF LOT 29R OF UNIT 1,  
 CLEAR SPRING PLANTATION  
 AUTUMN CREEK DRIVE  
 KNOXVILLE, TENNESSEE  
 CLT MAP 60 H E PARCEL P/O 103.01  
 CITY OF KNOXVILLE WARD 32 BLOCK 32546  
 DATE: FEB. 14, 2024

JOB #1843

**W. SCOTT WILLIAMS & ASSOCIATES**  
 4538 Annelise Way  
 Knoxville, Tennessee 37921  
 P & F: (865) 692-9889  
 E-MAIL: survey@scotwilliams.com  
 CONSULTING  
 CIVIL ENGINEERING  
 LAND SURVEYING



SEE PAGES 2-4 FOR ADDITIONAL PLAT CERTIFICATIONS  
 AND INCREASED BOUNDARY INFORMATION LEGIBILITY  
**PAGE 1 OF 4**



**CURVE TABLE**  
 (DISTANCES IN FEET)

Name	Radius	Arc Length	Chord Direction	Chord Length
C1	25.00	39.27	S 19°45'47" W	35.36
C2	125.00	46.15	S 14°39'35" E	45.89
C3	75.00	27.69	N 14°39'35" W	27.53
C4	75.00	37.98	N 39°44'41" W	37.58
C5	75.00	21.75	N 62°33'34" W	21.67
C6	68.00	174.80	N 2°46'34" E	130.50
C7	225.00	52.16	S 58°07'16" W	52.05
C8	225.00	39.24	S 46°29'00" W	39.19
C9	75.00	55.28	N 20°22'04" E	54.04
C10	75.00	14.26	N 6°11'40" W	14.24
C11	50.00	53.25	N 18°51'18" E	50.75
C12	50.00	41.65	N 73°12'59" E	40.46
C13	50.00	41.65	S 69°03'27" E	40.46
C14	50.00	41.65	S 11°19'52" E	40.46
C15	50.00	25.27	S 27°00'34" W	25.00
C16	25.00	35.39	N 0°56'01" E	32.51
C17	25.00	38.79	N 84°04'13" W	35.01
C18	275.00	35.49	S 55°10'34" W	35.46
C19	64.50	66.14	S 27°42'45" W	63.28
C20	68.50	29.64	S 10°43'58" W	29.41
C21	50.00	39.88	S 0°16'40" W	38.83
C22	25.00	39.27	S 70°14'13" E	35.36
C23	225.00	6.33	N 63°57'24" E	6.33
C24	225.00	45.83	N 57°18'53" E	45.75
C25	25.00	39.75	N 5°55'47" E	35.69
C26	25.00	43.15	N 89°03'59" W	37.99
C27	50.00	4.94	N 44°19'08" E	4.94
C28	50.00	41.65	N 71°00'51" E	40.46
C29	50.00	47.10	S 58°08'12" E	45.38
C30	50.00	41.65	S 7°17'15" E	40.46
C31	50.00	47.97	S 44°03'44" W	46.15
C32	50.00	20.13	S 83°04'58" W	20.00
C33	75.00	49.35	S 75°46'00" W	48.46
C34	75.00	20.20	S 49°12'06" W	20.14
C35	425.00	35.53	S 43°52'55" W	35.52
C36	425.00	38.59	S 48°52'41" W	38.58
C37	275.00	44.39	S 56°06'15" W	44.35
C38	275.00	19.36	S 62°44'46" W	19.36
C39	25.00	39.27	S 19°45'47" W	35.36
C40	125.00	46.15	S 14°39'35" E	45.89
C41	75.00	27.69	N 14°39'35" W	27.53
C42	25.00	39.27	N 70°14'13" W	35.36
C43	275.00	28.27	S 61°49'05" W	28.26

**AREA TABLE**

Lot	Area (sq ft)	Area (acres)	Lot	Area (sq ft)	Area (acres)
32	9474.72	90	8875.00		
33	9876.97	91	8875.00		
34	10279.22	92	8875.00		
35	10681.48	93	8874.81		
36	10972.60	94	8647.36		
37	8875.00	95	8875.00		
38	8875.00	96	8875.00		
39	8875.00	97	8875.00		
40	8875.00	98	8875.00		
41	8889.57	99	8875.00		
42	8875.00	100	8875.00		
43	8875.00	101	8875.00		
44	8875.00	102	8875.00		
45	8875.00	103	8875.00		
47	8875.00	104	17594.40		
48	8875.00	105	10582.39		
49	8875.00	106	8875.00		
50	8875.00	107	8875.00		
51	27270.08	108	8875.00		
52	8875.00	109	8875.00		
53	8875.00	110	8875.00		
54	8875.00	111	8875.00		
55	8875.00	112	8875.00		
56	8875.00	113	8875.00		
57	8875.00	114	7458.18		
58	8125.51	115	14637.09		
59	9708.25	116	14423.45		
60	10203.29	117	13757.57		
61	13757.57	118	11373.25		
62	13757.57	119	9411.49		
63	13757.57	120	9079.26		
64	10134.86	121	7494.33		
65	8875.00	122	8875.00		
67	8875.00	123	8875.00		
68	8875.00	124	8875.00		
69	8875.00	125	8875.00		
70	8875.00	126	8875.00		
71	8875.00	127	8875.00		
72	8875.00	128	9590.64		
73	15111.14	129	14875.00		
74	13634.57	130	8875.00		
75	8875.00	131	8875.00		
76	8875.00	132	8875.00		
77	8875.00	133	8875.00		
78	8875.00	134	8875.00		
79	8875.00	135	8875.00		
80	8875.00	136	8875.00		
81	8875.00	137	8875.00		
82	8875.00	138	8875.00		
83	8875.00	139	7721.36		
84	7538.43	140	7238.30		
85	7444.43	141	8875.00		
86	8875.00	142	8875.00		
87	8838.60	143	8875.00		
88	9794.20	144	10134.84		
89	7844.10	145	71002.70		
		16300			

**EASEMENT CURVE TABLE**  
 (DISTANCES IN FEET)

Name	Radius	Arc Length	Chord Bearing	Chord Length
EC1	50.00	22.70	S15°06'20" W	22.51
EC2	50.00	20.14	S88°11'39" E	20.00
EC3	50.00	22.71	N69°29'28" E	22.52
EC4	25.00	2.26	N64°28'31" E	2.26

**NOTES:**

- THE PURPOSE OF THIS PLAT IS TO CREATE 114 LOTS, PUBLIC RIGHT-OF-WAYS, EASEMENTS, AND COMMON AREAS. THIS PROPERTY WAS PREVIOUSLY PLATTED AS "LOT 29R OF CLEAR SPRING PLANTATION".
- BEARINGS SHOWN HEREON ARE BASED ON COK GRID NORTH, KNOXVILLE GRID NORTH BASED ON A BEARING OF S 19°17'01" W FROM CITY CONTROL POINT # 0059 TO # 0060. DISTANCES HAVE NOT BEEN REDUCED TO GRID. ELEVATION DATUM BASED ON COK CONTROL POINT # 0059 (1988-91 NAVD83).
- THIS PROPERTY IS ZONED RN-1 (PREVIOUSLY RP-1) IN CITY OF KNOXVILLE WITH DENSITY UP TO 3 UNITS/ACRE. PRIOR TO ADOPTION OF THE EXISTING ZONING ORDINANCE, THIS PROPERTY WAS ZONED RP-1. PER EXISTING TRANSITION RULES UNDER SECTION 1-4.0 OF THE EXISTING ZONING ORDINANCE, THE PREVIOUSLY APPROVED RP-1 PLANNED DISTRICT REMAINS IN EFFECT AND IS SUBJECT TO ALL PLANS, REGULATIONS, AND/OR CONDITIONS OF ITS APPROVAL.
- BUILDING SETBACKS: (PER ZONING OR MFC APPROVAL)  
 FRONT: 25', SIDE 5', REAR 15', PERIPHERAL 25'.  
 ALL UTILITIES SHOWN ARE LOCATED BY FIELD OBSERVATION OR ASBUILT MAPS PROVIDED BY THE RESPONSIBLE AGENCY. THERE SHALL BE TEN (10) FEET IN WIDTH INSIDE ALL EXTERIOR LOT LINES ADJOINING STREETS AND PRIVATE RIGHTS-OF-WAYS AND FIVE (5) FEET IN WIDTH SHALL BE PROVIDED ALONG BOTH SIDES OF ALL INTERIOR LOT LINES AND ON THE INSIDE OF ALL OTHER EXTERIOR LOT LINES. NO EASEMENTS ARE REQUIRED WHERE ZERO LOT LINE SETBACKS HAVE BEEN APPROVED (PLANNED ZONES) OR WHEN SETBACKS ARE NOT REQUIRED PER THE ZONING.
- THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA (ZONE X) PER FEMA FLOOD INSURANCE RATE MAP NUMBER 47093C01616 & 47093C01630, EFFECTIVE DATE AUG. 31, 2013.
- TOTAL AREA THIS SURVEY: 114 LOTS, 3 COMMON AREAS, AND RIGHT-OF-WAYS OF 58,290.1 ACRES.
- DEED REFERENCE: INSTR.# 202402130038792, PREVIOUS PLAT REF: INSTR.# 201008130009313, 20210500091149.
- IRON PIN SET AT ALL CORNERS UNLESS OTHERWISE SHOWN.
- LOTS TO HAVE INTERNAL ROAD ACCESS ONLY.
- FOR APPROVED SUBDIVISION VARIANCES AND CONDITIONS OF APPROVAL OF THE CONCEPT PLAN AND USE-OF-REVIEW REFER TO THE PLANNING COMMISSION'S FILES 9-5E-18-C AND 9-0-18-UR.
- THERE SHALL BE NO BUILDING WITHIN THE TVA/KUB TRANSMISSION LINE EASEMENTS WITHOUT THE PRIOR CONSENT OF TVA AND/OR KUB.
- TOTAL AREA OF PUBLIC RIGHT-OF-WAY DEDICATION IS 5.1476 ACRES.
- THIS PLAT INDICATES A POSSIBLE OR KNOWN SINKHOLE. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER(S) TO DETERMINE SITE SUITABILITY BEFORE DEVELOPMENT. PRIOR TO OBTAINING BUILDING PERMITS A GEOTECHNICAL REPORT AND COMPLIANCE WITH ANY APPLICABLE CITY ENGINEERING REQUIREMENTS MAY BE REQUIRED.
- I CERTIFY THAT THE SIGHT DISTANCE ON THE INTERSECTING PUBLIC STREET (GLEN CREEK ROAD/AUTUMN CREEK DRIVE) MEETS THE SUBDIVISION REGULATIONS (PER SECTION 3.04.J).



CERTIFICATION BY THE KNOXVILLE DEPARTMENT OF ENGINEERING  
ALL FINAL PLATS WITHIN THE CITY OF KNOXVILLE SHALL BE CERTIFIED BY THE KNOXVILLE DEPARTMENT OF ENGINEERING PRIOR TO FINAL CERTIFICATION BY THE PLANNING COMMISSION AND SHALL BE INCLUDED ON THE PLAT AS FOLLOWS:  
CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING HEREBY APPROVES THIS PLAT ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ENGINEERING DIRECTOR \_\_\_\_\_  
PLANNING COMMISSION CERTIFICATE OF APPROVAL FOR RECORDING - FINAL PLAT

THIS IS TO CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF KNOXVILLE AND KNOX COUNTY AND WITH EXISTING OFFICIAL PLANS, WITH THE EXCEPTION OF ANY VARIANCES AND WAIVERS NOTED ON THIS PLAT AND IN THE MINUTES OF THE KNOXVILLE-KNOX COUNTY PLANNING COMMISSION. ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AND THAT THE RECORD PLAT IS HEREBY APPROVED FOR RECORDING IN THE OFFICE OF THE KNOX COUNTY REGISTER OF DEEDS, PURSUANT TO SECTION 13-3-405 OF TENNESSEE CODE, ANNOTATED. THE APPROVAL OF THIS PLAT BY THE PLANNING COMMISSION SHALL NOT BE DEEMED TO CONSTITUTE OR EFFECT AN ACCEPTANCE BY THE CITY OF KNOXVILLE OR KNOX COUNTY OF THE DEDICATION OF ANY STREET OR OTHER GROUND UPON THE PLAT.

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
CERTIFICATION OF APPROVAL OF PUBLIC WATER SYSTEM - MAJOR SUBDIVISIONS

THIS IS TO CERTIFY THAT THE PUBLIC WATER SYSTEM INSTALLED, OR PROPOSED FOR INSTALLATION, IS IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.  
NORTHEAST KNOX UTILITY DISTRICT  
UTILITY PROVIDER \_\_\_\_\_

AUTHORIZED SIGNATURE FOR UTILITY \_\_\_\_\_ DATE: \_\_\_\_\_  
CERTIFICATION OF APPROVAL OF PUBLIC SANITARY SEWER SYSTEM - MAJOR SUBDIVISIONS

THIS IS TO CERTIFY THAT THE PUBLIC SANITARY SEWER SYSTEM INSTALLED, OR PROPOSED FOR INSTALLATION, IS IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.  
K.U.B.  
UTILITY PROVIDER \_\_\_\_\_

AUTHORIZED SIGNATURE FOR UTILITY \_\_\_\_\_ DATE: \_\_\_\_\_  
GUARANTEE OF COMPLETION OF STREETS AND RELATED IMPROVEMENTS

I, THE UNDERSIGNED, HEREBY CERTIFY THAT A BOND OR OTHER SECURITY HAS BEEN POSTED WITH THE APPROPRIATE AGENCY TO INSURE COMPLETION OF ALL STREETS AND RELATED IMPROVEMENTS INCLUDING INDICATED REFERENCE MARKERS AND MONUMENTS, BENCHMARKS AND PROPERTY MONUMENTS IN THIS SUBDIVISION IN ACCORDANCE WITH REQUIRED STANDARDS AND SPECIFICATIONS.

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
DEPT: \_\_\_\_\_  
TITLE: \_\_\_\_\_

GUARANTEE OF COMPLETION OF STORMWATER FACILITIES

I, THE UNDERSIGNED, HEREBY CERTIFY THAT A BOND OR OTHER SECURITY HAS BEEN POSTED WITH THE APPROPRIATE AGENCY TO INSURE COMPLETION AND STABILIZATION OF ALL STORMWATER FACILITIES AS SHOWN ON STORMWATER PLANS WHICH WERE APPROVED THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
DEPT: \_\_\_\_\_  
TITLE: \_\_\_\_\_

CERTIFICATION OF FINAL PLAT - ALL INDICATED MARKERS, MONUMENTS AND BENCHMARKS TO BE SET WHEN CONSTRUCTION IS COMPLETED

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR LICENSED TO PRACTICE SURVEYING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THIS PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO THE BEST OF MY KNOWLEDGE TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS BEEN ITEMIZED, DESCRIBED AND JUSTIFIED IN A REPORT FILED WITH THE PLANNING COMMISSION, OR FOUR VARIANCES AND WAIVERS WHICH HAVE BEEN APPROVED AS IDENTIFIED ON THE FINAL PLAT. THE BOND OR OTHER SECURITY THAT IS POSTED TO GUARANTEE THE COMPLETION OF STREETS AND RELATED IMPROVEMENTS SHALL ALSO GUARANTEE THE INSTALLATION OF THE INDICATED PERMANENT REFERENCE MARKERS AND MONUMENTS, AND BENCHMARKS AND PROPERTY MONUMENTS UPON COMPLETION OF THE SUBDIVISION.

*Scott Williams* 2/14/24  
REGISTERED LAND SURVEYOR DATE:  
TENNESSEE CERTIFICATE NO. 1914

CERTIFICATION OF ACCURACY OF SURVEY  
I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED IN COMPLIANCE WITH THE CURRENT EDITION OF THE RULES OF TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS' STANDARDS OF PRACTICE. I ALSO CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:110,000 AS SHOWN HEREON. THE SURVEY WAS DONE IN COMPLIANCE WITH THE STATE OF TENNESSEE MINIMUM STANDARDS OF PRACTICE.

*Scott Williams*  
REGISTERED LAND SURVEYOR  
TENNESSEE CERTIFICATE NO. 1914  
DATE: 2/14/24

TAXES AND ASSESSMENTS.  
THIS IS TO CERTIFY THAT ALL PROPERTY TAXES AND ASSESSMENTS DUE ON THIS PROPERTY HAVE BEEN PAID.

CITY TAX CLERK: SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
KNOX COUNTY TRUSTEE: SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

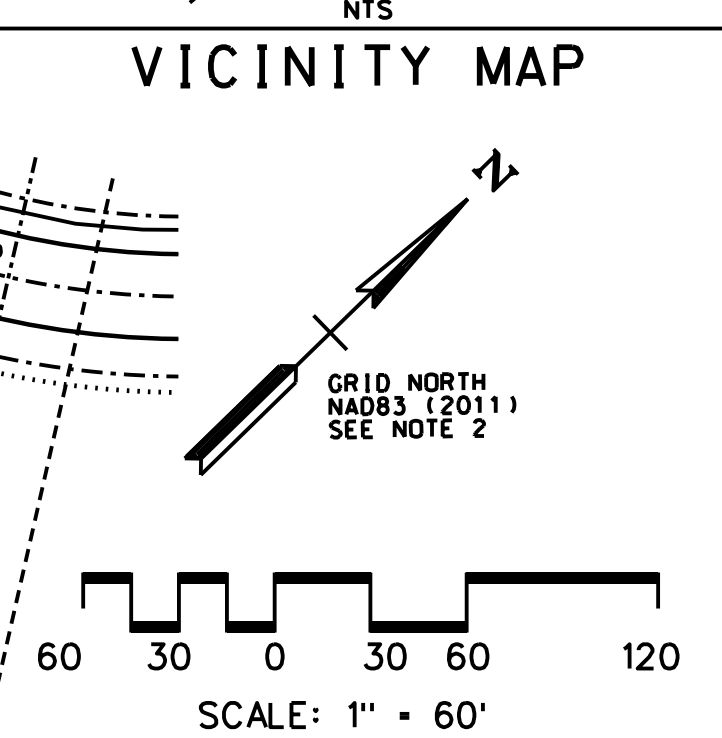
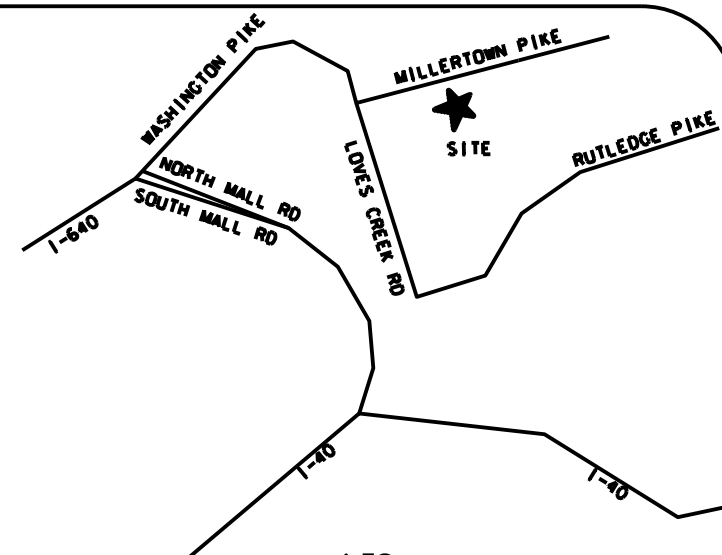
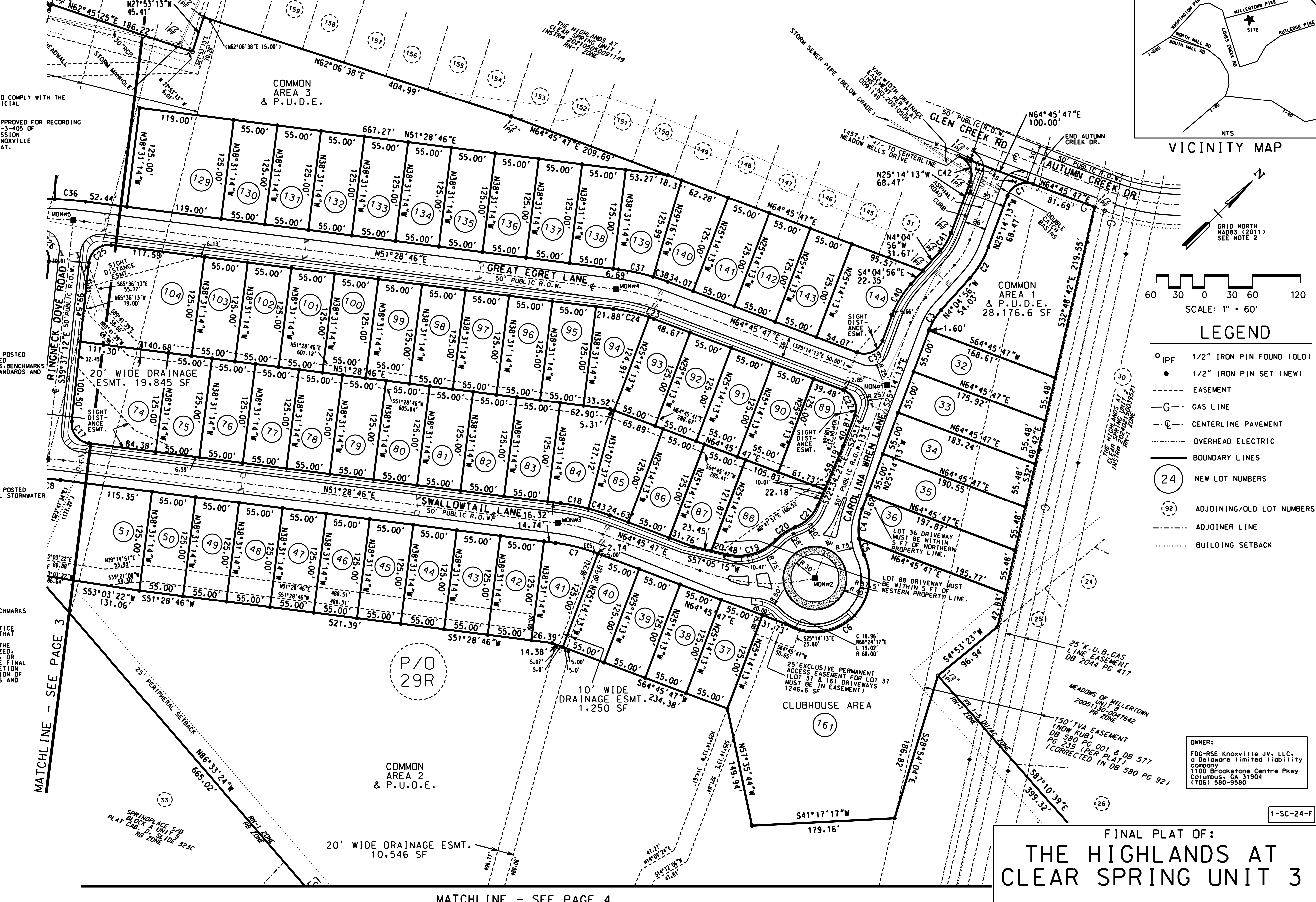
ADDRESSING DEPARTMENT CERTIFICATION  
I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE SUBDIVISION NAME AND ALL STREET NAMES CONFORM TO THE KNOXVILLE/KNOX COUNTY STREET NAMING AND ADDRESSING ORDINANCE, AND THE ADMINISTRATIVE RULES OF THE PLANNING COMMISSION, AND THESE REGULATIONS.

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

ZONING DISTRICT(S) IN WHICH THE LAND BEING SUBDIVIDED IS LOCATED SHALL BE INDICATED AS SHOWN ON THE ZONING MAP BY THE PLANNING COMMISSION AS FOLLOWS:

ZONING SHOWN ON OFFICIAL MAP \_\_\_\_\_  
DATE: \_\_\_\_\_

BY \_\_\_\_\_



OWNER:  
FDG-RSE Knoxville JV, LLC,  
a Delaware limited liability company  
1100 Brookstone Centre Pkwy  
Columbia, GA 31504  
(706) 580-9580

FINAL PLAT OF:  
**THE HIGHLANDS AT CLEAR SPRING UNIT 3**  
RESUBDIVISION OF LOT 29R OF UNIT 1, CLEAR SPRING PLANTATION  
AUTUMN CREEK DRIVE  
KNOXVILLE, TENNESSEE  
CLT MAP 60 H E PARCEL P/O 103.01  
CITY OF KNOXVILLE WARD 32 BLOCK 32546  
DATE: FEB. 14, 2024

CERTIFICATE OF OWNERSHIP AND GENERAL DEDICATION  
THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREIN, HEREBY ADOPT THIS AS (MY/OUR) PLAN OF SUBDIVISION AND DEDICATE THE STREETS AS SHOWN TO THE PUBLIC USE FOREVER AND HEREBY CERTIFY THAT I (AM/WE ARE) THE OWNER(S) IN FEE SIMPLE OF THE PROPERTY, AND AS PROPERTY OWNER(S) HAVE AN UNRESTRICTED RIGHT TO DEDICATE RIGHT-OF-WAY AND/OR GRANT EASEMENT AS SHOWN ON THIS PLAT.  
OWNER(S) PRINTED NAME: \_\_\_\_\_ SIGNATURE(S): \_\_\_\_\_  
DATE: \_\_\_\_\_ SIGNATURE(S): \_\_\_\_\_

IN THE CITY OF KNOXVILLE, ALL FINAL PLATS SHALL INCLUDE THE FOLLOWING NOTARY CERTIFICATION STAMP THAT RELATES TO AND SHALL BE LOCATED UNDER THE OWNER(S) CERTIFICATION STAMP:  
STATE OF \_\_\_\_\_ COUNTY OF \_\_\_\_\_  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
BEFORE ME PERSONALLY APPEARED \_\_\_\_\_ TO ME KNOWN TO BE THE PERSON DESCRIBED IN, AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THAT HE EXECUTED THE SAME AS HIS FREE ACT AND DEED.  
WITNESS MY HAND AND NOTARIAL SEAL, THIS DAY AND YEAR ABOVE.  
WRITTEN \_\_\_\_\_ NOTARY \_\_\_\_\_  
MY COMMISSION EXPIRES \_\_\_\_\_ SEAL \_\_\_\_\_

Owner's Responsibility Note  
The property owner(s) is (are) responsible for maintaining stormwater facilities on this property. See Covenants document recorded with the Register of Deeds as Instrument Nos. 20080109005206 & 2008011004151.

SEE PAGE 1 FOR ADDITIONAL PLAT NOTES  
PAGE 2 OF 4



**W. SCOTT WILLIAMS ASSOCIATES**  
4538 Annelise Way  
Knoxville, Tennessee 37921  
P & F: (865) 692-9889  
E-MAIL: survey@scottwilliams.com  
CONSULTING  
CIVIL ENGINEERING  
LAND SURVEYING



CERTIFICATION BY THE KNOXVILLE DEPARTMENT OF ENGINEERING  
ALL FINAL PLATS WITHIN THE CITY OF KNOXVILLE SHALL BE CERTIFIED BY THE KNOXVILLE DEPARTMENT OF ENGINEERING PRIOR TO FINAL CERTIFICATION BY THE PLANNING COMMISSION AND SHALL BE INCLUDED ON THE PLAT AS FOLLOWS:

CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING HEREBY APPROVES THIS PLAT ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ENGINEERING DIRECTOR  
PLANNING COMMISSION CERTIFICATE OF APPROVAL FOR RECORDING - FINAL PLAT

THIS IS TO CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF KNOXVILLE AND KNOX COUNTY AND WITH EXISTING OFFICIAL PLANS, WITH THE EXCEPTION OF ANY VARIANCES AND WAIVERS NOTED ON THIS PLAT AND IN THE MINUTES OF THE KNOXVILLE-KNOX COUNTY PLANNING COMMISSION. ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AND THAT THE RECORD PLAT IS HEREBY APPROVED FOR RECORDING IN THE OFFICE OF THE KNOX COUNTY REGISTER OF DEEDS, PURSUANT TO SECTION 13-3-405 OF TENNESSEE CODE, ANNOTATED. THE APPROVAL OF THIS PLAT BY THE PLANNING COMMISSION SHALL NOT BE DEEMED TO CONSTITUTE OR EFFECT AN ACCEPTANCE BY THE CITY OF KNOXVILLE OR KNOX COUNTY OF THE DEDICATION OF ANY STREET OR OTHER GROUND UPON THE PLAT.

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

CERTIFICATION OF APPROVAL OF PUBLIC WATER SYSTEM - MAJOR SUBDIVISIONS

THIS IS TO CERTIFY THAT THE PUBLIC WATER SYSTEM INSTALLED, OR PROPOSED FOR INSTALLATION, IS IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

NORTHEAST KNOX UTILITY DISTRICT

UTILITY PROVIDER

AUTHORIZED SIGNATURE FOR UTILITY DATE

CERTIFICATION OF APPROVAL OF PUBLIC SANITARY SEWER SYSTEM - MAJOR SUBDIVISIONS

THIS IS TO CERTIFY THAT THE PUBLIC SANITARY SEWER SYSTEM INSTALLED, OR PROPOSED FOR INSTALLATION, IS IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

K.U.B.

UTILITY PROVIDER

AUTHORIZED SIGNATURE FOR UTILITY DATE

GUARANTEE OF COMPLETION OF STREETS AND RELATED IMPROVEMENTS

I, THE UNDERSIGNED, HEREBY CERTIFY THAT A BOND OR OTHER SECURITY HAS BEEN POSTED WITH THE APPROPRIATE AGENCY TO INSURE COMPLETION OF ALL STREETS AND RELATED IMPROVEMENTS INCLUDING INDICATED PERMANENT REFERENCE MARKERS AND MONUMENTS, BENCHMARKS AND PROPERTY MONUMENTS IN THIS SUBDIVISION IN ACCORDANCE WITH REQUIRED STANDARDS AND SPECIFICATIONS.

SIGNED: \_\_\_\_\_

DATE: \_\_\_\_\_

DEPT: \_\_\_\_\_

TITLE: \_\_\_\_\_

GUARANTEE OF COMPLETION OF STORMWATER FACILITIES

I, THE UNDERSIGNED, HEREBY CERTIFY THAT A BOND OR OTHER SECURITY HAS BEEN POSTED WITH THE APPROPRIATE AGENCY TO INSURE COMPLETION AND STABILIZATION OF ALL STORMWATER FACILITIES AS SHOWN ON STORMWATER PLANS WHICH WERE APPROVED THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SIGNED: \_\_\_\_\_

DATE: \_\_\_\_\_

DEPT: \_\_\_\_\_

TITLE: \_\_\_\_\_

CERTIFICATION OF FINAL PLAT - ALL INDICATED MARKERS, MONUMENTS AND BENCHMARKS TO BE SET WHEN CONSTRUCTION IS COMPLETED

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR LICENSED TO PRACTICE SURVEYING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THIS PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO THE BEST OF MY KNOWLEDGE TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED, DESCRIBED AND JUSTIFIED IN A REPORT FILED WITH THE PLANNING COMMISSION, OR FOUR VARIANCES AND WAIVERS WHICH HAVE BEEN APPROVED AS IDENTIFIED ON THE FINAL PLAT. THE BOND OR OTHER SECURITY THAT IS POSTED TO GUARANTEE THE COMPLETION OF STREETS AND RELATED IMPROVEMENTS SHALL ALSO GUARANTEE THE INSTALLATION OF THE INDICATED PERMANENT REFERENCE MARKERS AND MONUMENTS, AND BENCHMARKS AND PROPERTY MONUMENTS UPON COMPLETION OF THE SUBDIVISION.

REGISTERED LAND SURVEYOR DATE: 2/14/24

TENNESSEE CERTIFICATE NO. 1914

CERTIFICATION OF ACCURACY OF SURVEY

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED IN COMPLIANCE WITH THE CURRENT EDITION OF THE RULES OF TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS' STANDARDS OF PRACTICE. I ALSO CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 AS SHOWN HEREON. THE SURVEY WAS DONE IN COMPLIANCE WITH THE STATE OF TENNESSEE MINIMUM STANDARDS OF PRACTICE.

REGISTERED LAND SURVEYOR DATE: 2/14/24

TENNESSEE CERTIFICATE NO. 1914

TAXES AND ASSESSMENTS.

THIS IS TO CERTIFY THAT ALL PROPERTY TAXES AND ASSESSMENTS DUE ON THIS PROPERTY HAVE BEEN PAID.

CITY TAX CLERK: SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

KNOX COUNTY TRUSTEE: SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

ADDRESSING DEPARTMENT CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE SUBDIVISION NAME AND ALL STREET NAMES CONFORM TO THE KNOXVILLE/KNOX COUNTY STREET NAMING AND ADDRESSING ORDINANCE, AND THE ADMINISTRATIVE RULES OF THE PLANNING COMMISSION, AND THESE REGULATIONS.

SIGNED: \_\_\_\_\_

DATE: \_\_\_\_\_

ZONING DISTRICT(S) IN WHICH THE LAND BEING SUBDIVIDED IS LOCATED SHALL BE INDICATED AS SHOWN ON THE ZONING MAP BY THE PLANNING COMMISSION AS FOLLOWS:

ZONING SHOWN ON OFFICIAL MAP

DATE: \_\_\_\_\_

BY: \_\_\_\_\_

CERTIFICATE OF OWNERSHIP AND GENERAL DEDICATION  
THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREIN, HEREBY ADOPT THIS AS A PUBLIC USE FOREVER AND HEREBY CERTIFY THAT (I AM, WE ARE) THE OWNER(S) IN FEE SIMPLE OF THE PROPERTY, AND AS PROPERTY OWNER(S) HAVE AN UNRESTRICTED RIGHT TO DEDICATE RIGHT-OF-WAY AND/OR GRANT EASEMENT AS SHOWN ON THIS PLAT.

OWNER(S) PRINTED NAME: \_\_\_\_\_ SIGNATURE(S): \_\_\_\_\_

DATE: \_\_\_\_\_ SIGNATURE(S): \_\_\_\_\_

IN THE CITY OF KNOXVILLE, ALL FINAL PLATS SHALL INCLUDE THE FOLLOWING NOTARY CERTIFICATION STAMP THAT RELATES TO AND SHALL BE LOCATED UNDER THE OWNER(S) CERTIFICATION STAMP:

STATE OF \_\_\_\_\_ COUNTY OF \_\_\_\_\_  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BEFORE ME PERSONALLY APPEARED \_\_\_\_\_ TO ME KNOWN TO BE THE PERSON DESCRIBED IN, AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THAT HE EXECUTED THE SAME AS HIS FREE ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THIS THE DAY AND YEAR ABOVE.

WRITTEN BY MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY SEAL

CDK CP 0059  
N 626,664.537  
E 2,598,648.241  
ELEV = 988.91' (NAVD88)

2" PERMANENT BENCH MARK (F)  
M.O.I. 56.15062

2" PERMANENT BENCH MARK (F)

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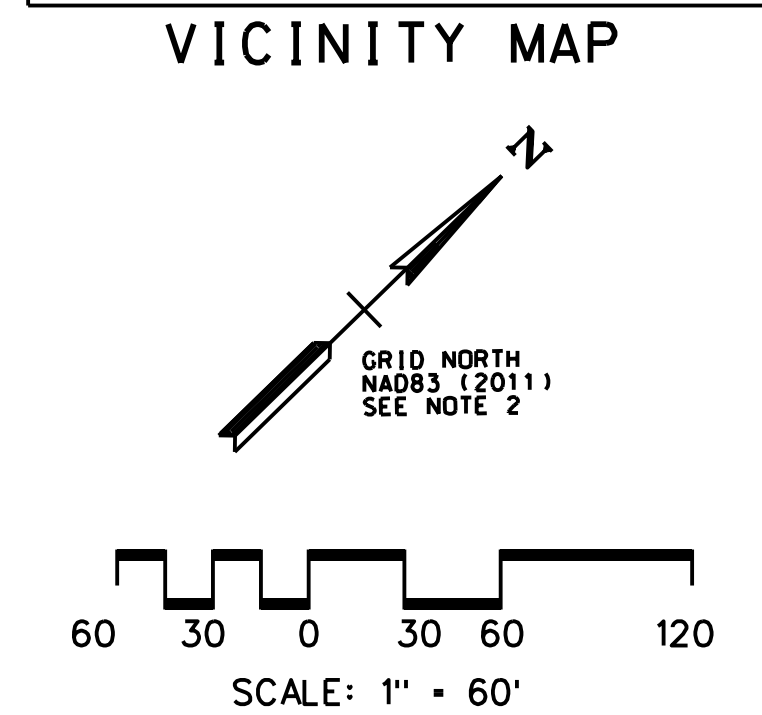
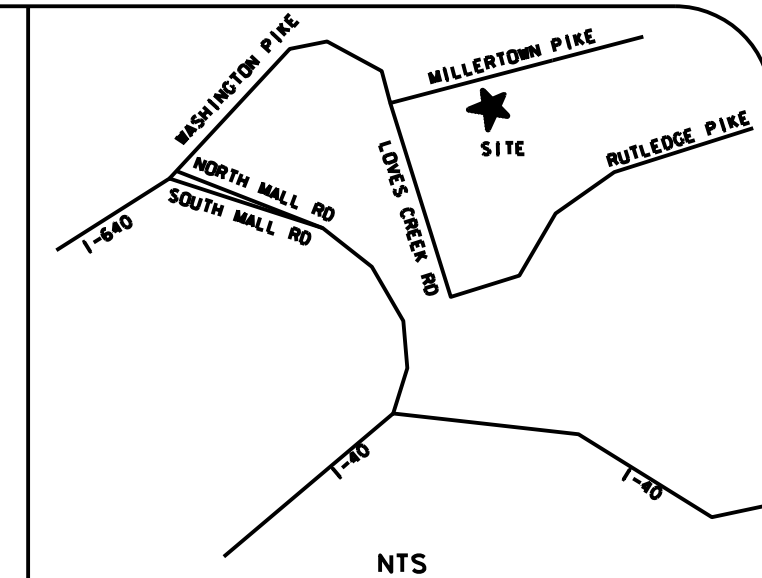
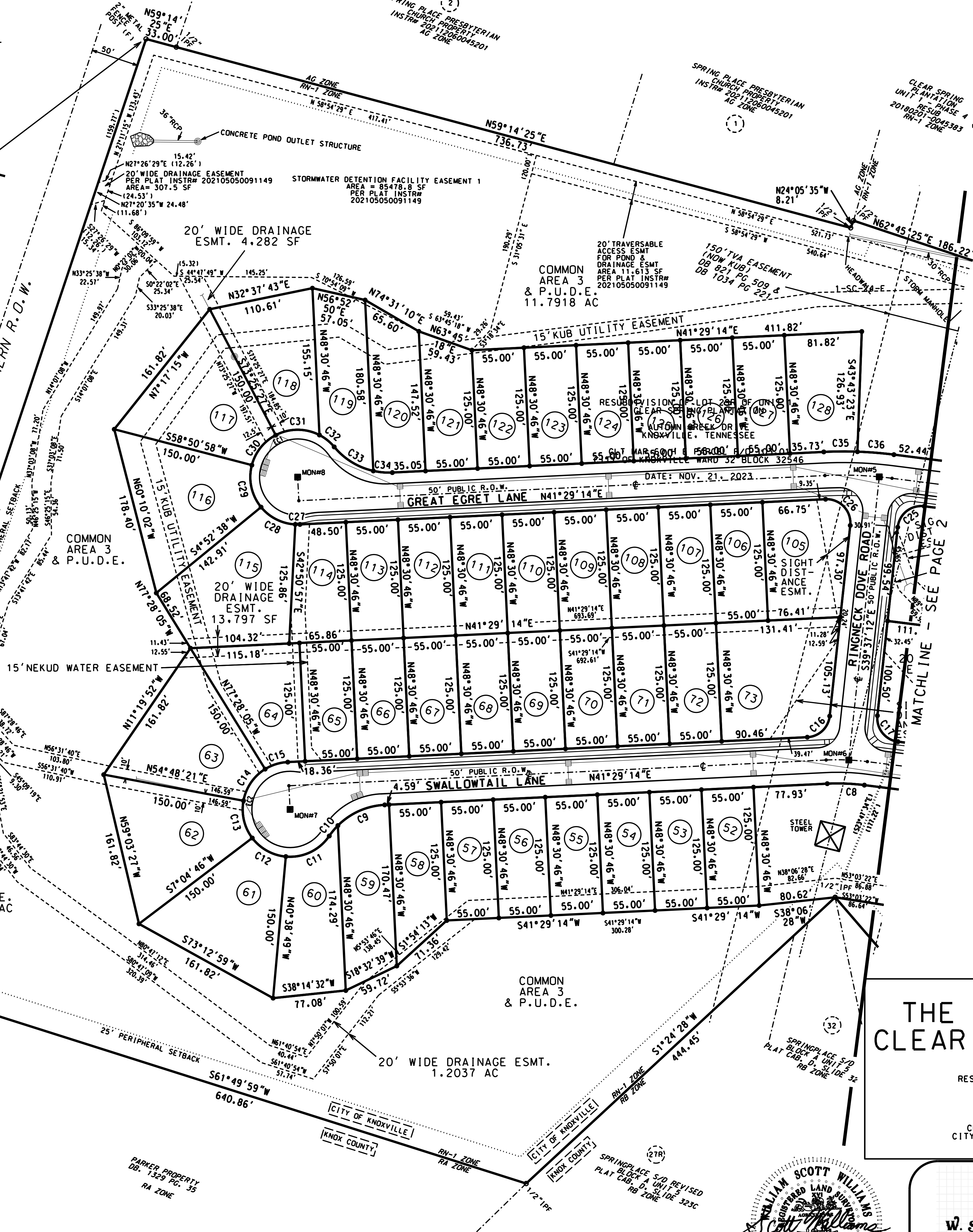
2" PERMANENT BENCH MARK (F)

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FINAL PLAT OF:  
**THE HIGHLANDS AT CLEAR SPRING UNIT 3**  
RESUBDIVISION OF LOT 29R OF UNIT 1, CLEAR SPRING PLANTATION  
AUTUMN CREEK DRIVE  
KNOXVILLE, TENNESSEE  
CLT MAP 60 H E PARCEL P/O 103.01  
CITY OF KNOXVILLE WARD 32 BLOCK 32546  
DATE: FEB. 14, 2024

W. SCOTT WILLIAMS ASSOCIATES  
4538 Annelise Way  
Knoxville, TENNESSEE 37921  
P & F: (865) 692-9889  
E-MAIL: survey@wscottwilliams.com  
CONSULTING CIVIL ENGINEERING AND LAND SURVEYING

Owner's Responsibility Note  
The property owner(s) is/are responsible for maintaining stormwater facilities on this property. See Covenants Document recorded with the Register of Deeds as Instrument Nos. 200801090052206 & 20200110047610.

SEE PAGE 1 FOR ADDITIONAL PLAT NOTES  
PAGE 3 OF 4



CERTIFICATION BY THE KNOXVILLE DEPARTMENT OF ENGINEERING  
ALL FINAL PLATS WITHIN THE CITY OF KNOXVILLE SHALL BE CERTIFIED BY THE KNOXVILLE DEPARTMENT OF ENGINEERING PRIOR TO FINAL CERTIFICATION BY THE PLANNING COMMISSION AND SHALL BE INCLUDED ON THE PLAT AS FOLLOWS:

CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING HEREBY APPROVES THIS PLAT ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ENGINEERING DIRECTOR \_\_\_\_\_

PLANNING COMMISSION CERTIFICATE OF APPROVAL FOR RECORDING - FINAL PLAT

THIS IS TO CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF KNOXVILLE AND KNOX COUNTY AND WITH EXISTING OFFICIAL PLANS, WITH THE EXCEPTION OF ANY VARIANCES AND WAIVERS NOTED ON THIS PLAT AND IN THE MINUTES OF THE KNOXVILLE-KNOX COUNTY PLANNING COMMISSION. ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AND THAT THE RECORD PLAT IS HEREBY APPROVED FOR RECORDING IN THE OFFICE OF THE KNOX COUNTY REGISTER OF DEEDS, PURSUANT TO SECTION 13-3-405 OF TENNESSEE CODE, ANNOTATED. THE APPROVAL OF THIS PLAT BY THE PLANNING COMMISSION SHALL NOT BE DEEMED TO CONSTITUTE OR EFFECT AN ACCEPTANCE BY THE CITY OF KNOXVILLE OR KNOX COUNTY OF THE DEDICATION OF ANY STREET OR OTHER GROUND UPON THE PLAT.

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

CERTIFICATION OF APPROVAL OF PUBLIC WATER SYSTEM - MAJOR SUBDIVISIONS

THIS IS TO CERTIFY THAT THE PUBLIC WATER SYSTEM INSTALLED, OR PROPOSED FOR INSTALLATION, IS IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

NORTHEAST KNOX UTILITY DISTRICT  
UTILITY PROVIDER \_\_\_\_\_

AUTHORIZED SIGNATURE FOR UTILITY \_\_\_\_\_ DATE \_\_\_\_\_

CERTIFICATION OF APPROVAL OF PUBLIC SANITARY SEWER SYSTEM - MAJOR SUBDIVISIONS

THIS IS TO CERTIFY THAT THE PUBLIC SANITARY SEWER SYSTEM INSTALLED, OR PROPOSED FOR INSTALLATION, IS IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

K.U.B.  
UTILITY PROVIDER \_\_\_\_\_

AUTHORIZED SIGNATURE FOR UTILITY \_\_\_\_\_ DATE \_\_\_\_\_

GUARANTEE OF COMPLETION OF STREETS AND RELATED IMPROVEMENTS

I, THE UNDERSIGNED, HEREBY CERTIFY THAT A BOND OR OTHER SECURITY HAS BEEN POSTED WITH THE APPROPRIATE AGENCY TO INSURE COMPLETION OF ALL STREETS AND RELATED IMPROVEMENTS INCLUDING INDICATED PERMANENT REFERENCE MARKERS AND MONUMENTS, BENCHMARKS AND PROPERTY MONUMENTS IN THIS SUBDIVISION IN ACCORDANCE WITH REQUIRED STANDARDS AND SPECIFICATIONS.

SIGNED: \_\_\_\_\_

DATE: \_\_\_\_\_

DEPT: \_\_\_\_\_

TITLE: \_\_\_\_\_

GUARANTEE OF COMPLETION OF STORMWATER FACILITIES

I, THE UNDERSIGNED, HEREBY CERTIFY THAT A BOND OR OTHER SECURITY HAS BEEN POSTED WITH THE APPROPRIATE AGENCY TO INSURE COMPLETION AND STABILIZATION OF ALL STORMWATER FACILITIES AS SHOWN ON STORMWATER PLANS WHICH WERE APPROVED THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SIGNED: \_\_\_\_\_

DATE: \_\_\_\_\_

DEPT: \_\_\_\_\_

TITLE: \_\_\_\_\_

CERTIFICATION OF FINAL PLAT - ALL INDICATED MARKERS, MONUMENTS AND BENCHMARKS TO BE SET WHEN CONSTRUCTION IS COMPLETED

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR LICENSED TO PRACTICE SURVEYING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THIS PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO THE BEST OF MY KNOWLEDGE TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED, DESCRIBED AND JUSTIFIED IN A REPORT FILED WITH THE PLANNING COMMISSION, OR FOR VARIANCES AND WAIVERS WHICH HAVE BEEN APPROVED AS IDENTIFIED ON THE FINAL PLAT. THE BOND OR OTHER SECURITY THAT IS POSTED TO GUARANTEE THE COMPLETION OF STREETS AND RELATED IMPROVEMENTS SHALL ALSO GUARANTEE THE INSTALLATION OF THE INDICATED PERMANENT REFERENCE MARKERS AND MONUMENTS, AND BENCHMARKS AND PROPERTY MONUMENTS UPON COMPLETION OF THE SUBDIVISION.

*Scott Williams* 2/14/24  
REGISTERED LAND SURVEYOR DATE:  
TENNESSEE CERTIFICATE NO. 1914

CERTIFICATION OF ACCURACY OF SURVEY

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED IN COMPLIANCE WITH THE CURRENT EDITION OF THE RULES OF TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS - STANDARDS OF PRACTICE. I ALSO CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 AS SHOWN HEREON. THE SURVEY WAS DONE IN COMPLIANCE WITH THE STATE OF TENNESSEE MINIMUM STANDARDS OF PRACTICE.

*Scott Williams*  
REGISTERED LAND SURVEYOR  
TENNESSEE CERTIFICATE NO. 1914

DATE: 2/14/24

TAXES AND ASSESSMENTS.  
THIS IS TO CERTIFY THAT ALL PROPERTY TAXES AND ASSESSMENTS DUE ON THIS PROPERTY HAVE BEEN PAID.

CITY TAX CLERK: SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

KNOX COUNTY TRUSTEE: SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

ADDRESSING DEPARTMENT CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE SUBDIVISION NAME AND ALL STREET NAMES CONFORM TO THE KNOXVILLE/KNOX COUNTY STREET NAMING AND ADDRESSING ORDINANCE, THE ADMINISTRATIVE RULES OF THE PLANNING COMMISSION, AND THESE REGULATIONS.

OWNER(S) PRINTED NAME: \_\_\_\_\_ SIGNATURE(S): \_\_\_\_\_

DATE: \_\_\_\_\_ SIGNATURE(S): \_\_\_\_\_

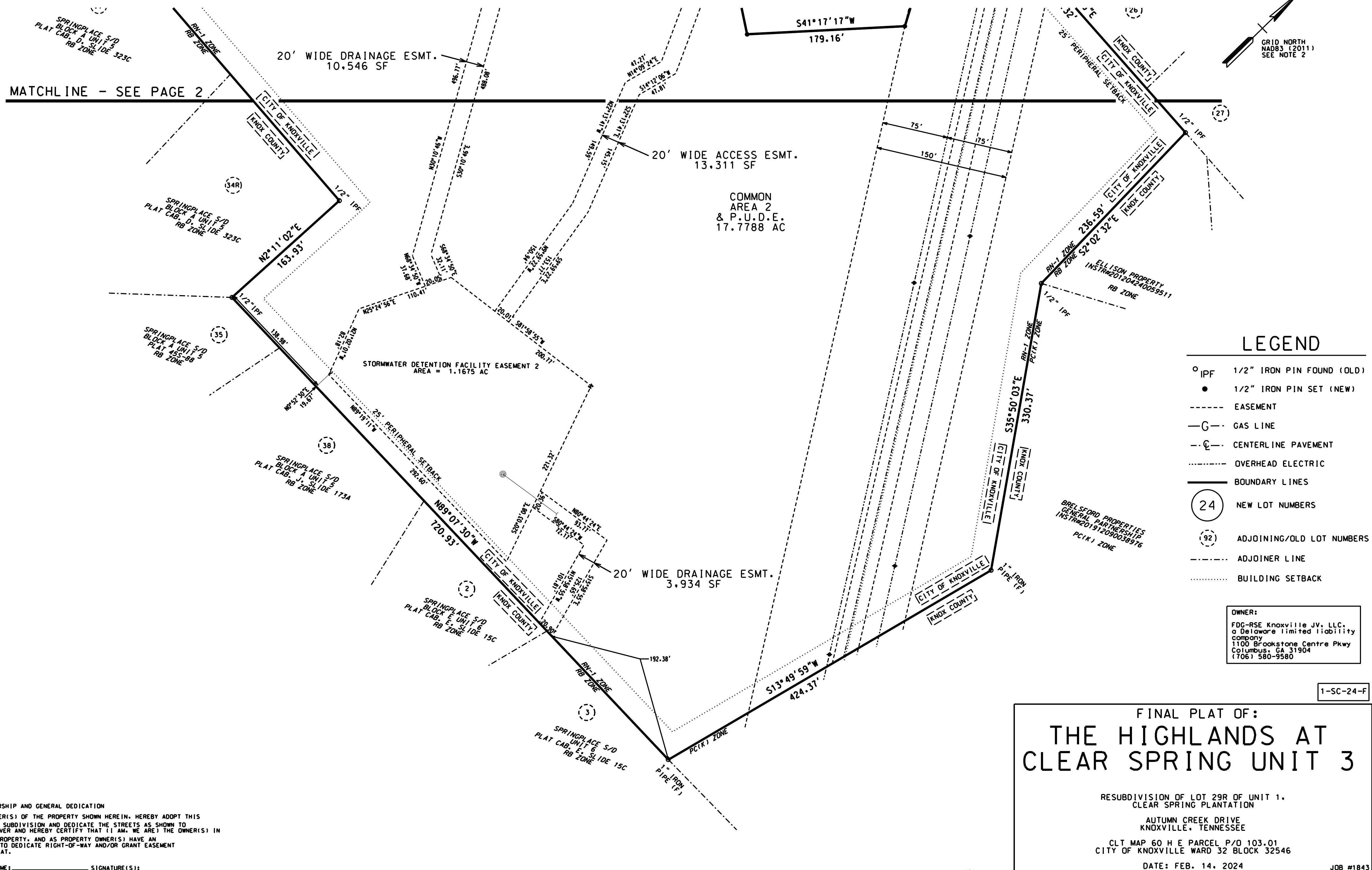
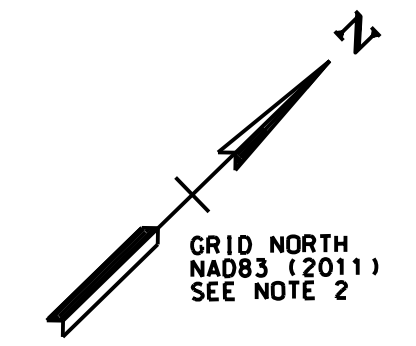
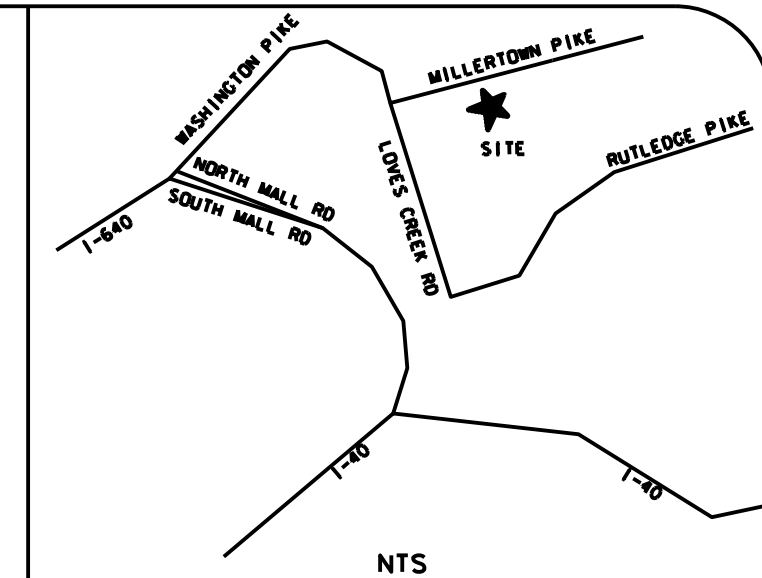
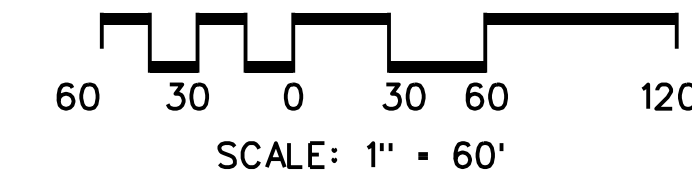
IN THE CITY OF KNOXVILLE, ALL FINAL PLATS SHALL INCLUDE THE FOLLOWING NOTARY CERTIFICATION STAMP THAT RELATES TO AND SHALL BE LOCATED UNDER THE OWNER(S) CERTIFICATION STAMP:

STATE OF \_\_\_\_\_ COUNTY OF \_\_\_\_\_  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
BEFORE ME PERSONALLY APPEARED \_\_\_\_\_ TO ME KNOWN TO BE THE PERSON DESCRIBED IN, AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THAT HE EXECUTED THE SAME AS HIS FREE ACT AND DEED.

WITNESS MY HAND AND NOTARIAL SEAL, THIS DAY AND YEAR ABOVE.

WRITTEN \_\_\_\_\_ NOTARY \_\_\_\_\_  
MY COMMISSION EXPIRES \_\_\_\_\_ "SEAL"

Owner's Responsibility Note  
The property owner(s) is (are) responsible for maintaining stormwater facilities on this property. See Covenants document recorded with the Register of Deeds as Instrument Nos. 20080109005206 & 20001170047610.



**LEGEND**

- IPF 1/2" IRON PIN FOUND (OLD)
- 1/2" IRON PIN SET (NEW)
- EASEMENT
- GAS LINE
- CENTERLINE PAVEMENT
- OVERHEAD ELECTRIC
- BOUNDARY LINES
- 24 NEW LOT NUMBERS
- 92 ADJOINING/OLD LOT NUMBERS
- ADJOINER LINE
- BUILDING SETBACK

OWNER:  
FDG-RSE Knoxville JV, LLC,  
a Delaware limited liability  
company  
1100 Brookstone Centre Pkwy  
Columbus, GA 31904  
(706) 580-9580

FINAL PLAT OF:  
**THE HIGHLANDS AT  
CLEAR SPRING UNIT 3**  
RESUBDIVISION OF LOT 29R OF UNIT 1,  
CLEAR SPRING PLANTATION  
AUTUMN CREEK DRIVE  
KNOXVILLE, TENNESSEE  
CLT MAP 60 H E PARCEL P/O 103.01  
CITY OF KNOXVILLE WARD 32 BLOCK 32546  
DATE: FEB. 14, 2024 JOB #1843



**W. SCOTT WILLIAMS ASSOCIATES**  
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