

1 SITE PLAN
1" = 30'-0"

PROPERTY INFORMATION

PROPERTY ADDRESS: 9805 DUTCHTOWN RD
KNOXVILLE, TN 37923

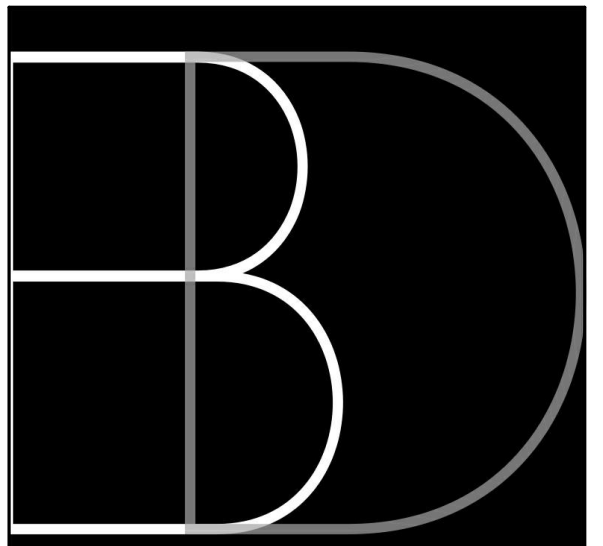
ZONING: PR
MINIMUM SETBACKS: FRONT: 20'
SIDES: 15'
REAR: 25'

PERIPHERY SETBACKS NOT LESS THAN 35' UNLESS ADJACENT TO ZONED A, RA, RB, RAF, PR, OS, E OR, TC IN WHICH CAN BE REDUCED TO 15'

PARCEL ID: 118 150
LOCATION ADDRESS: 118 BOB KIRBY RD
CLT MAP: 118
PARCEL: 150
PARCEL TYPE: NORMAL
DISTRICT: W6
REC. ACERAGE: 2.13 ACRES
CALC. ACERAGE: 0
RECORDED PLAT: 20211208-0046095
RECORDED DEED: 20190516-0067370
DEED TYPE: DEED, DEED
DEED DATE: 5/16/2019

GENERAL NOTES

1. COMPLY WITH THE CODES ADOPTED BY KNOX COUNTY, TN INSPECTIONS BUREAU INCLUDING:
KNOX COUNTY ZONING ORDINANCE (CURRENT ADOPTED EDITION WITH AMENDMENTS)
2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2017 NATIONAL ELECTRICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS
2009 ICC A117.1 ACCESSIBILITY CODE
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ACCESSIBILITY PRIOR TO BEGINNING WORK.
3. ALL FINISHES AND FINAL PRODUCT SELECTION SHALL BE REVIEWED AND APPROVED BY THE OWNER.
4. ALL WRITTEN DIMENSIONS SHOWN IN THE DRAWINGS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS SHOWN TAKEN FROM FACE F STUD OR FACE OF CMU.
5. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES INVOLVED.
6. ALL MATERIALS SHOWN OR CALLED FOR ON THESE PLANS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR THE PROPOSED WORK.
8. THE COORDINATION OF ALL REQUIRED BUILDING DEPARTMENT INSPECTIONS IS THE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATING, TRENCHING AND INSTALLATION OF THE NEW FOUNDATION SYSTEM AT THE SITE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY EXISTING UNDERGROUND UTILITIES INTERFERE WITH THE PROPOSED WORK.
10. WEATHER RESISTIVE BARRIERS AND FLASHINGS SHALL BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE, THE CURRENT EDITION OF THE ARCHITECTURAL SHEET METAL MANUAL PUBLISHED BY SMACNA, AND THE MANUFACTURER'S GUIDELINES FOR PRODUCT INSTALLATION.
11. FIELD VERIFY ALL DIMENSIONS PRIOR TO ANY FABRICATION, INSTALLATION OR ERECTION OF MATERIALS.
13. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING HOUSE FOUNDATION, PROPERTY LINES AND DIMENSIONS, AND ALL SETBACKS. PROPERTY DIMENSIONS SHOWN ARE ROUGHLY TAKEN FROM SCALING MAP BY KGIS.



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A NEW DEVELOPMENT FOR:
DUTCHTOWN RD TOWNHOMES

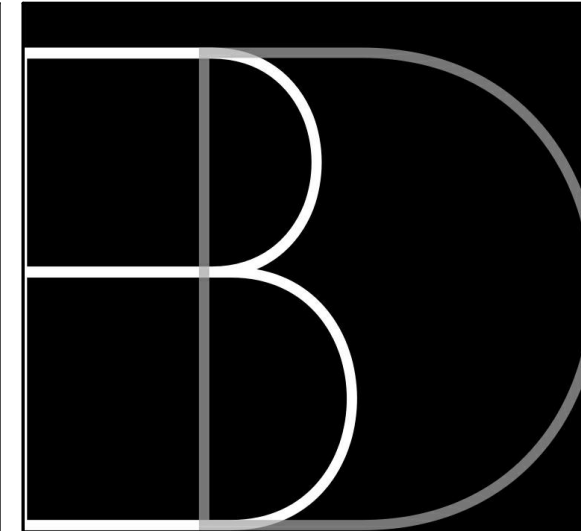
SITE PLAN

Project Number	
Date	11/21/2024
Drawn By	DM
Checked By	DM

Revised: 12/23/2024

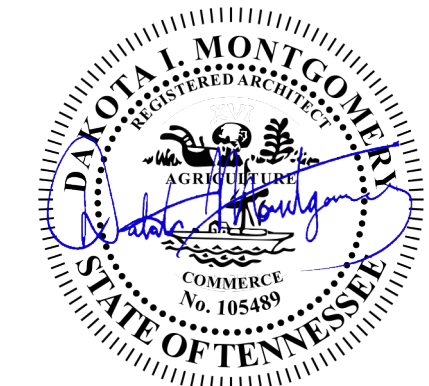
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AA001



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A NEW DEVELOPMENT FOR:
DUTCHTOWN RD TOWNHOMES

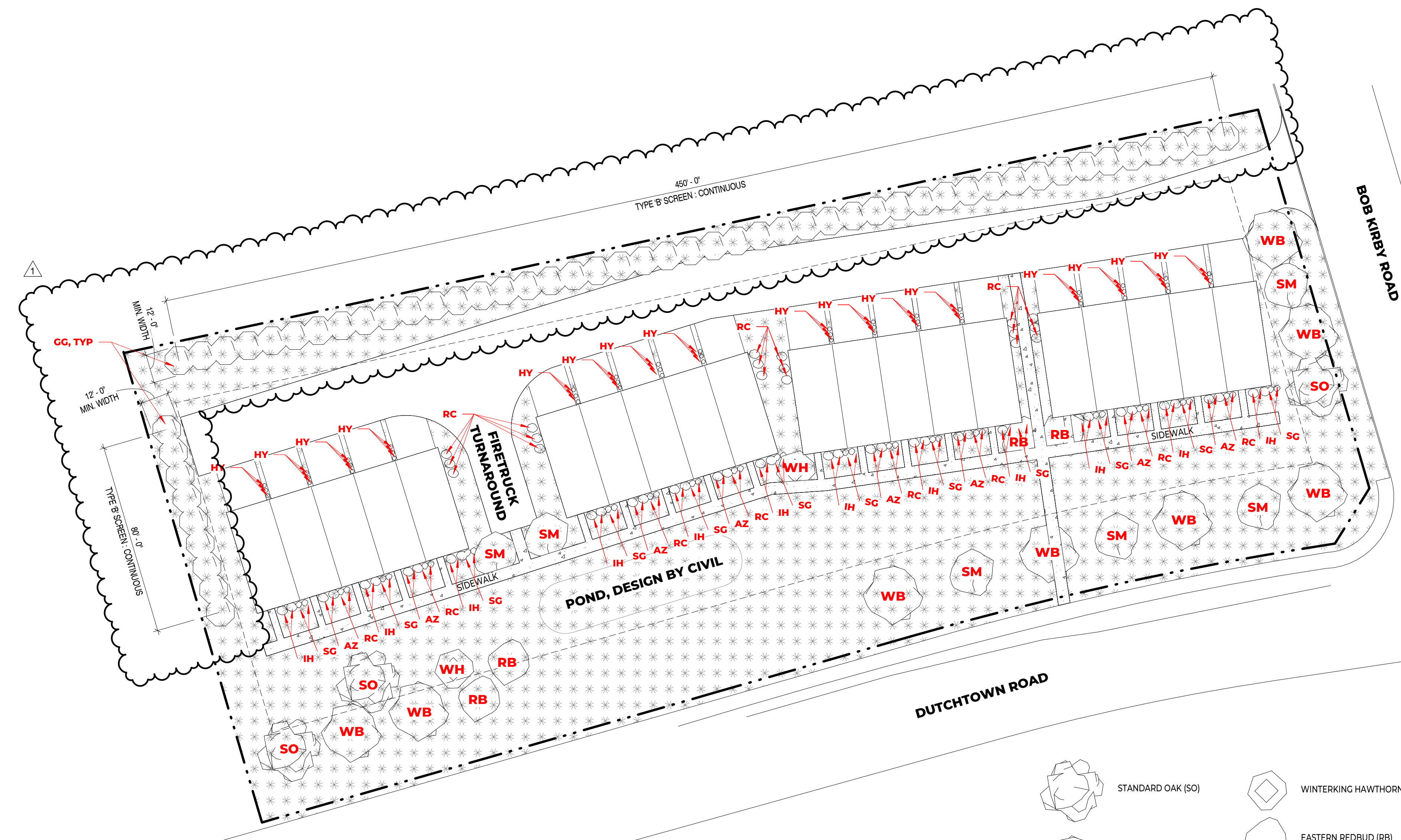
LANDSCAPE PLAN

Project Number	
Date	11/21/2024
Drawn By	Author
Checked By	Checker

AA002

Revised: 12/23/2024

1-C-25-DP



- STANDARD OAK (SO)
- WINTERKING HAWTHORN (WH)
- AZALEA (AZ)
- WILDFIRE BLACKGUM (WB)
- EASTERN REDBUD (RB)
- STRAWBERRY SUNDAE HYDRANGEA (HY)
- SWEETBAY MAGNOLIA (SM)
- AMERICAN HOLLY (AH)
- ROSE CREEK ABELIA (RC)
- BRODIE EASTERN RED CEDAR (BC)
- GREEN GIANT ARBORVITEA (CG)
- INKBERRY HOLLY (IH)
- SHANENDOAH SWITCH GRASS (SG)

KNOX COUNTY LANDSCAPE SCREENING GUIDELINES
TYPE 'B' SCREEN : CONTINUOUS

NOTE: Landscape buffer strips should be a minimum of 12 feet in width, and sown with grass or ground cover for their full width, allowing for mulch at the base of plantings.

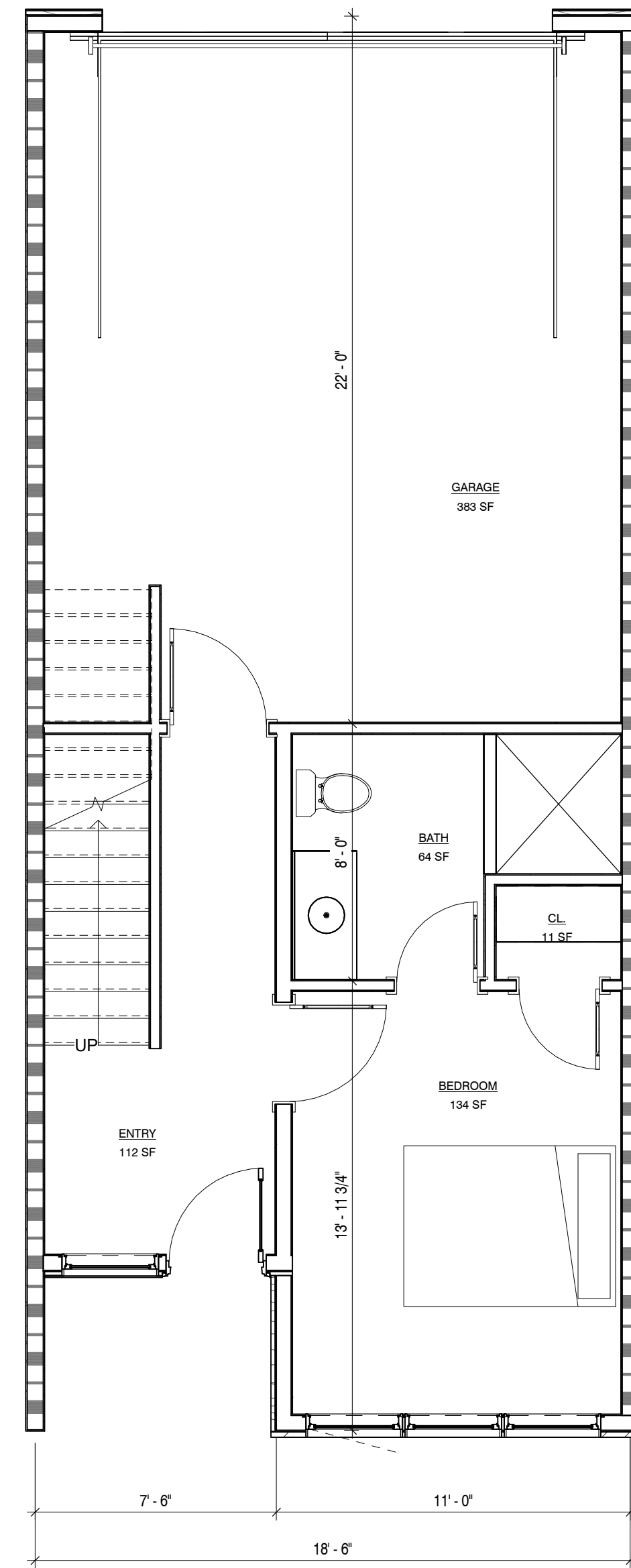
- One row of evergreen trees with branches touching the ground

TREE HEIGHT
Installed: 8 ft.
Mature: 20 ft.

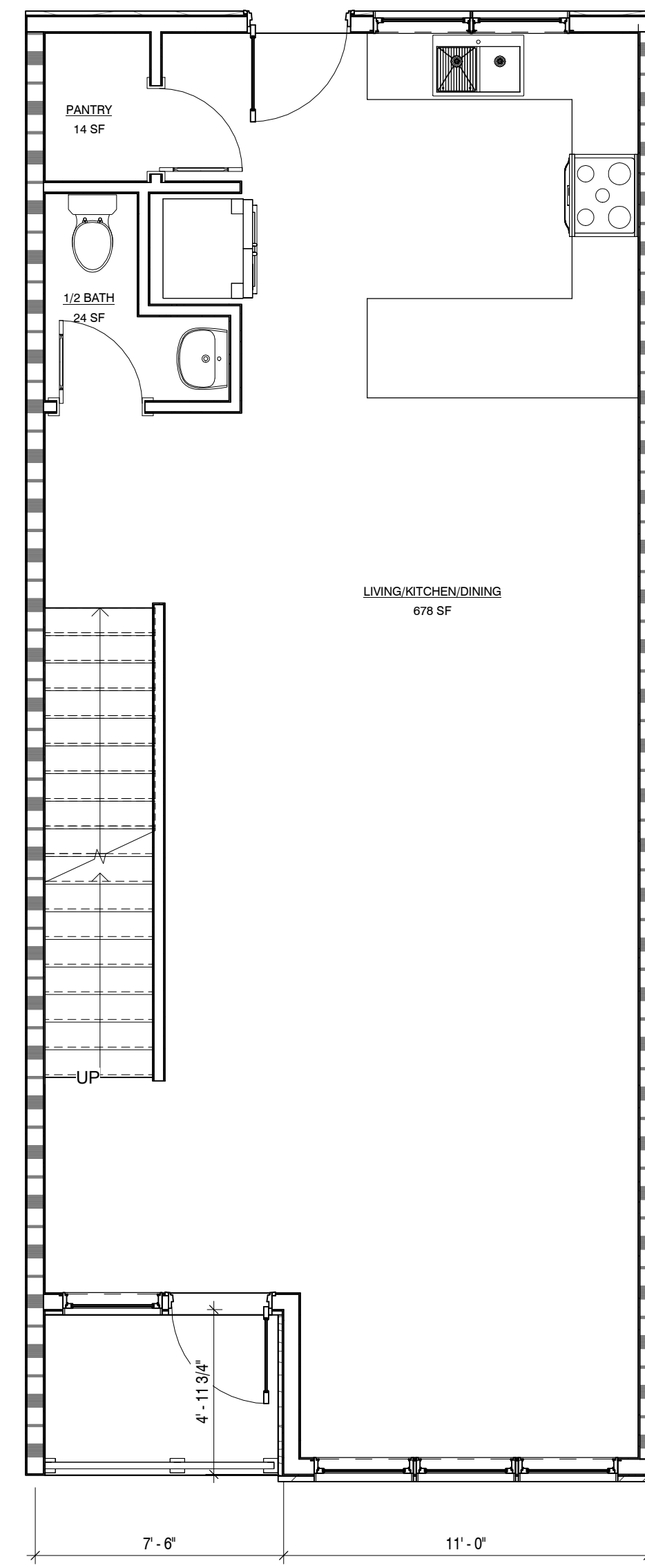
Maximum 10' Centers

1 SITE PLAN-LANDSCAPE
1" = 30'-0"

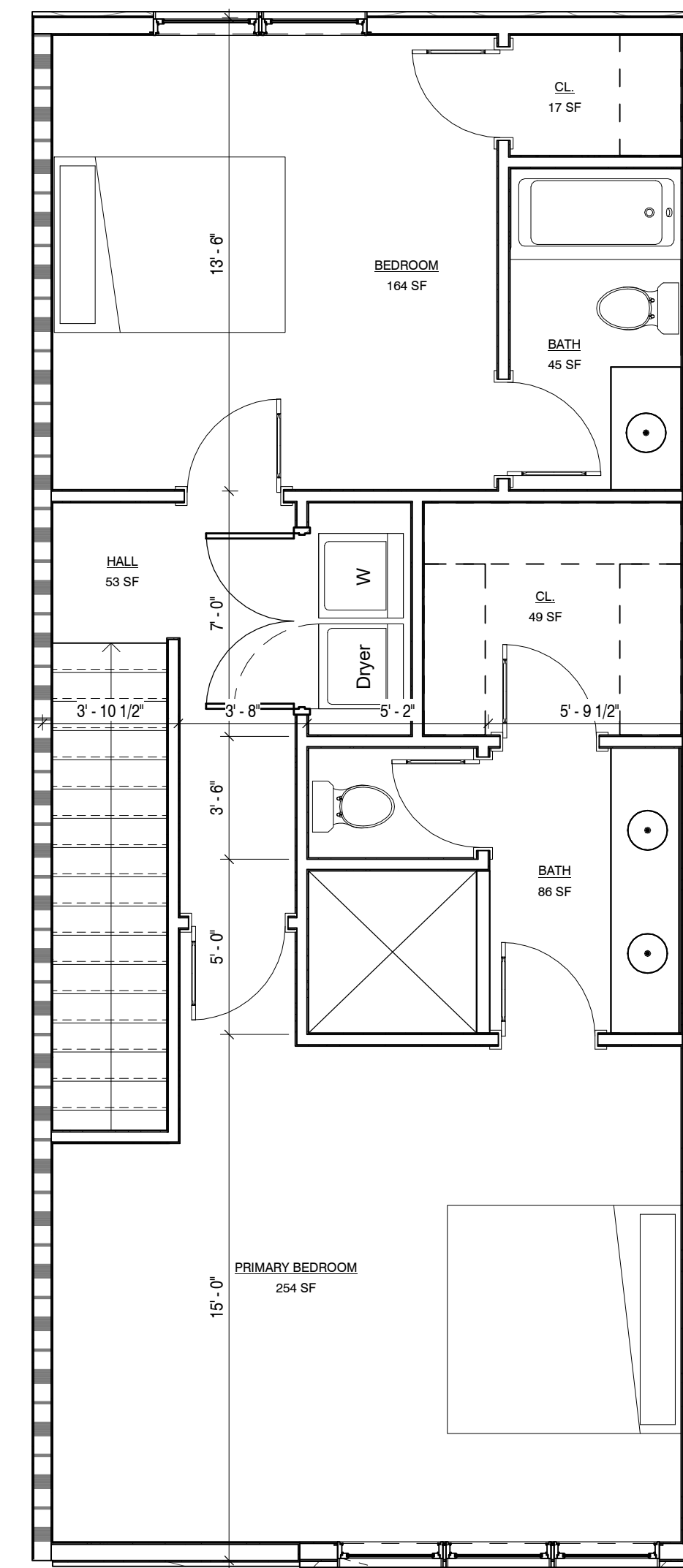
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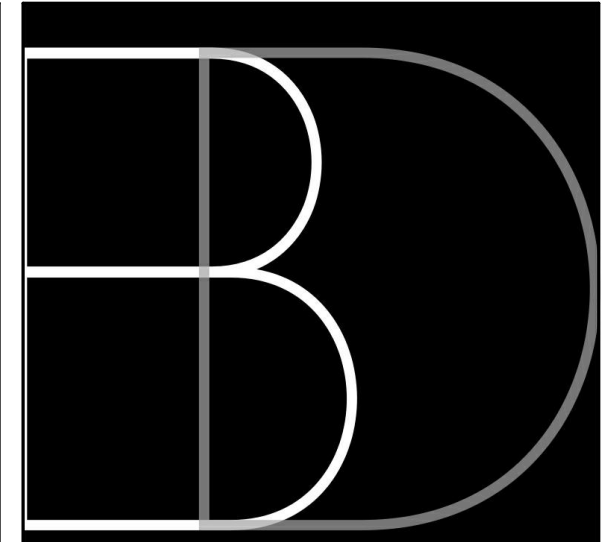
① FIRST FLOOR PLAN - UNIT A
1/4" = 1'-0"



② SECOND FLOOR PLAN - UNIT A
1/4" = 1'-0"

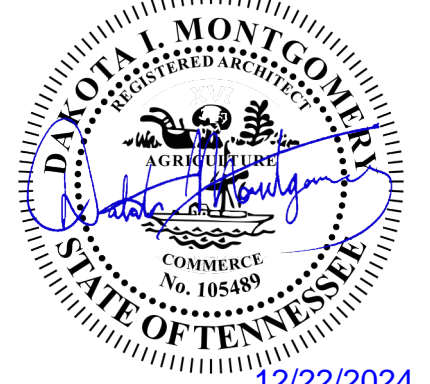


③ THIRD FLOOR - UNIT A
1/4" = 1'-0"



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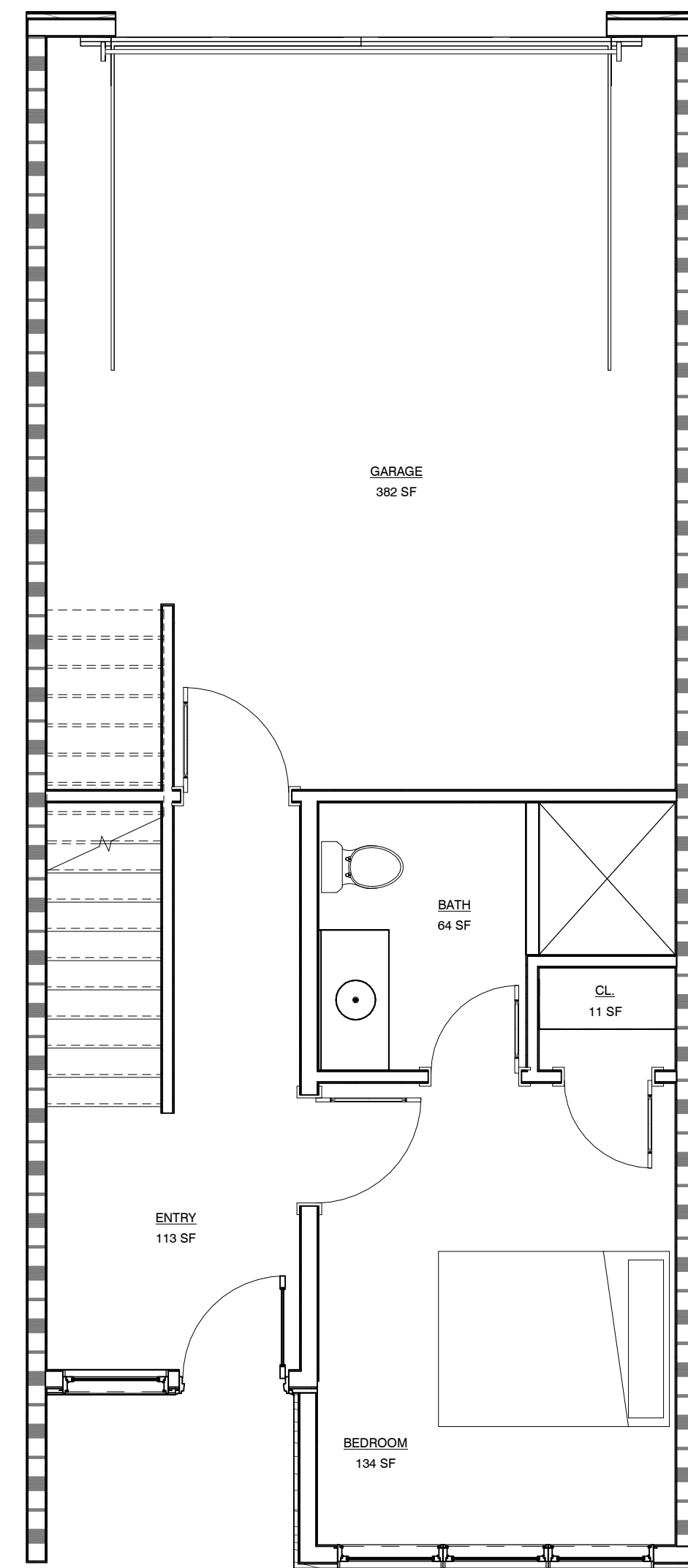
**A NEW
DEVELOPMENT
FOR:
DUTCHTOWN RD
TOWNHOMES**

UNIT A

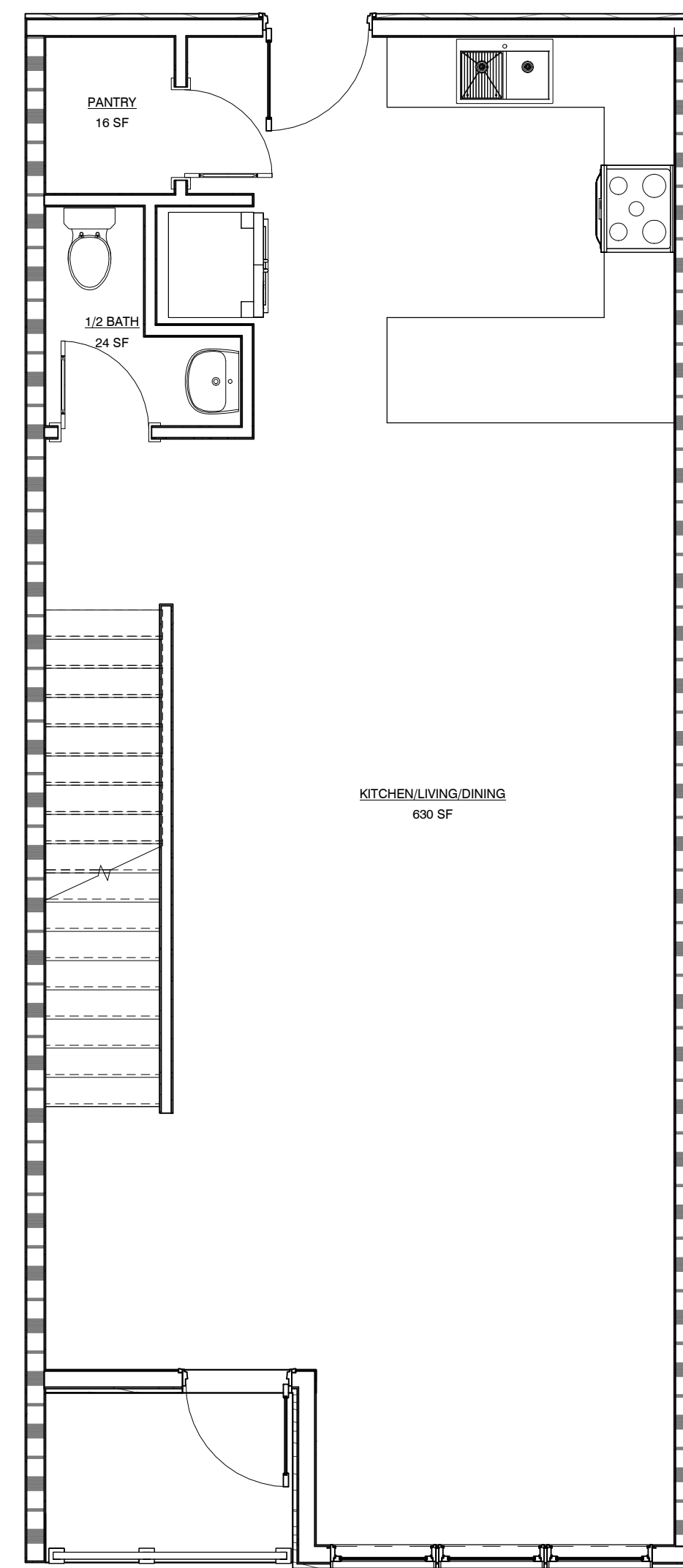
Project Number	
Date	11/21/2024
Drawn By	Author
Checked By	Checker

AA003

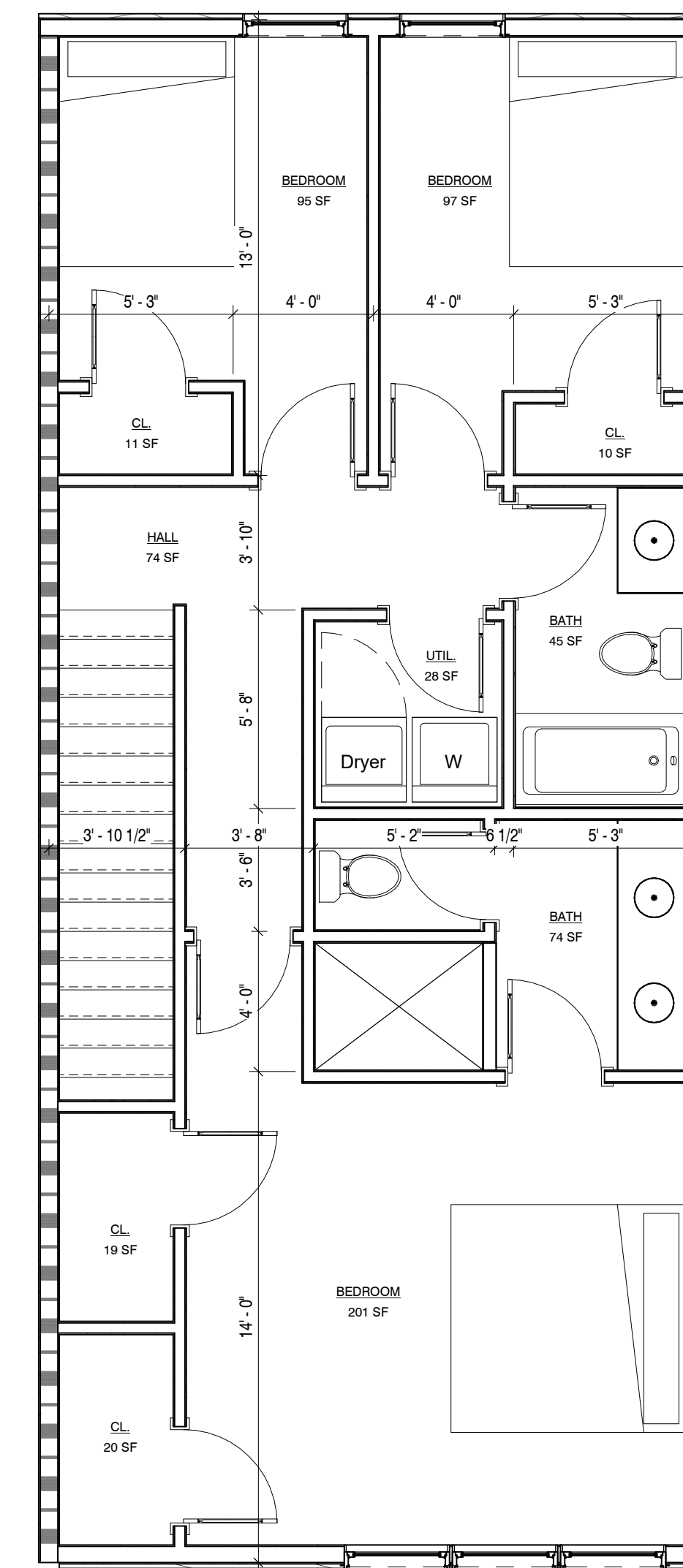
Revised: 12/23/2024
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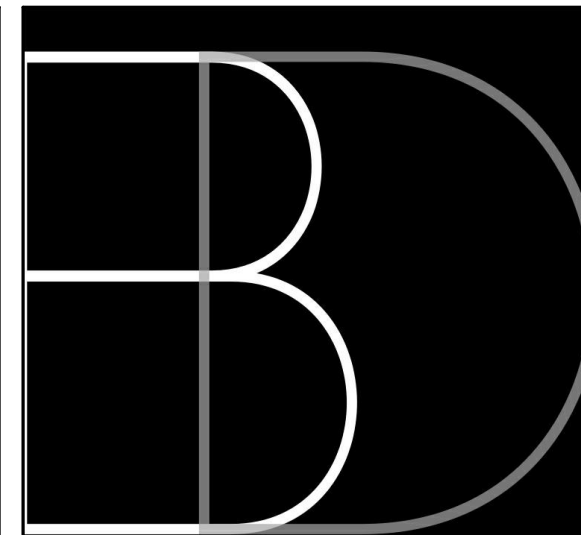
① FIRST FLOOR PLAN - UNIT B
1/4" = 1'-0"



② SECOND FLOOR PLAN - UNIT B
1/4" = 1'-0"

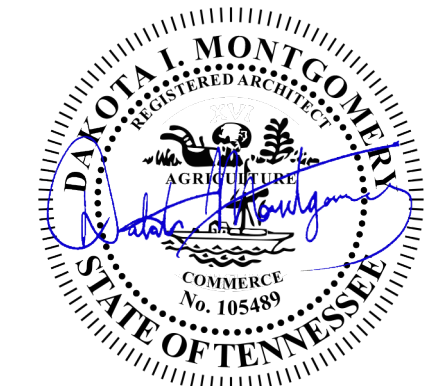


③ THIRD FLOOR PLAN - UNIT B
1/4" = 1'-0"



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**A NEW
DEVELOPMENT
FOR:
DUTCHTOWN RD
TOWNHOMES**

UNIT B

Project Number	
Date	11/21/2024
Drawn By	Author
Checked By	Checker

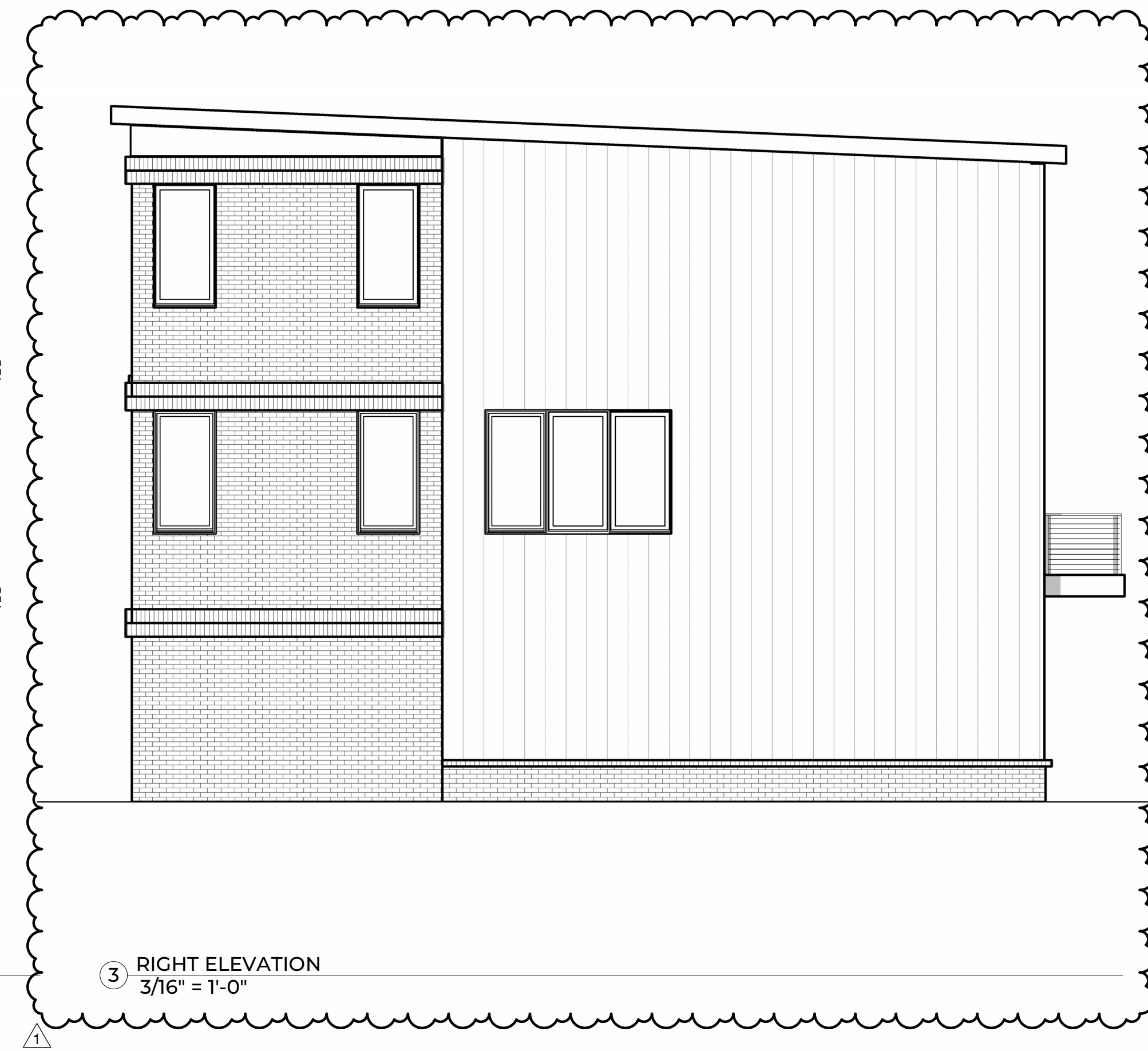
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1-C-25-DP

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① FRONT ELEVATION
3/16" = 1'-0"

ROOF
9'-0"
THIRD FLOOR
CEILING TBD
9'-0"
SECOND FLOOR
CEILING TBD
9'-0"
FIRST FLOOR

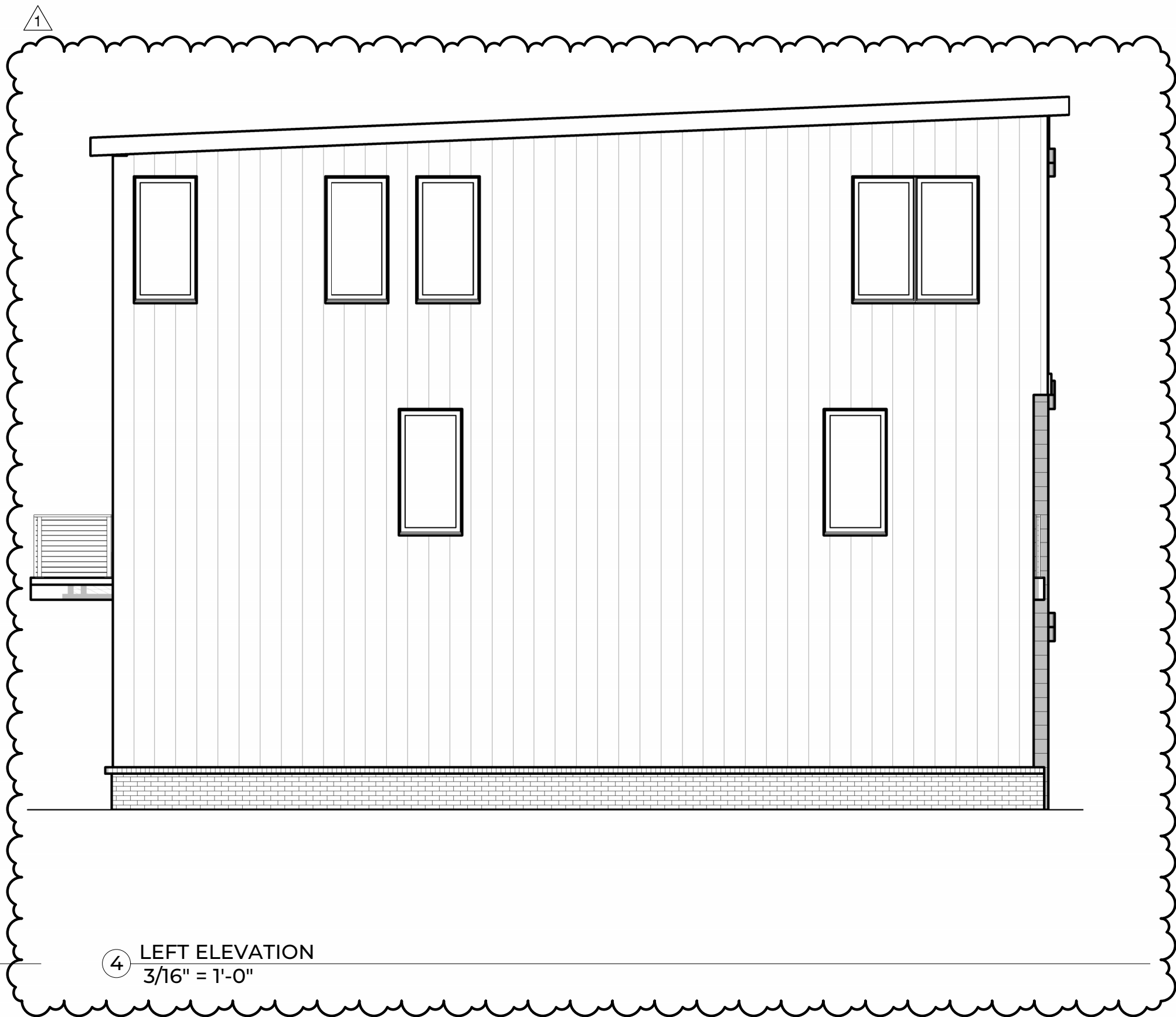


③ RIGHT ELEVATION
3/16" = 1'-0"

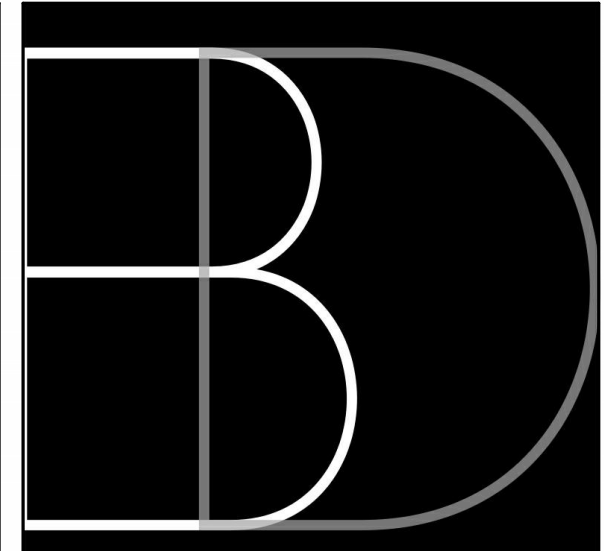


② REAR ELEVATION
3/16" = 1'-0"

ROOF
9'-0"
THIRD FLOOR
CEILING TBD
9'-0"
SECOND FLOOR
CEILING TBD
9'-0"
FIRST FLOOR

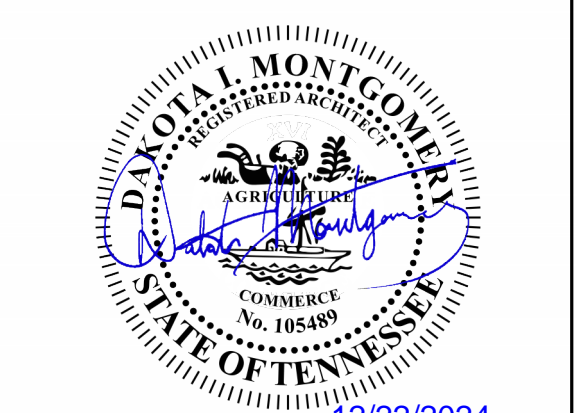


④ LEFT ELEVATION
3/16" = 1'-0"



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A NEW
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FOR:
DUTCHTOWN RD
TOWNHOMES

EXTERIOR
ELEVATIONS

Project Number
Date 11/21/2024
Drawn By Author
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AA201

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